

Commissioners

Kelly Cochran, Chair
Jeff Craig, Co-Chair
Chris Rule
Erika Bartholomew
Dan Swanson
Joe Pestinger



City of Orting Planning Commission Agenda

Monday, April 3rd, 2022
7:00pm
City Hall Council Chambers

If joining virtually:

Phone Dial-in - Charges may apply
+1.253.215.8782

To join the meeting on a computer or mobile phone:

<https://us06web.zoom.us/j/87139511387?pwd=OFdWQk90OXFFdHZVV0doaU01UWN6QT09>

Meeting ID: 871 3951 1387
Password: 598178

1. CALL MEETING TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL

The public may attend this meeting virtually via the platform Zoom by clicking the link above or by telephone, or in person at City Hall.

A. Is there a motion to excuse Commissioner(s) from this meeting?

2. AGENDA APPROVAL

A. Does the agenda require an addition or removal of a topic?

3. PUBLIC COMMENTS

Comments may be sent to the Planning Commission Secretary Danielle Charchenko at clerk@cityoforting.org by 1:00pm on the day of the meeting and will be read into the record at the meeting. In the case of a question, the chair will refer the matter to the appropriate administrative staff member. Comments that come in after the deadline will be read into the record at the next Planning Commission meeting.

4. APPROVAL OF MINUTES

A. Are the minutes of the February 6th, 2022 meeting correct and accurate?

5. ARCHITECTURAL DESIGN REVIEW

- A. ADR 2023-03 – Spar Pole – Mike Thomas, Valley Sign
- B. ADR 2023-04 – Puget Sound Instruments – Chris Moore, Carbon River Builders

6. NEW BUSINESS

None.

7. OLD BUSINESS

- A. Dumpster Violations.
- B. Sign Code Violations.

8. GOOD OF THE ORDER

- 1. Planned Absences.
- 2. Report on Council Meetings.
- 3. Agenda setting.

9. ADJOURN

NEXT PLANNING COMMISSION MEETING: Monday, May 1st, 2023

Commissioners

Kelly Cochran, Chair
Jeff Craig, Co-Chair
Chris Rule
Erika Bartholomew
Dan Swanson
Joe Pestinger



ORTING PLANNING COMMISSION
Planning Commission Meeting Minutes
104 Bridge Street S, Orting, WA
Zoom – Virtual
February 6th, 2023
7:00 p.m.

1. CALL MEETING TO ORDER, PLEDGE OF ALLEGIANCE, AND ROLL CALL.

Chair Kelly Cochran called the meeting to order at 7:00pm. Co-Chair Craig led the pledge of allegiance.

Commissioners present: Chair Kelly Cochran, Co-Chair Jeff Craig, Commissioners Erika Bartholomew, Dan Swanson, and Joe Pestinger.

Absent: Commissioner Chris Rule.

Commissioner Chris Rule was absent from the meeting. Co-Chair Craig made a motion to excuse Commissioner Rule from the meeting. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

Staff present: City Administrator Scott Larson, Planning Commission Secretary Danielle Charchenko, Code Enforcement Officer Jorge Martinez.

Guests: Route 66 Owners Randy and Mary Anderson.

2. AGENDA APPROVAL.

Co-Chair Craig made a motion to adopt the agenda as prepared. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

3. PUBLIC COMMENTS.

No public comments were made.

4. WELCOME COMMISSIONERS.

Chair Cochran introduced and welcomed newly appointed Commissioners Swanson and Pestinger.

5. APPROVAL OF MINUTES

Co-Chair Craig made a motion to approve the December 5th, 2022 minutes with the following corrections:

- *Add Orting School District Superintendent Ed Hatzenbeler to Guests in attendance.*
- *On Page 2 change date 2023 to 2030.*

Seconded by Commissioner Swanson.

Motion passed (5-0).

6. ARCHITECTURAL DESIGN REVIEW

A. ADR 2023-01 – Route 66 Pizza – Remodel.

Planning Commission Secretary Danielle Charchenko read the ADR staff report for ADR 2023-01 and

stated that the recommendation was approval with the condition that a landscape plan is submitted, reviewed, and approved by staff prior to the final occupancy of the renovated structure. Planning Commission discussion followed.

Co-Chair Craig made a motion to approve the ADR 2023-01 with the condition that a landscape plan is submitted, reviewed, and approved by staff prior to the final occupancy of the renovated structure. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

B. ADR 2023-02 – Orting Valley Adult Family Home – Signage.

Planning Commission Secretary Danielle Charchenko read the ADR staff report for ADR 2023-02 and stated that the recommendation was approval as presented. Planning Commission discussion followed.

Co-Chair Craig made a motion to approve the ADR 2023-02 with the recommendation that 6" and 4" lettering be used on the sign. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

7. NEW BUSINESS.

A. Introduction of Code Enforcement Office.

City Administrator Scott Larson introduced and welcomed Jorge Martinez as the new Code Enforcement Officer.

B. Election of Officers.

Chair Cochran opened the floor for nominations.

Co-Chair Craig made a motion to retain the officers in their current positions for the duration of 2023. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

8. OLD BUSINESS.

1. Dumpster Violations

City Administrator Scott Larson briefed that Corrin Ave Apartments has completed the construction of their dumpster screening area. He stated now that the City has hired a Code Enforcement Officer they will begin working with Café Elite to reorient their dumpster location and find a solution. City Administrator Scott Larson stated he will reach out to Building Inspector Tim Lincoln for an update on Big J's bay area.

2. Sign Code Violations

Chair Cochran stated there is a new business in town, Angel One Boutique, that has window signage which was not approved by the Planning Commission. Commissioner Swanson also noted temporary signs at WAWA Teriyaki and L&M Firehouse that need to be addressed. Co-Chair Craig asked for clarification on mobile vendor signage in reference to Tugboat Willy's located in the Texaco parking lot. He also stated Glacier West Storage's sign is not compliant with what was proposed to the Planning Commission. City Administrator Scott Larson stated he will work with Code Enforcement Officer Jorge Martinez to address the signage issues. He also stated he will review the mobile vendor ordinance for clarification on mobile vendor signage.

9. GOOD OF THE ORDER.

1. Planned Absences.

None.

2. Report on Council Meetings.

City Administrator Scott Larson gave a brief report and stated Sign Code Amendments and Comprehensive Plan Amendments were approved by City Council. He stated that legislation is being introduced to extend the proposed airport timeline and will require more process and public outreach. City Administrator Scott Larson briefed on the legislative update that will look for different ways to add housing over the next twenty years. He stated the State’s plan is to up-zone all single-family parcels to allow four-plex buildings and this is still a few years away.

3. Agenda Setting.

The Planning Commission requested to leave dumpsters and sign code violations under Old Business.

10. ADJOURNMENT.

Co-Chair Craig made a motion to adjourn. Seconded by Commissioner Bartholomew.

Motion passed (5-0).

Chair Cochran adjourned the meeting at 7:45pm.

ATTEST:

Kelly Cochran, Commission Chair

Danielle Charchenko, Planning Commission Secretary

City of Orting Staff Report

Planning Commission

Spar Pole ADR 2023-03 Signage

APPLICANT / OWNER:

Dacia, Contact Listed
Mike Thomas, Valley Sign

LOCATION OF PROPOSAL:

120 Washington Ave S, Orting, WA 98360

DESCRIPTION OF PROPOSAL: The applicant is proposing two new permanent signs for an existing building.

STAFF REPORT:

The property is located in the “Mixed Use - Town Center” (MUTC) zone. The proposed use of this property is subject to the regulations in OMC 13-7 “Sign Regulations”.

- The applicant submitted an under-canopy wall sign and a projecting sign design with the ADR application; both designs are attached.
- The under-canopy wall sign dimensions are 48” x 81” equaling 27 square feet.
- The projecting sign dimensions are 60” x 72” equaling 30 square feet.
- The building façade is approximately 60’ x 17’ equaling 1,020 square feet.
- The total square footage of both sign dimensions is within the 10% allowed in size, per OMC.
- The under-canopy wall sign will be mounted directly to the exterior wall near the main entrance and is constructed of sandblast carved and painted wood. “SPAR POLE” text is 9 5/8” tall with font style “Impact”, the “FOOD, BEER, COCKTAILS, PULL TABS, DARTS, POOL” text is 3 1/2” tall with font style “AR Essence”, and the “Orting, WA” text font style is script.
- The projecting sign will be replacing the current sign and is constructed of aluminum composite with a faux wood texture background, giving the illusion of a wood sign. “SPAR POLE” text is 10 1/2” tall with font style “Impact”, the “FOOD, BEER, COCKTAILS, PULL TABS, DARTS, POOL” text is 4 1/2” tall with font style “AR Essence”, and the “Orting, WA” text font style is script.
- No sign illumination noted on the application.

STAFF RECOMMENDATION: Staff recommends approval of ADR 2023-03 as presented.

PREPARED BY: Danielle Charchenko

****PLANNING COMMISSION DECISION – April 3, 2023****

Kelly Cochran, Planning Commission Chair

Scott Larson, City Administrator



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW

EXTERIOR SIGNAGE PERMIT APPLICATION

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/ Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs may only be illuminated by indirect lighting; internally illuminated signs are prohibited. All materials used for the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

FILL IN THE FOLLOWING INFORMATION

Business Name: Spar Pole Parcel #: 6565000180

Site Address: 120 Washington Ave S.

Contact Person: Dacia Phone #: 253-720-6105

Sign Builder: Valley Sign Phone #: 253-841-1003

Sign Installer: Valley Sign Phone #: 253-841-1003

A) **Twelve (12) copies** of an accurate representation of proposed sign, including color and its relationship to the structure or building (site map showing the sign on the building or on the property in relation to the building).

B) Dimensions of sign: 1st sign = 48" X 81" 2nd sign = 60" X 72'

- C) 1) Provide picture/drawing of lighting type proposed.
- 2) Provide drawing to scale showing the location of proposed lighting in relation to the sign and the structure.
- 3) Provide color samples for lighting structure(s) and/or fixture(s).

- D) Select sign type (see OMC 10-15-2 for definitions):
- Parapet Free Standing Canopy Under-Canopy
 Wall Reader Board Sandwich Board

E) Is this an existing sign, already in use? Yes No

If yes, provide picture showing signage and location.

F) Property frontage (lineal ft.) 60'
 Building frontage (lineal ft.) 60'

G) Material used for sign construction 1st sign wood 2nd sign Aluminum

H) Size and font of lettering and graphics See attached designs

Comments:
see included designs for more detailed information

Please be advised that you will be required to obtain a Building Permit for demolition, construction, remodeling and installation of signage. In addition, all contractors and sub-contractors must obtain a City of Orting Business License.

I certify that I have read the ADR Application requirements and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

 3/14/23
 Signature Date

| | |
|----------------|----------------|
| City use only | |
| ADR #: | <u>2023-03</u> |
| Date Received: | <u>3/14/23</u> |
| Fee Paid: | <u>\$50</u> |
| Review Date: | <u>4/3/23</u> |

Proposed Sign #1
Shown to scale

No existing
sign here



48" x 81" x 1.75" thick single sided sandblast carved and painted wood sign.

Mounted directly to exterior wall of business near the main entrance as shown above.

SPAR POLE text is 9 5/8" tall, font style is "Impact"

FOOD, BEER, COCKTAILS, PULL TABS, DARTS, POOL font is 3 1/2" tall, font style is "AR Essence"

Orting, WA is an unknown style of a script font

Proposed
Sign #2

Existing sign here
of same size



60" x 72" thick aluminum composite signs to replace the existing signage in place of the same size.
Faux wood texture background added to give the illusion of a wood sign.
SPAR POLE text is 10 1/2" tall, font style is "Impact"
FOOD, BEER, COCKTAILS, DARTS, POOL, PULL TABS font is 4 1/2" tall, font style is "AR Essence"
Orting, WA is an unknown style of a script font

City of Orting Staff Report

Planning Commission

Puget Sound Instrument – 225 Van Scoyoc Ave SW
ADR 2023-04 Remodel

APPLICANT / OWNER:

Chris Moore, Carbon River Builders – Applicant
PESU Properties - Owner

LOCATION OF PROPOSAL:

225 Van Scoyoc Ave SW, Orting, WA 98360

DESCRIPTION OF PROPOSAL: The proposal is to convert a former automotive shop in an existing building into a commercial office and workspace for the Puget Sound Instrument Company. The proposal also includes an exterior signage permit application for a sign measuring 12’ wide by 7’ tall to be affixed to the front façade. The applicant submitted 3 design options: Option A includes a 2-story false façade, the addition of a second floor to the existing interior space, and a covered porch overhanging the sidewalk, Option B includes a 2-story false façade with no balcony, and Option C includes an update to the existing façade. The applicant indicated they prefer Option A.

STAFF REPORT:

The property is located in the “Mixed Use-Town Center” (MUTC) zone. The proposed renovation and use of this property is subject to the requirements of OMC 13-6-7: A “Architectural Design Review”.

- The applicant submitted an application packet that includes a site plan and floor plans, exterior elevations, and renderings showing three options for the design of the renovations to the existing building and the proposed wall-mounted sign; see attached.
- Option A adds a western Victorian style false front on the building with exterior rough sawn cedar trim, Douglas Fir posts and beams, a covered second story balcony with a wood railing, and a cornice where the sign will be affixed. The proposed facade is well proportioned and exhibits height, width, and depth of surface. The proposed covered balcony breaks up the bulk and scale of the façade and directly engages with those who use the sidewalk adjacent to the building by providing a cover over the existing sidewalk. The balcony will provide shade and access to a proposed second story within the building. This proposed location for access is the most logical due to the existing shape of the roof and the position of the existing building next to the sidewalk. A Right-of-Way permit would be required to allow this work to occur within and over the sidewalk.
- Option B proposes to add a two-story false façade and the wall-mounted sign, however there is no balcony proposed to add variation and depth to the façade. Option C is a simple update to the façade of the existing structure that reconfigures the windows and door, allows visibility of the rounded roof, and adds the wall-mounted sign. All three options meet the basic requirements of architectural design review.
- The western Victorian style of the building is reflected in the use of wood on the exterior of the structure and standing seam metal roofing. The proposal materials show wood batt and board siding that will be stained a transparent natural stain. Wood posts and beams are proposed features that will be stained a solid ebony. The remaining sides of the building appear to propose the same materials and color scheme as the facades. The choice of building materials meets the architectural design review requirements (OMC 13-6-7:D.4).
- The massing and textures of the proposed renovation materials and design aligns with development in the adjoining areas and directly mimics several existing buildings along the street. These details fulfill the requirements of OMC 13-6-7:D.2.a.
- The existing gravel yard adjacent to the building is enclosed by a fence that will obscure the view of it from the streets.
- The proposed wall-mounted sign complements the architectural features and character of the building. It is proposed to be made of cedar that will be sandblasted and finished similar to other approved signs in the area and will be approximately 12’ tall by 7’ wide. The sign is illuminated by indirect lighting, which meets the architectural design review requirements.

- The proposed lighting for the exterior of the building enhances the building design and meets the architectural design review standards. The proposal includes Goose Neck light fixtures placed above the front sign and on the rear elevation and lantern style sconces are proposed to be placed at exterior main doors.
- The application materials indicate the existing parking lot located to the rear of the building will remain and 5 parking spaces will be provided which meets the on-site parking requirement (5 spaces required) and the architectural design review requirements for parking (OMC 13-6-7:D.1.b).
- The Building Official has received one of the ADR packets submitted.

STAFF RECOMMENDATION: Staff recommends the Planning Commission give conditional approval of ADR 2023-04 as presented, with the condition that the applicant applies for a right-of-way permit for the work in and over the sidewalk and maintains that permit per its terms.

PREPARED BY: MillieAnne VanDevender, AHBL – Contract Planner

****PLANNING COMMISSION DECISION – April 3, 2023****

Kelly Cochran, Planning Commission Chair

Scott Larson, City Administrator

| | | |
|---|--|--|
| City of Orting Department of Planning & Community Development ARCHITECTURAL DESIGN REVIEW APPLICATION FORM | | File No. _____ App. Type _____ Fee Paid \$ _____ Date Rec'd _____ |
| Name of Project/Development: PUGET SOUND INSTRUMENT | | |
| APPLICANT/CONTACT PERSON | | |
| Name: CHRIS MOORE - CARBON RIVER BUILDERS | | |
| Address: 214 WASHINGTON AVE S | | |
| City: ORTING | State: WA Zip: 98360 | Phone: 360-893-3080 |
| DESCRIPTION OF PROPOSED ACTION | | |
| CONVERT EXISTING AUTOMOTIVE REPAIR SHOP BUILDING TO COMMERCIAL OFFICE SPACE. | | |
| PROPERTY DESCRIPTION | | |
| Location of subject property: 225 VAN SCOYOC AVE SW | | |
| Legal Description (attach additional pages as required): | | |
| Tax Parcel No. ⁶⁵⁶⁵⁰⁰⁰⁶³⁰ 1/4 Sec. Sec. 32 Twn. 19 R. 05 | | |
| Size (ac./sq. ft.) 3,000 SF Comp. Plan designation COMMERCIAL Zone MUTC | | |
| Current Use EMPTY BUILDNG - FORMER AUTO REPAIR SHOP. | | |
| AUTHORIZATION TO FILE: SIGNATURE OF ALL PERSONS WITH AN INTEREST IN THE PROPERTY | | |
| Name PETER OLLODART - PESU PROPERTIES | Name | |
| Signature | Signature | |
| Tax No or Lot & Subdivision 6565000630 | Tax No or Lot & Subdivision | |
| <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contract Purchase <input type="checkbox"/> Option Purchaser* Option Expiration Date _____ *Owners signature also required | <input type="checkbox"/> Owner <input type="checkbox"/> Contract Purchase <input type="checkbox"/> Option Purchaser* Option Expiration Date _____ *Owners signature also required | |
| CERTIFICATION | | |
| I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization. | | |
| Signature: | | Date: |



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW CRITERIA

The following criteria will be used by the Planning Commission in its decision making on your proposed project. Please carefully review the criteria, respond to each criterion (if applicable), and describe how your site plans and building elevations meet the criteria. If the space provided for response is insufficient, use extra space on last page or use blank paper to complete response and attach to this form.

1. RELATIONSHIP TO BUILDING SITE

The site shall be planned to accomplish a desirable transition with the streetscape; facilitate pedestrian movement; locate parking areas behind buildings, screen service areas; and be compatible with adjoining building in height and scale.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Utilizing the cities ADR Guidelines and specifications referring to other buildings on the same street,
the design is intended to incorporate the characteristics of the buildings referenced in the guide spec.

2. RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

The site shall be planned to accomplish a harmony in texture, line and mass; and attractive landscape transitions with adjoining areas.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

This building currently does not have any landscape as it is a zero lot line, and the building abutts the
side walk on the front of the building, and the rear area is used as the driveway and parking.

3. LANDSCAPE AND SITE TREATMENT

The site shall be planned to accomplish the preservation of existing topographic patterns; inviting and stable appearing walks and parking areas; landscaping that enhances architectural features and provide shade. Service yards shall be screened, in

winter and summer, by the use of walls, fencing, planting or a combination of these. Exterior lighting shall be of a design and size compatible with the building's "Turn of the Century/Western-Victorian" theme. Excessive brightness and brilliant colors shall be avoided.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

No modifications to the landscape are planned for as this is a commercial lot surrounded by city sidewalk and other buildings.

4. BUILDING DESIGN

The site shall be planned to accomplish the architectural style of "Turn of the Century/Western-Victorian". Evaluation of a project will be based on quality of its design and relationship to the natural setting of the valley and mountain surroundings.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The preferred option A is by far the most expensive and complicated component of this project and we believe we have encompassed all the desired features of the ADR Process. Options B and C are less desirable by the owner, and we believe the City of Orting.

5. SIGNAGE

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs shall be illuminated by indirect lighting; internally illuminated sign are prohibited. All materials used in the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Signage is intended to blend in with other approved signs as it will be a cedar sign sandblasted and finished to match the preferred style previously approved throughout projects in Orting.

6. PAINTING

Exterior paint colors shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior paint colors shall be characteristic of the early 1900's.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Many turn of the century buildings had a natural wood finish to them. We are incorporating this into our design with natural wood stain with some accent utilizing charcoal colored/tinted stain at building corner trims, window wraps, door wraps, as well as post and beam details.

7. LIGHTING

Exterior lighting shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior lighting shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. All materials used must UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

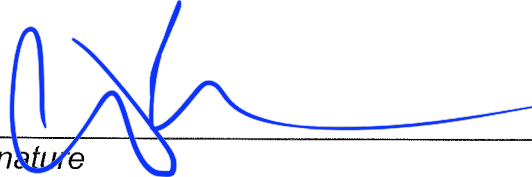
Exterior lighting will be vintage in nature utilizing modern led lighting intended to mimic vintage lighting

8. MISCELLANEOUS STRUCTURES AND STREET FURNITURE

All miscellaneous structures and street furniture shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

There are no plans to include any street furniture.


Signature

3-20-23
Date

| | |
|----------------------|-------|
| <i>City use only</i> | |
| ADR # | _____ |
| Fee Paid | _____ |
| Date Received | _____ |



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW

EXTERIOR SIGNAGE PERMIT APPLICATION

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/ Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs may only be illuminated by indirect lighting; internally illuminated signs are prohibited. All materials used for the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

FILL IN THE FOLLOWING INFORMATION

Business Name: PUGET SOUND INSTRUMENT **Parcel #:** 6565000630

Site Address: 225 VAN SCOYOC AVE SW, ORTING, WA 98360

Contact Person: CHRIS MOORE **Phone #:** 253-377-0888

Sign Builder: VALLEY SIGN **Phone #:** 253-841-1003

Sign Installer: CARBON RIVER BUILDERS **Phone #:** 253-377-0888

- A) **Twelve (12) copies** of an accurate representation of proposed sign, including color and its relationship to the structure or building (site map showing the sign on the building or on the property in relation to the building).
- B) Dimensions of sign: 12' wide x 5' tall
- C) 1) Provide picture/drawing of lighting type proposed.
- 2) Provide drawing to scale showing the location of proposed lighting in relation to the sign and the structure.

3) Provide color samples for lighting structure(s) and/or fixture(s).

D) Select sign type (see OMC 10-15-2 for definitions):

Parapet Free Standing Canopy Under-Canopy
 Wall Reader Board Sandwich Board

E) Is this an existing sign, already in use? Yes No

If yes, provide picture showing signage and location.

F) Property frontage (lineal ft.) 120'
Building frontage (lineal ft.) 50'

G) Material used for sign construction WOOD

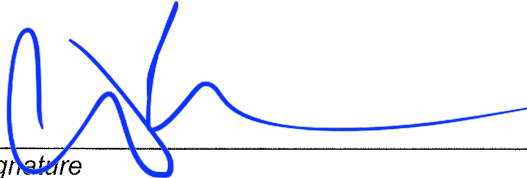
H) Size and font of lettering and graphics 12' TALL X 7' WIDE

Comments:

PLEASE SEE ATTACHED BUILDING PERMIT APPLICATION

Please be advised that you will be required to obtain a Building Permit for demolition, construction, remodeling and installation of signage. In addition, all contractors and sub-contractors must obtain a City of Orting Business License.

I certify that I have read the ADR Application requirements and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.



Signature

3/20/23

Date

City use only

ADR #: _____
Date Received: _____
Fee Paid: _____
Review Date: _____



**CITY OF ORTING
EXTERIOR PAINT ARCHITECTURAL DESIGN REVIEW
PERMIT APPLICATION**

Exterior paint colors shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior paint colors shall be characteristic of the early 1900's. Color chips approved by the Planning Commission are available at city hall.

FILL IN THE FOLLOWING INFORMATION

Site Address: 225 VAN SCOYOC AVE SW, ORTING, WA 98360

Owner: PETER OLLODART

Tax Parcel #: 6565000630 Phone # 253-307-3157

Contractor: CARBON RIVER BUILDERS

Address: 214 WASHINGTON AVE S, ORTING, WA 98360

Contractor #: CARBORD783CN Phone # 253-377-0888

A) Primary color for structure: NATURAL WOOD STAIN

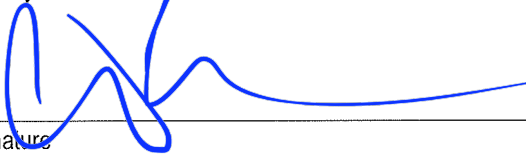
B) Trim color: NATURAL WOOD STAIN WITH CHARCOAL TINT

Please include paint chips/color chart for accurate portrayal of colors.

C) Brief description or drawing of how these colors will be used on the structure, detailing where and how the trim colors will be utilized. Attach separate sheet if necessary.

THE BASIS FOR DESIGN IS THE D&D BUILDING LOCATED IN ORTING. USING BATT AND BOARD REAL WOOD SIDING, THE BUILDING WILL BE STAINED. DUE TO THE USE OF REAL WOOD, EACH PIECE MAY VARY SLIGHTLY IN COLOR. POST AND BEAM TO BE STAINED WITH SEMI SOLID CHARCOAL AND BODY TO BE STAINED WITH A TRANSPARENT NATURAL STAIN.

I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge.


Signature

3-20-23
Date

| | |
|------------------|-------|
| City Use: | |
| File # | _____ |
| Fee Paid | _____ |
| Date Rec'd | _____ |



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360
Phone: (360) 893-2219 FAX: (360) 893-6809
www.cityoforting.org

March 27, 2023

Owner: PESU Properties
19678 SE 310th Pl.
Kent, WA 98042

Applicant: Chris Moore, Carbon River Builders
PO Box 328
Orting, WA 98360
Chris.moore@carbonriverbuilders.com

Subject: Puget Sound Instrument – 225 Van Scoyoc Ave SW, File No. ADR 2023-04
Project Review, Request for Revisions

Dear Mr. Moore,

The City of Orting has reviewed the application materials for the Puget Sound Instrument Remodel - Architectural Design Review. Please be advised that this review letter requests additional materials and/or clarifications needed. Comments are as follows:

Planning

- See the attached consolidated comment and response spreadsheet for comments and requested revisions. Please fill out a response for each comment and return upon resubmittal.

If you have any questions, please call me at (509) 316-7145, or email me at planner@cityoforting.org.

Thank you,

MillieAnne VanDevender
Contract City Planner

| | | | |
|--------------------------|---|---------------------|----------------|
| Applicant/ Agent: | PESU Properties – Owner Chris Moore, Carbon River Builders - Applicant | Review No.: | 01 |
| Project Name: | Puget Sound Instrument – 225 Van Scoyoc Ave SW Remodel and Addition | Project No.: | ADR 2023-04 |
| | | Date: | March 27, 2023 |

| Comment No. | Sheet/Page | Reviewer's Comment | Designer's Response | Initials |
|--------------------------|------------|---|---|----------|
| Planning Comments | | | | |
| 1 | Site plan | On the site plan, please show the existing fencing around the gravel area, note how the area will be used, and note whether the fencing will remain or be removed. See OMC 13-6-7:D.3 for requirements for screening. | Existing fenceline added to ADR submittal. There are no plans to make any changes to the existing gravel yard or existing fence. | CJM |
| 2 | Site Plan | Show the exterior outline and dimensions of the preferred option (Option A) on the site plan including the additional elements proposed on the front such as the location of the balcony over the sidewalk and the posts that support it. | Option A encroachment on ROW has been added to site plan. | CJM |
| 3 | Site Plan | OMC 13-5-3 establishes the parking requirements for specific uses. A change in use in an existing structure is required to provide sufficient on-site parking for the new use. The proposed use most closely fits within the manufacturing use category for the purposes of parking calculations. The number of required off street parking spaces are found in OMC 13-5-3:1 and manufacturing requires 1 space for each employee on a maximum shift ie if there are 3 employees, 3 spaces are required. Please provide a parking analysis that lists how many spaces are required, how many are proposed, and show the parking spaces on the site plan. Each space must be at least 8' wide and total at least 160 square feet in area. | Onsite PSI staff includes 2 technicians, 2 sales staff, an Operations Manager and a Shipping Specialist. Staff mostly works in the field, so not all staff are present at the same time in a typical work day. 5 stalls including one ADA stall have been added to the site plan but it is not likely these will all be used at capacity on an average work day. As PSI is mostly a wholesaler of goods, they rarely encounter walk in retail traffic. We feel that 5 stalls on site are more than sufficient for typical day to day operations. | CJM |
| 4 | Rendering | Please label the various materials proposed for the exterior of the building. The application materials list batt and | See next page | CJM |

| Comment No. | Sheet/Page | Reviewer's Comment | Designer's Response | Initials |
|-------------|------------|--|--|----------|
| | | board siding, the use of real wood, and metal so please show where these items will be placed and provide more detailed information about the materials such as the type of batt and board (plywood with wooden batts, spaced not more than eighteen inches (18") on center as required by OMC 13-6-7:D.4.a) and the type of metal (standing seam, galvanized, etc). | Notes have been added to the revised ADR submittal sheets. | CJM |
| 5 | Rendering | Please also label/note the materials and colors proposed for the windows, balcony, the rails and pickets, and any decorative details proposed. | Notes have been added to the revised ADR submittal sheets. | CJM |
| 6 | Rendering | The proposed renderings and application notes show colors that may meet the ADR standards. Provide product numbers and names for any paint or stain colors so that we can verify the colors are characteristic of colors used in the early 1900s. | Notes have been added to the revised ADR submittal sheets. | CJM |



City of Orting

Residential Construction Permit Application

104 Bridge St S | PO Box 489 | Orting, WA 98360
Phone: 360-893-9007 • FAX: 360-893-6809
Email: buildinguser@cityoforting.org

Permit Number _____

RECEIVED STAMP

Please check permit(s) applied for: Building Plumbing Mechanical Other _____

| PROPERTY INFORMATION | |
|----------------------|----------------|
| Site Address: | Parcel Number: |

| PROPERTY OWNER INFORMATION | | |
|----------------------------|----------------|-------------|
| Property Owner Name: | Daytime Phone: | Cell Phone: |
| Mailing Address: | | Fax Number: |

| APPLICANT INFORMATION | | |
|-----------------------|----------------|-------------|
| Name: | Daytime Phone: | Cell Phone: |
| Mailing Address: | | Fax Number: |

| BUILDING CONTRACTOR | | | |
|---------------------------------|--|------------------|--|
| Name: | Company: | Daytime Phone: | |
| Mailing Address: | | Cell Phone: | |
| Contact person (if different): | | Fax Number: | |
| Orting Business License Number: | Contractor's License #: (Card must be presented) | Expiration Date: | Verified: Yes <input type="checkbox"/> No <input type="checkbox"/> |

| PROJECT DESCRIPTION/LIST ALL OPTIONS TO BE USED-IN THIS SECTION |
|---|
| |
| BUILDING DESCRIPTION: # OF STORIES _____ HEAT _____ #OF FLUES _____ # OF BEDROOMS _____ # OF BATHS _____ # OF OTHER ROOMS _____ ATTACHED GARAGE (SQFT) _____ CIRCLE: 2 OR 3 CAR OPTION DETACHED GARAGE OR CARPORT AREA (SQFT) _____ |

| STRUCTURE & USE | | | | | | | |
|---|-----------|------------------------------|----------|---------------|---------------------------------|----|-------|
| Existing Use: | | | | Proposed Use: | | | |
| Permit Includes: | Building | | Plumbing | | Mechanical | | Other |
| Enter 1 st Floor _____ sq ft 2 nd Floor _____ sq ft 3 rd Floor _____ sq ft | | | | | Existing Floor Area _____ sq ft | | |
| Area Basement _____ sq ft Decks _____ sq ft Garage _____ sq ft | | | | | Proposed Total Area _____ sq ft | | |
| Zoning: | Lot Size: | Building Division Valuation: | | \$ | Applicant's Valuation: | \$ | |

PLUMBING AND MECHANICAL SECTIONS FOR SINGLE-FAMILY RESIDENTIAL REMODEL ONLY

| PLUMBING FIXTURE COUNT—SINGLE-FAMILY RESIDENTIAL REMODEL ONLY | | | | | | | |
|---|--|------------------------|--|--------------------|--|----------------------|--|
| Backflow Device: < 2" | | Each Fixture on a Trap | | Shower | | Water Heater | |
| Building Sewer | | Kitchen Sink | | Tub | | Washing Machine | |
| Expansion Tank | | Lavatory | | Urinal | | | |
| Floor Drain | | Rainwater System | | Watercloset/Toilet | | Total Fixture Count: | |

| MECHANICAL UNIT COUNT—SINGLE-FAMILY RESIDENTIAL REMODEL ONLY | | | | | | | |
|--|--|-----------------------|--|-----------------------------------|--|----------------------|--|
| Air Handling: > 10,000 CFM | | Expansion Tank | | Gas Pipe: Each Outlet > 5 outlets | | Ventilation System | |
| Air Handling: ≤ 10,000 CFM | | Furnace: > 100K BTU's | | Other | | Water Heater--Gas | |
| Appliance Vent | | Furnace: ≤ 100K BTU's | | Unit Heater | | Wood Stoves | |
| Duct Work | | Gas Pipe: 1-5 outlets | | Vents/Fans | | Total Fixture Count: | |

PLUMBING AND MECHANICAL SECTION FOR COMMERCIAL AND MULTI-FAMILY ONLY
(PERMIT FEES BASED ON PROJECT VALUATION)

Commercial/Multi-Family Mechanical Project Valuation \$ _____
 Commercial/Multi-Family Plumbing Project Valuation \$ _____

I certify under penalty of perjury that the information furnished by me is true and correct to the best of my knowledge, and further, that I am authorized by the owner above to perform the work for which permit application is made. I further agree to save harmless the City of Orting as to any claim (including costs, expenses, and attorney incurred in investigation and defense of such claim), which may be made by any person, including the undersigned, and filed against the City of Orting, but only where such claim is out of the reliance of the City, including its officers and employees, upon the accuracy of the information supplied to the City as part of this application.

Owner/Agent: _____ **Date:** _____



214 Washington Ave. S
Orting, Washington 98360
360-893-3080
360-893-3079 Fax
Info@carbonriverbuilders.com
www.carbonriverbuilders.com

Client:

Peter Ollodart, Owner
Puget Sound Instrument
5007 Pacific Hwy E
Unit 5
Fife, Washington 98424
253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

225 VanScoyoc Ave SW Orting, Washington 98360

Property Information:

Owner: Peter Ollodart
Pesu Properties LLC
19678 SE 310th PI
Kent, Washington 98042
UBI 604-497-4758
253-307-3157
peter@ollodart.com

Address: 225 Van Scoyoc Ave SW
Orting, Washington 98360

Tax Parcel: 6565000630

Legal Description: Section 32 Township 19 Range 05 Quarter 21
ORTING TOWN OF: ORTING TOWN OF L 3
THRU 6 B 10

Land Square Ft: 12,000 Sq Ft (.275 Acres)

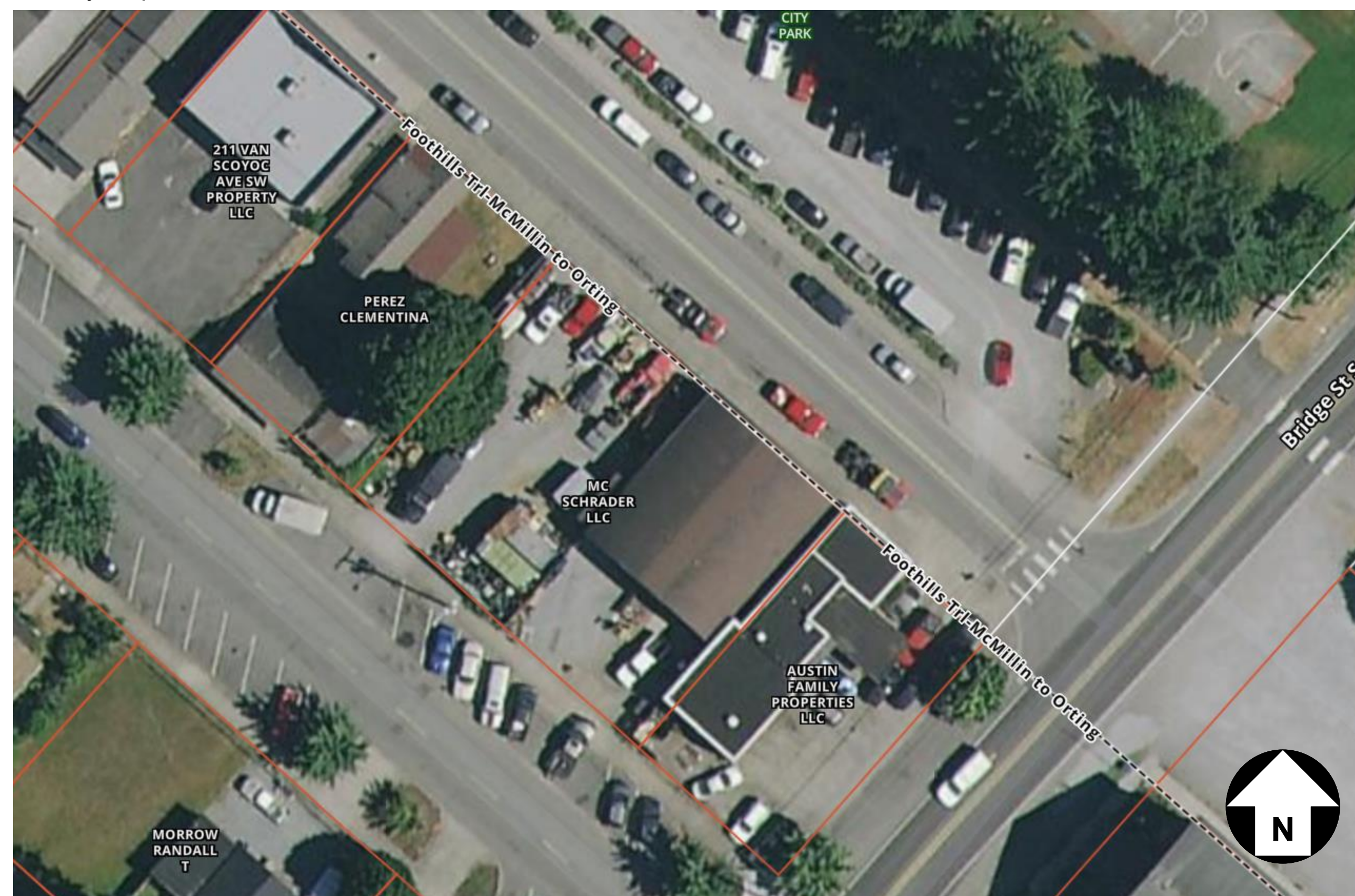
Frontage: 120'

Building Sq Ft: 3000 Sq Ft

Year Built: 1938 (Retail conversion 1985)

Zoning: MUTC (Mixed Use Town Center)

Vicinity Map:



Builder/Owners Representative:

Carbon River Development Inc.
dba Carbon River Builders
214 Washington Ave. S
Orting, Washington 98360
360-893-3080

Contact:

Chris Moore, President
Carbon River Builders
360-893-3080 Office
253-377-0888 Mobile
chris.moore@carbonriverbuilders.com

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

COVER SHEET

Sheet:

COVER



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www.carbonriverbuilders.com

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253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

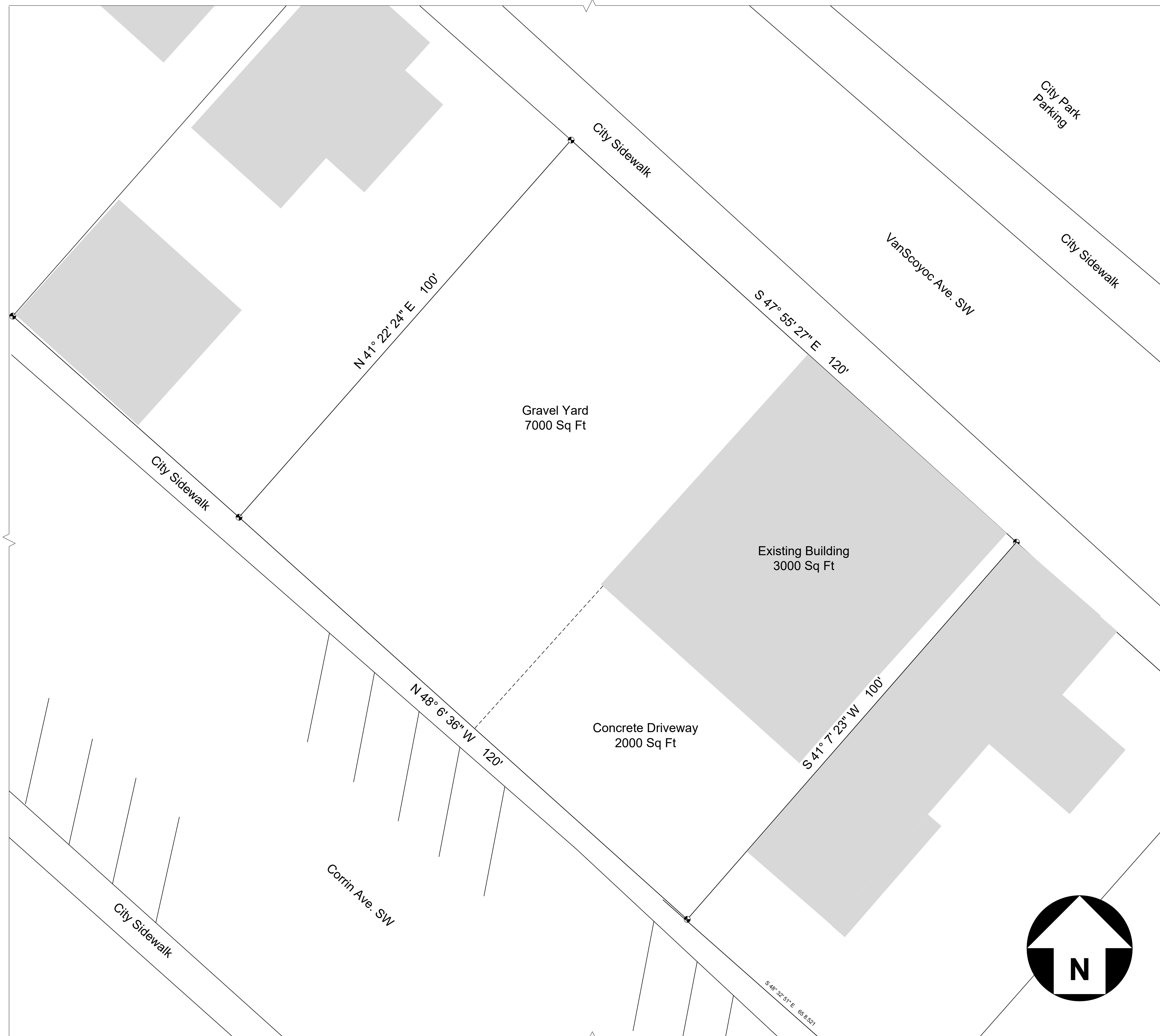
23-0007

Sheet Information:

SITE PLAN

Sheet:

SITE PLAN



FIRST FLOOR AS-BUILT



Area Calculations As-Built:

First Floor

Conditioned Space: 1012 Sq. Ft.*

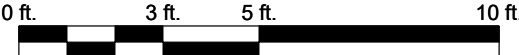
Unconditioned Space: 1874 Sq. Ft

* Software does not count wall space
Building footprint is 3000 Sq. Ft.

Second Floor

Conditioned Space: 213 Sq. Ft.*

Unconditioned Space: 2787 Sq. Ft



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225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

Drawn By: Chris Moore
Date: 2/1/23
Job #: 23-0007

Sheet Information:

1ST FLOOR
AS-BUILT

Sheet:

R101

SECOND FLOOR AS-BUILT



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Client:

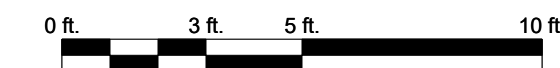
Peter Olodart, Owner
Puget Sound Instrument
5007 Pacific Hwy E
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Fife, Washington 98424
253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel



Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

2nd Floor
As-Built

Sheet:

R102

EXISTING FIRST FLOOR CEILING FRAMING

Client:

Peter Ollodart, Owner
Puget Sound Instrument
5007 Pacific Hwy E
Unit 5
Fife, Washington 98424
253-922-7890

Project:



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Drawn By:

Chris Moore

Date:

2/1/23

Job #:

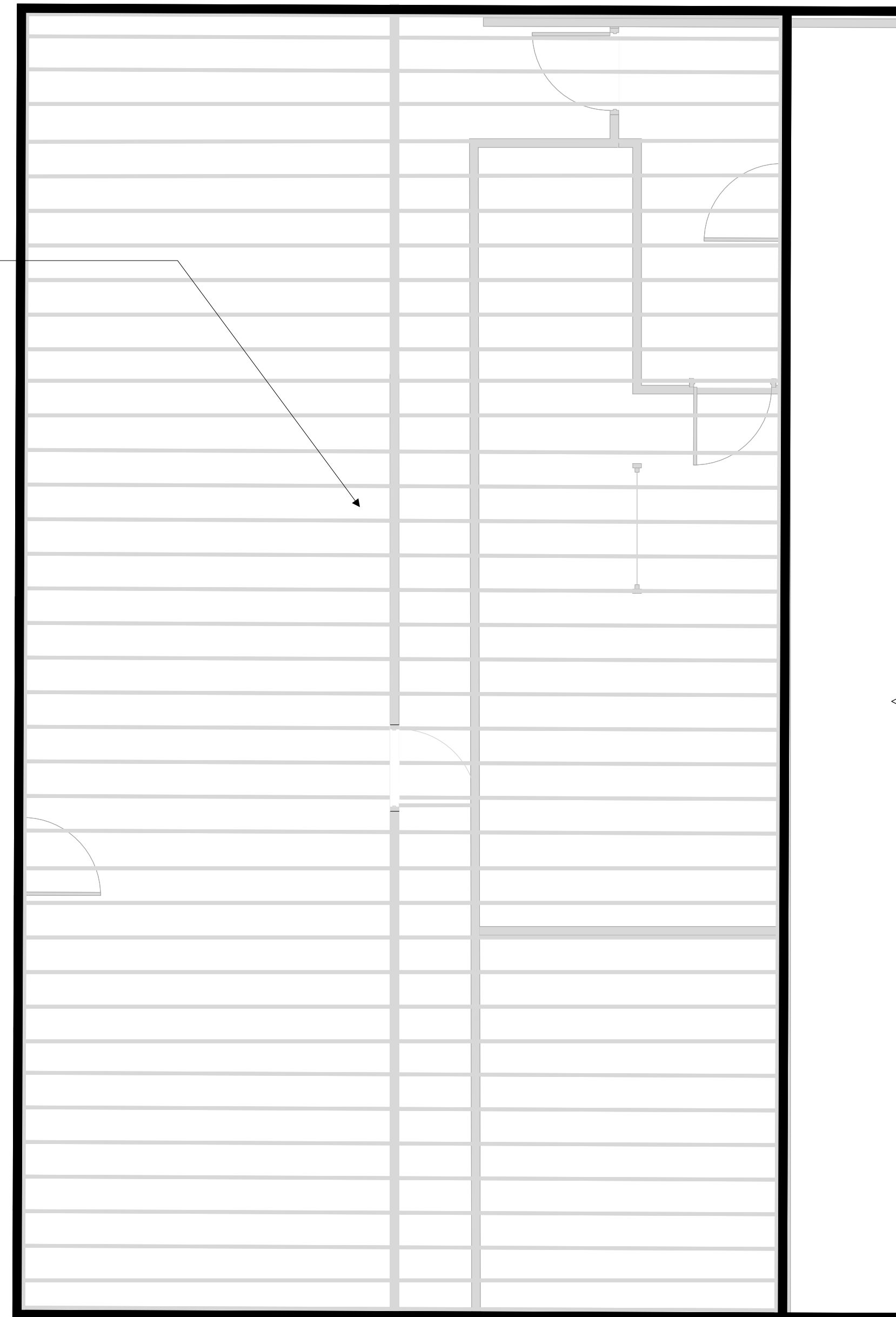
23-0007

Sheet Information:

2nd Floor
As-Built

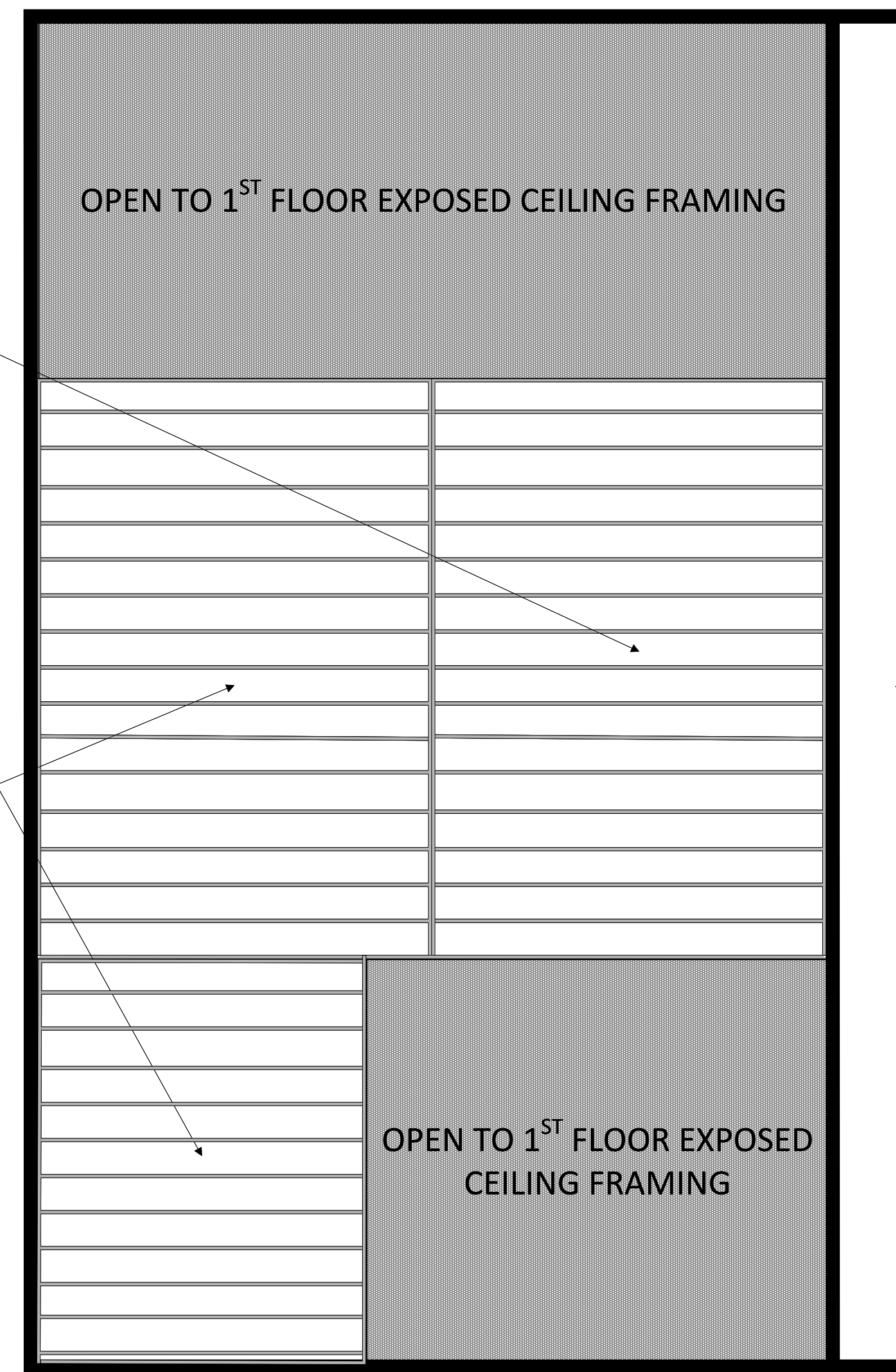
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2X6 CEILING FRAMING AT ELEVATION 8' FROM SLAB



2X6 CEILING FRAMING CONTINUOUS. SIMPSON LU26 HANGERS USED AT 2X6 TO BEAM CONNECTIONS. UNKNOWN CONNECTIONS AT DEMISING WALL AND FRONT EXTERIOR WALL.

2ND FLOOR OFFICE AND STORAGE RAISED FLOOR

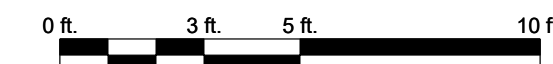


STORAGE AREA FLOOR FRAMED WITH 2X12 FASTENED TO LEDGER BOARD WITH NO VISIBLE HANGERS.

AREA UNDER OFFICE FRAMED WITH 2X6 STACKED ON 2 FLAT 2X4 FOR RIM AND JOISTS.

OPEN TO 1ST FLOOR EXPOSED CEILING FRAMING

OPEN TO 1ST FLOOR EXPOSED CEILING FRAMING



FIRST FLOOR FRONT ELEVATION FRAMING AS-BUILT



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Project:



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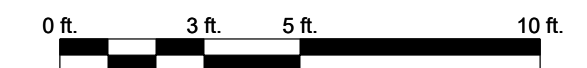
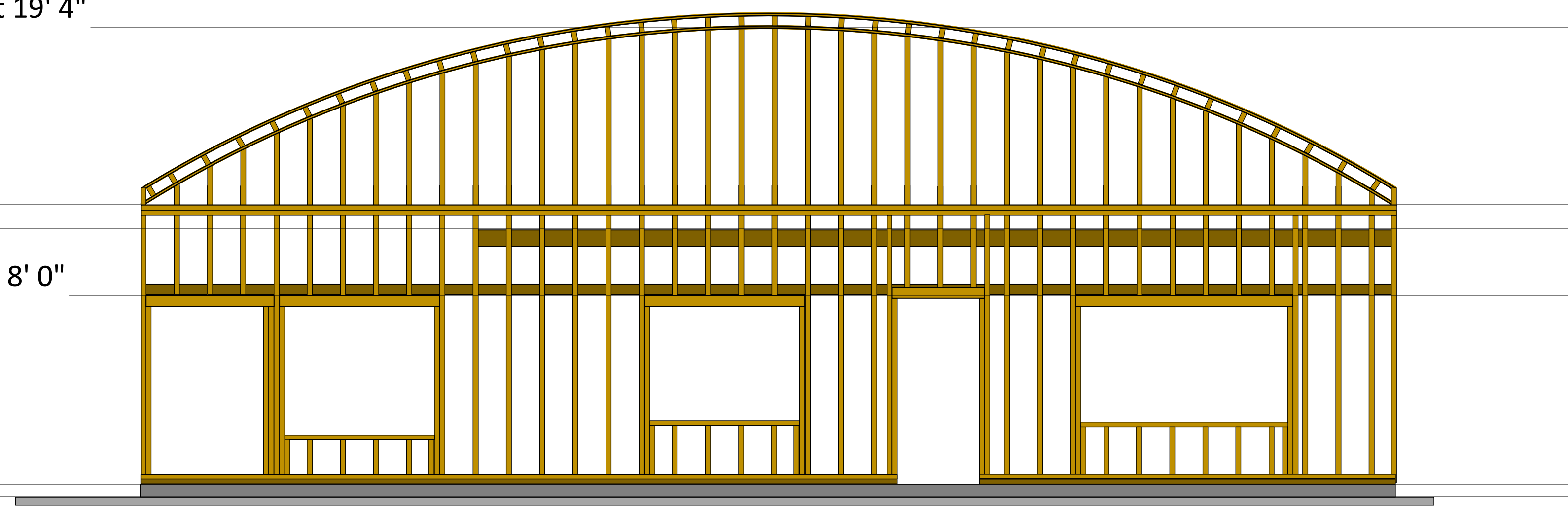
Orting Service Center Remodel

Gable Framing and Girder Truss Height 19' 4"

Top of Wall at Exterior Walls 11' 10"
Top of Office Finished Floor 10' 3"

Bottom of Interior 2x6 Ceiling Framing 8' 0"

Finished Floor/Top of Foundation = 0'
Top of City Sidewalk -6-3/4"



Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

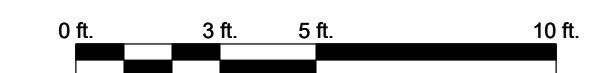
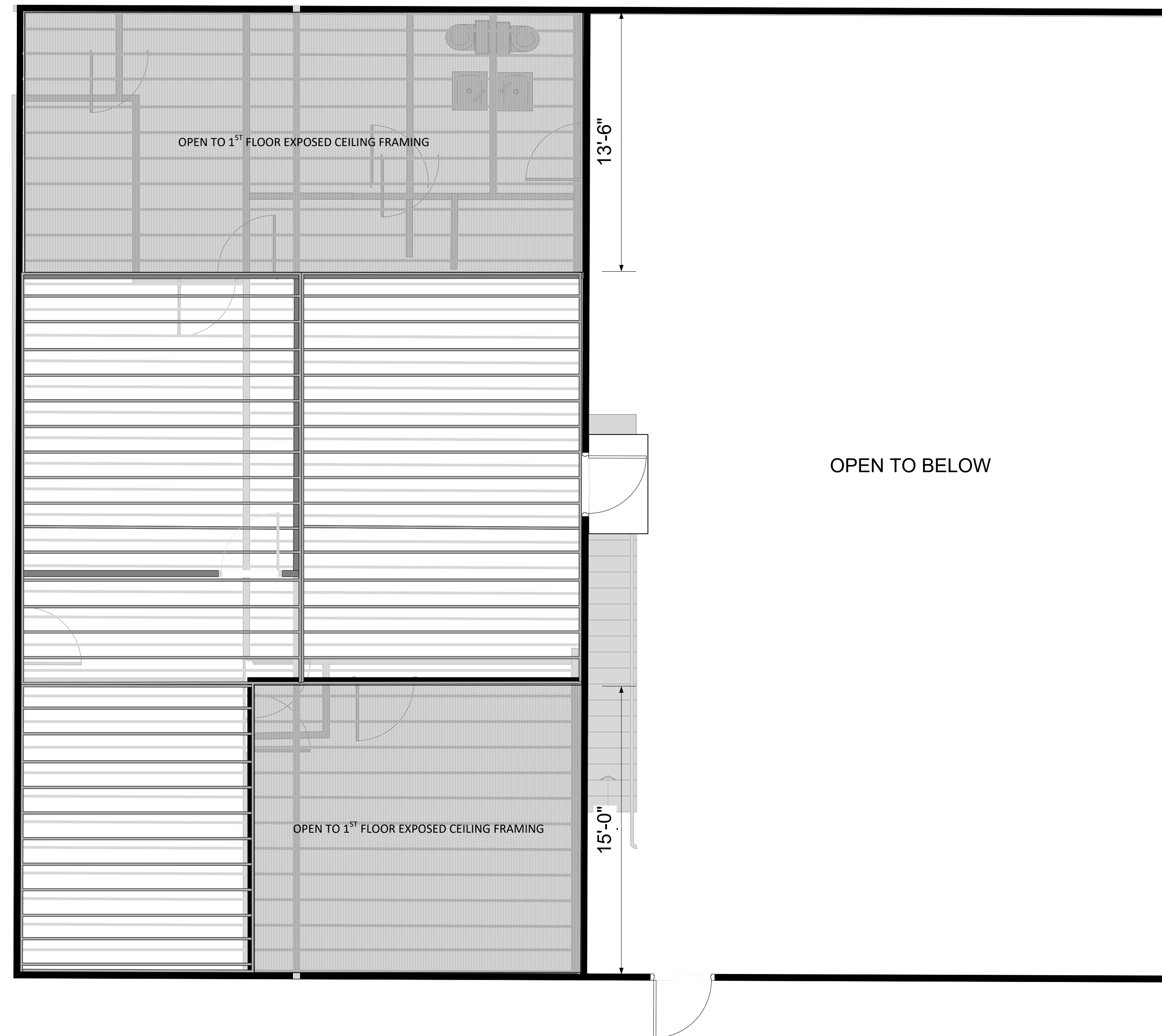
Sheet Information:

FRONT
ELEVATION
FRAMING
AS-BUILT

Sheet:

R301

FIRST FLOOR CEILING & 2ND FLOOR FRAMING STACKING DIAGRAM



Client:

Peter Ollodart, Owner
Puget Sound Instrument
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Unit 5
Fife, Washington 98424
253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

STACKING
DIAGRAM

Sheet:

R601

Client:

Peter Ollodart, Owner
Puget Sound Instrument
5007 Pacific Hwy E
Unit 5
Fife, Washington 98424
253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

FIRST FLOOR DEMOLITION PLAN

WALLS SHOWN IN RED TO BE REMOVED

BATHROOM FIXTURES
AND FLOORING TO BE
REMOVED

FRAME NEW WALL TO ENCLOSE EXISTING
ENTRANCE PRIOR TO DEMOLITION.

CONCRETE RAMP AT EXISTING ENTRANCE
TO BE LEVELED AND/OR REMOVED AND
REPLACED TO MATCH THE PLAIN OF THE
EXISTING FLOOR IN THE OFFICE AREA.

EXISTING WALL TO BE REMOVED.
SHORING TO BE INSTALLED BASED
ON SITE CONDITIONS AS DRYWALL
IS REMOVED FROM THE IMMEDIATE
AREA. ALL SHORING TO BE INSTALLED
AND MADE SAFE PRIOR TO WALL DEMO.
INSTALL NEW POST AND BEAM AT DEMO.

DRYWALL ON UNCONDITIONED SIDE OF WALL
NEAR AND ABOVE RESTROOM TO REMAIN.

APPROXIMATE AREA OF DISPLACED
CONCRETE FLOOR. CONCRETE TO BE
GROUND OR CUT OUT AND REPLACED
WITH SIMILAR FINISH.

DRYWALL ON UNCONDITIONED SIDE OF WALL
NEAR AND ABOVE STAIRS TO REMAIN.

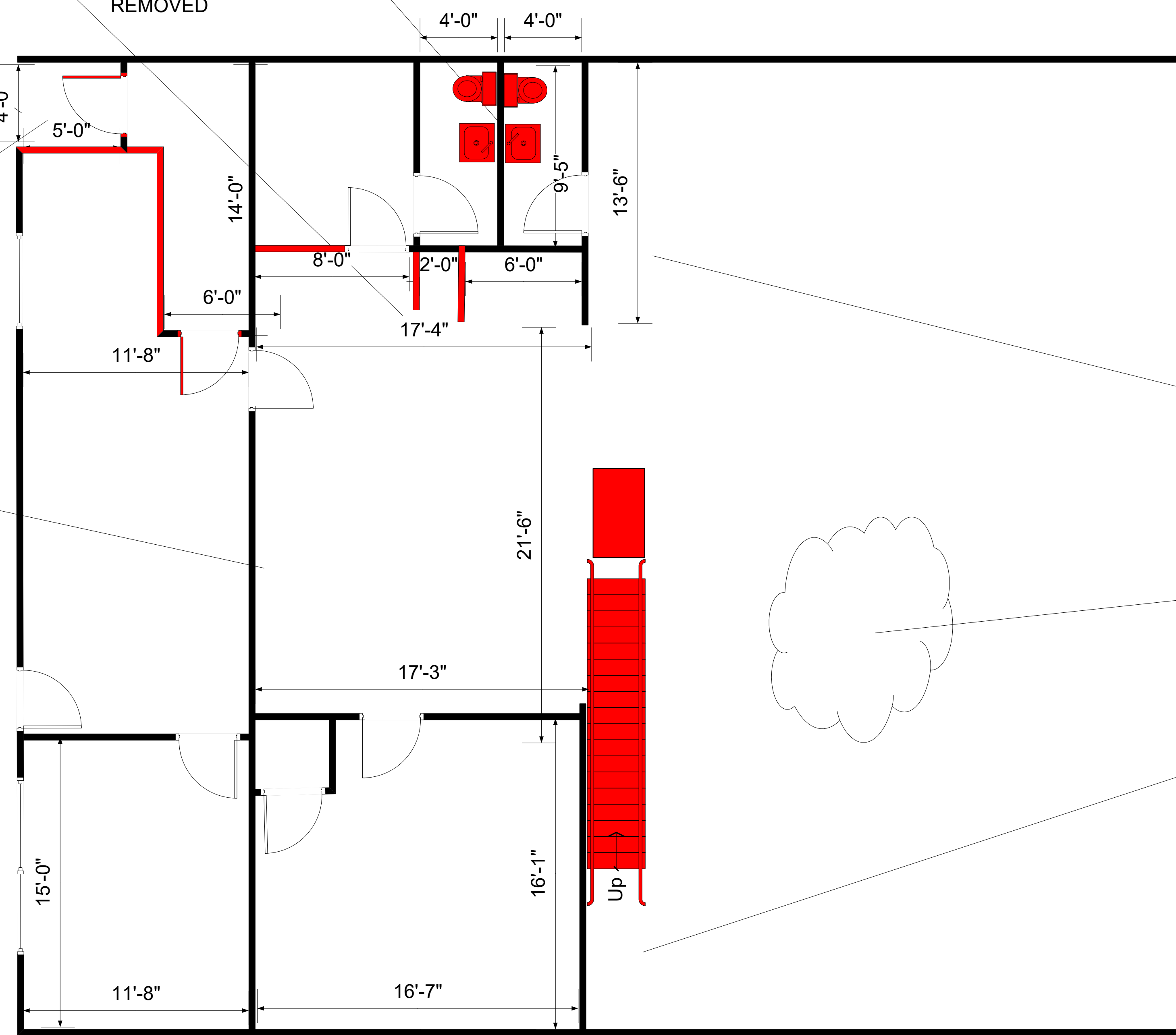
NOTES:

ALL DRYWALL ON EAST HALF OF THE BUILDING
IN THE EXISTING OFFICE SPACE TO BE REMOVED
SO AS TO EVALUATE CONDITION OF BUILDING
SYSTEMS CONCEALED. GIVEN THERE ARE
KNOWN TO BE SEVERAL RENOVATIONS WITHIN
THIS BUILDING ADDITIONAL MODIFICATIONS MAY
NEED TO BE ADDED.

DURING DEMOLITION PERIOD, NO STRUCTURAL
CONDITIONS TO BE MODIFIED UNLESS
AUTHORIZED BY BUILDING DEPARTMENT.

STRUCTURAL MODIFICATIONS TO BE
ADDRESSED DURING FRAMING PHASE OF
PROJECT.

ALL STRUCTURAL MODIFICATIONS TO BE
INSTALLED USING PRESCRIPTIVE METHODS.



CUT OUT FOR NEW 5040 WINDOW.
INSTALL 4X6 HEADER WITH TYPICAL
RETROFIT FRAMING INSTALLATION

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

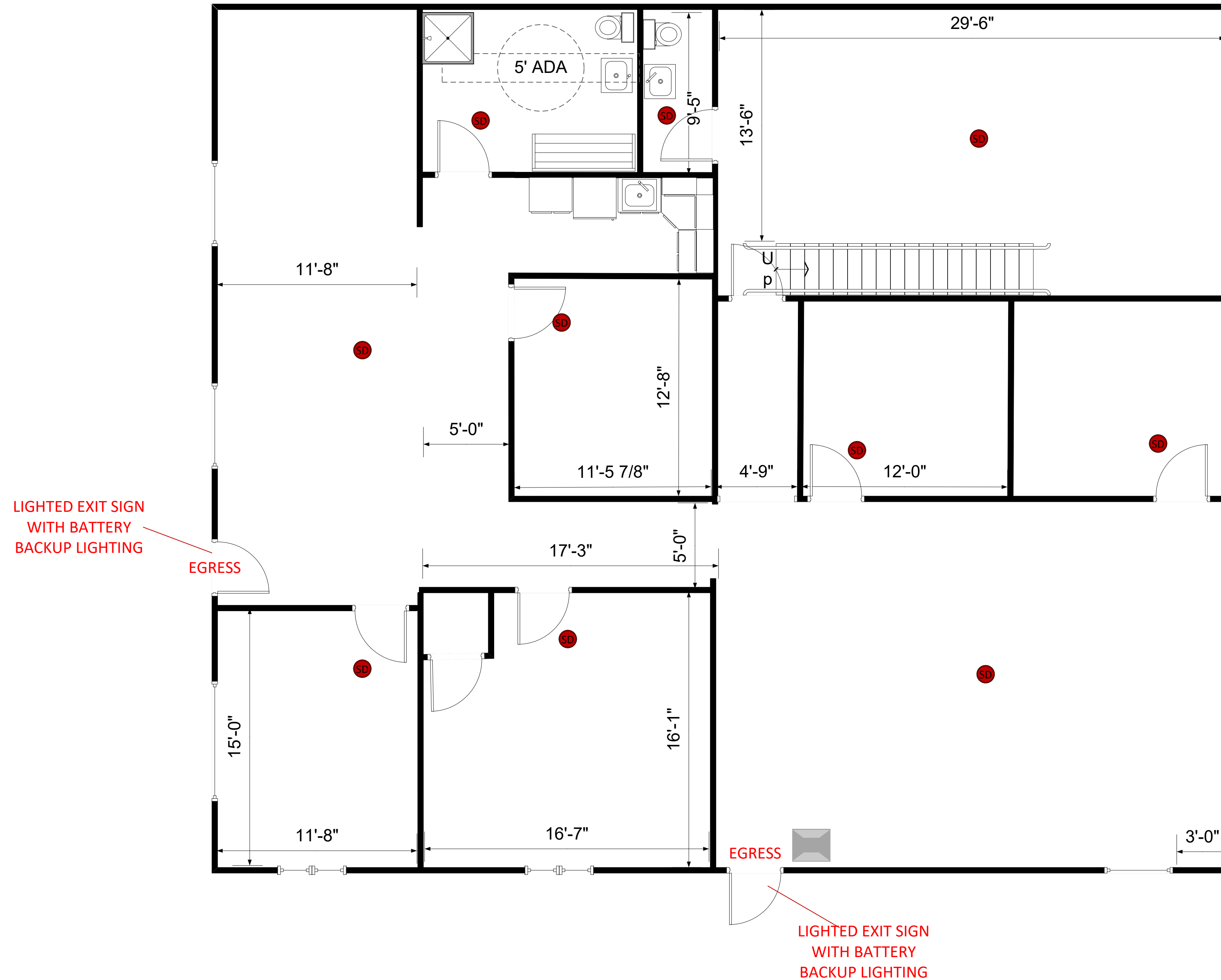
Sheet Information:

1ST FLOOR
DEMOLITION
PLAN

Sheet:

AD101

FIRST FLOOR



NOTES:

Retrofit all existing plate to floor connections and install all new first floor walls to slab with 5/8x6" wedge anchors with 3" square washers. Connections to be made every 48" or within 12" of seams.

Interior door from Office Space to Shipping Bay to meet minimum 2 hr fire rating.

Landings to have minimum 36" clearance.

Maintain 36" Clearance from all Mechanical and Electrical equipment.



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Orting Service Center Remodel

Drawn By: Chris Moore
Date: 2/1/23
Job #: 23-0007

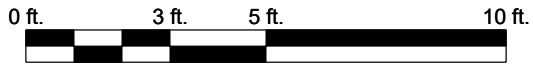
Sheet Information:

1st Floor

Sheet:

A101

SECOND FLOOR OPTION A – NEW SECOND FLOOR



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Client:

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Fife, Washington 98424
253-922-7890

Project:



Puget Sound Instrument
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Orting, Washington 98360

Orting Service Center Remodel

Drawn By: **Chris Moore**
Date: **2/1/23**
Job #: **23-0007**

Sheet Information:
2nd Floor

Sheet:

A201-A

SECOND FLOOR

OPTION B & C – ADD SECOND FLOOR DECK TO NEW OFFICES BELOW



Carbon River Builders
Orting, Washington

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Drawn By:

Chris Moore

Date:

2/1/23

Job #:

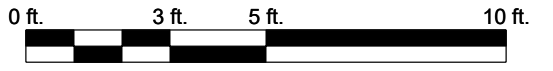
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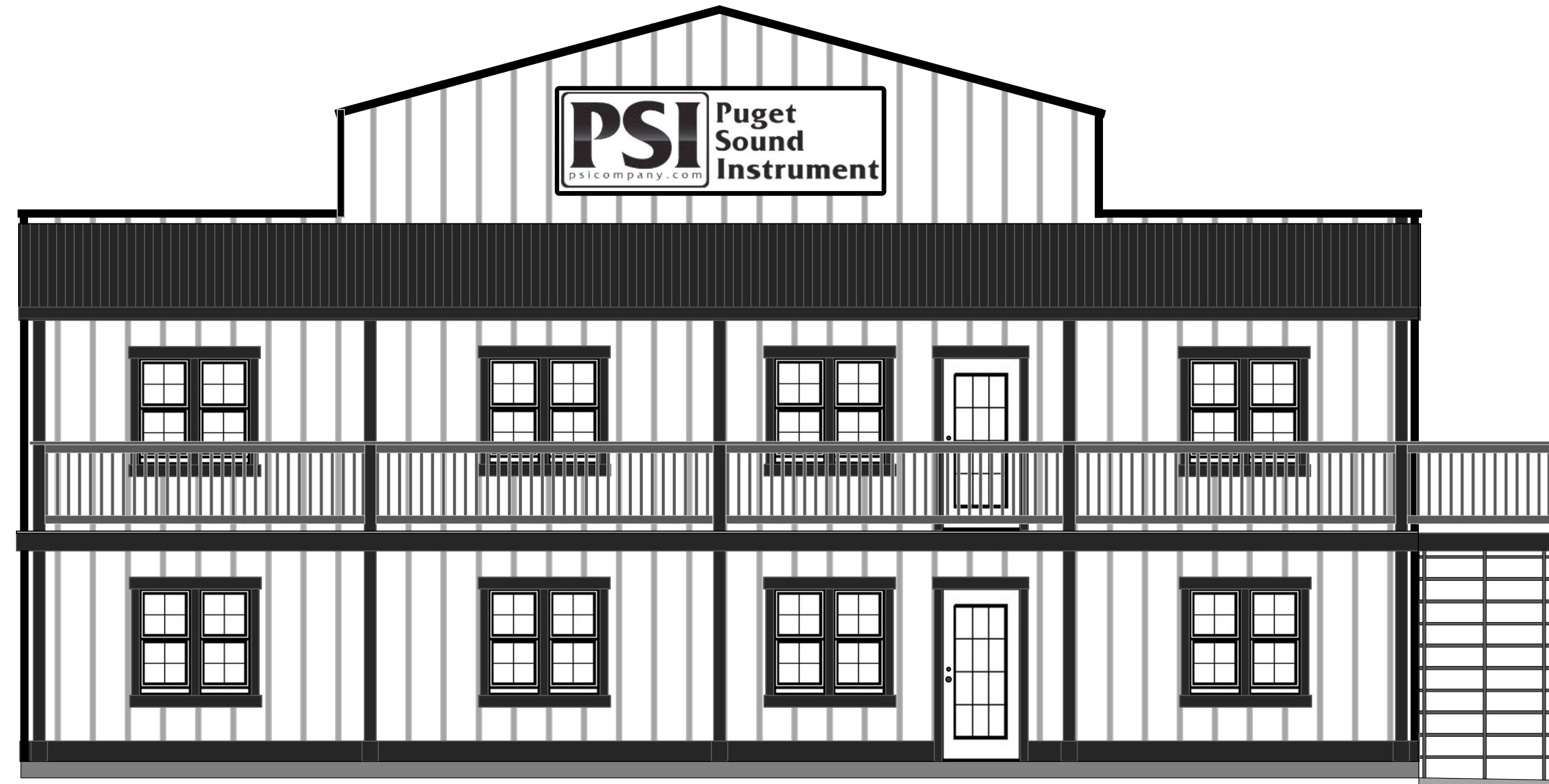
2nd Floor

Sheet:

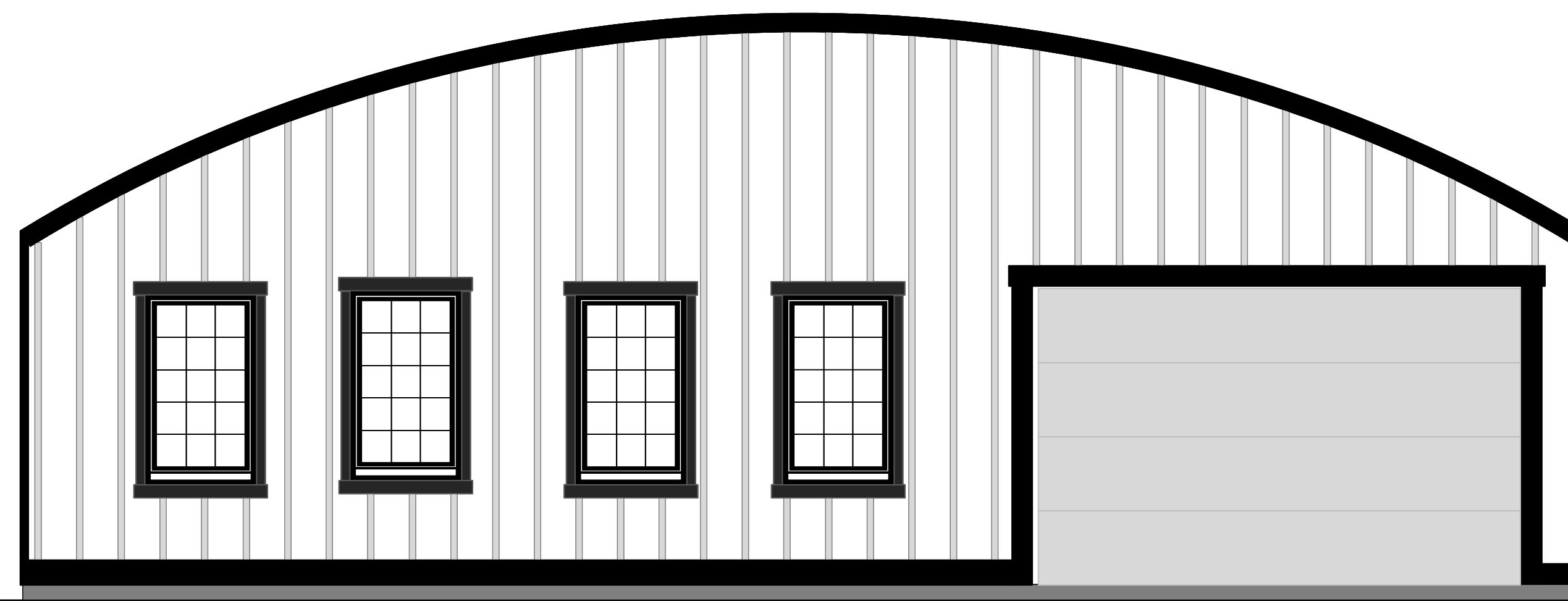
A102-B/C



FRONT ELEVATION OPTION A



REAR ELEVATION



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2/1/23

Job #:

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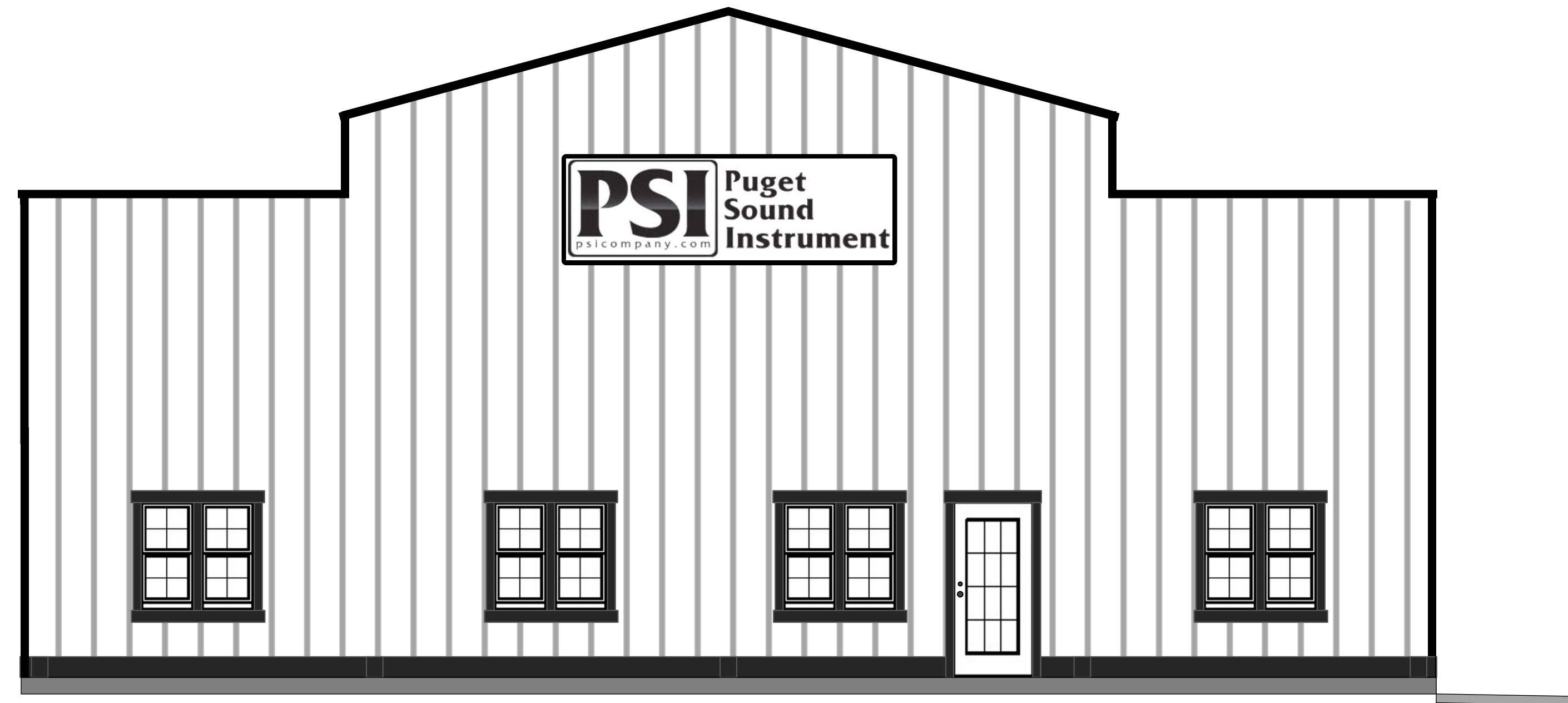
Sheet Information:

FRONT & REAR
ELEVATIONS

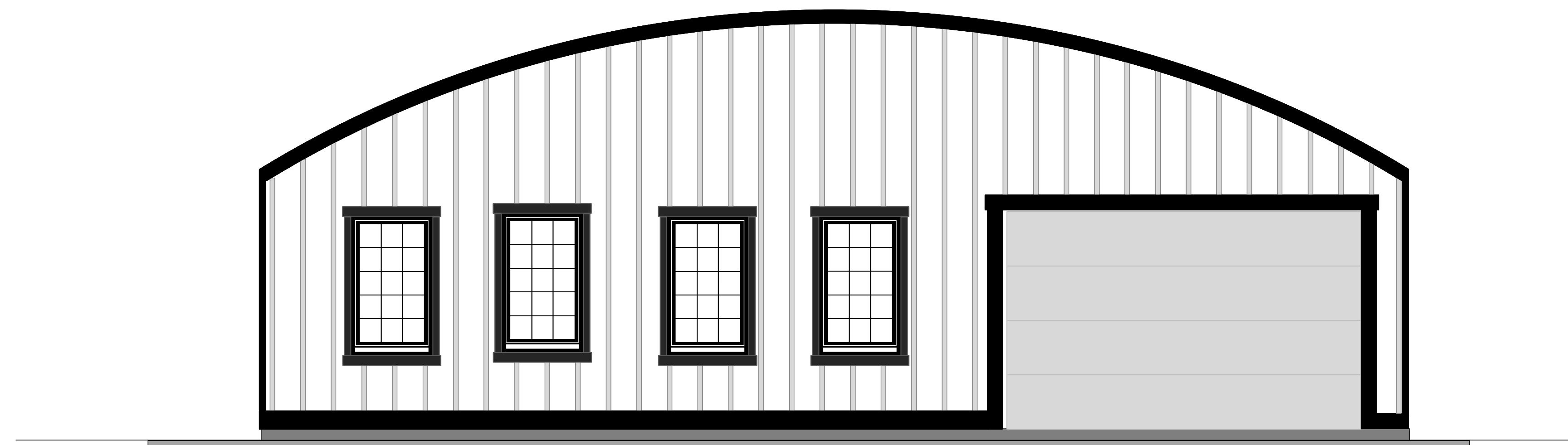
Sheet:

A201

FRONT ELEVATION OPTION B



REAR ELEVATION



214 Washington Ave. S
Orting, Washington 98360
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Client:

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Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

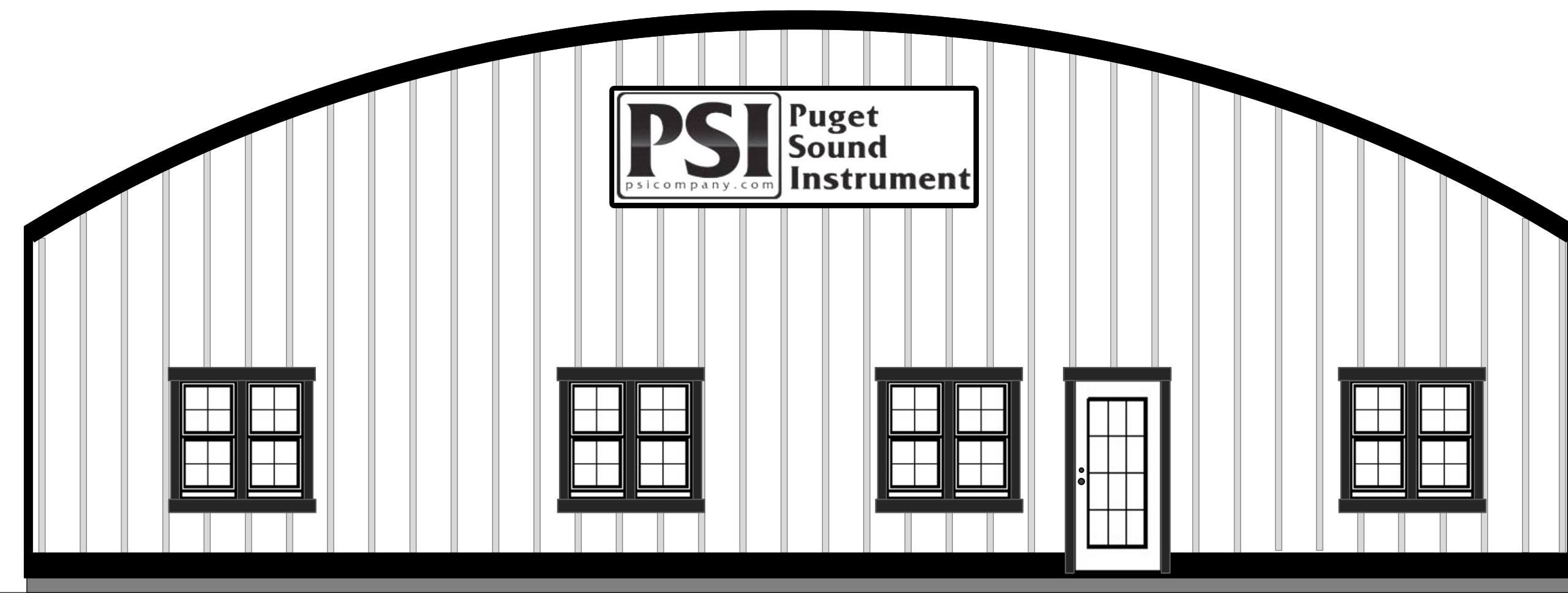
Sheet Information:

FRONT & REAR
ELEVATIONS

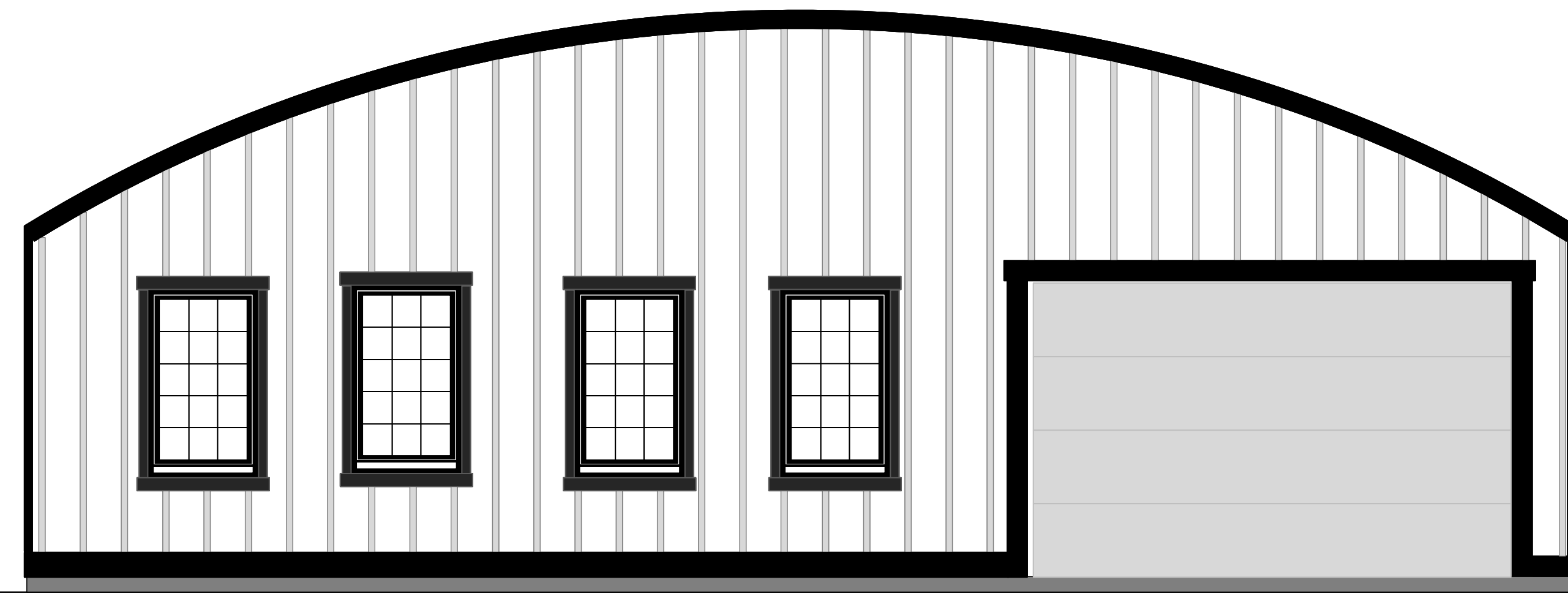
Sheet:

A201

FRONT ELEVATION OPTION C



REAR ELEVATION



214 Washington Ave. S
Orting, Washington 98360
360-893-3080
360-893-3079 Fax
Info@carbonriverbuilders.com
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Client:

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Project:



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Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

FRONT & REAR
ELEVATIONS

Sheet:

A201



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Orting, Washington 98360

Orting Service Center Remodel

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

SIDE
ELEVATIONS

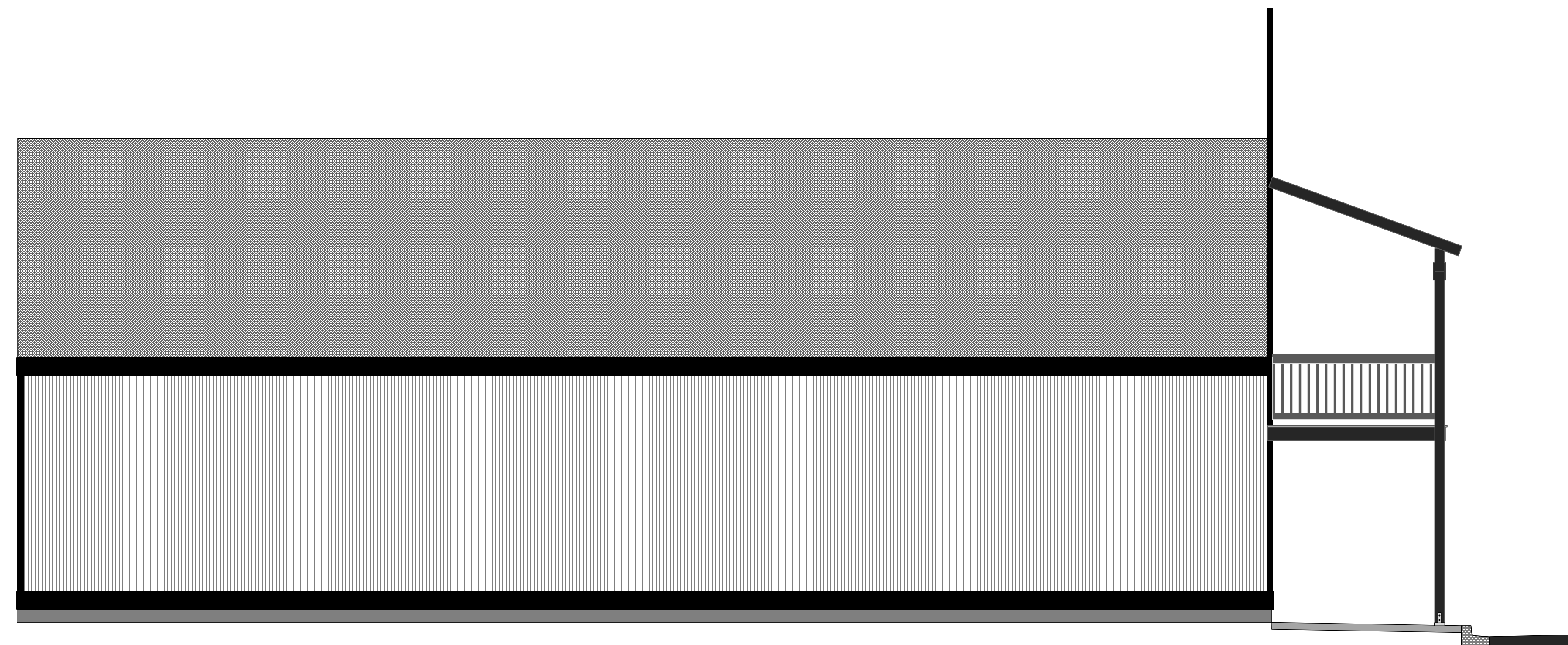
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A203

RIGHT ELEVATION OPTION A



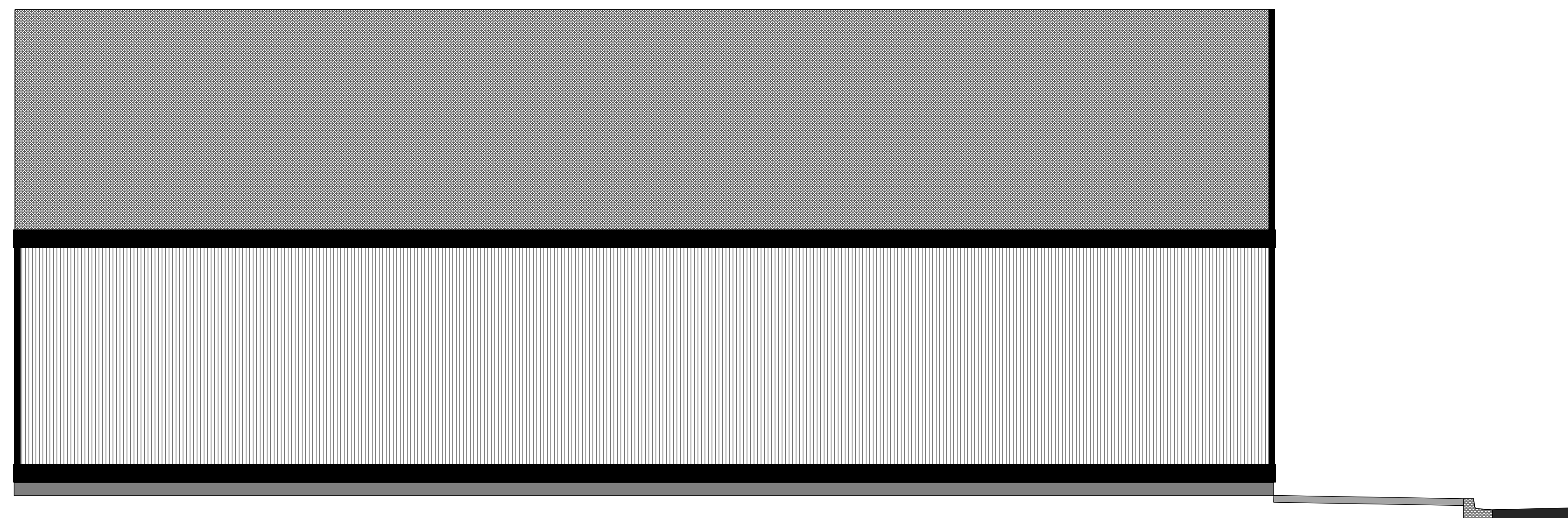
LEFT ELEVATION OPTION A



RIGHT ELEVATION OPTION B



LEFT ELEVATION OPTION B



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Orting, Washington

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Client:

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5007 Pacific Hwy E
Unit 5
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253-922-7890

Project:



Puget Sound Instrument
225 VanScoyoc Ave. SW
Orting, Washington 98360

Orting Service Center Remodel

Drawn By:

Chris Moore

Date:

2/1/23

Job #:

23-0007

Sheet Information:

SIDE
ELEVATIONS

Sheet:

A203

FIRST FLOOR FURNITURE FIXTURES & EQUIPMENT



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Client:

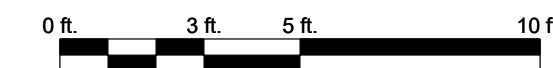
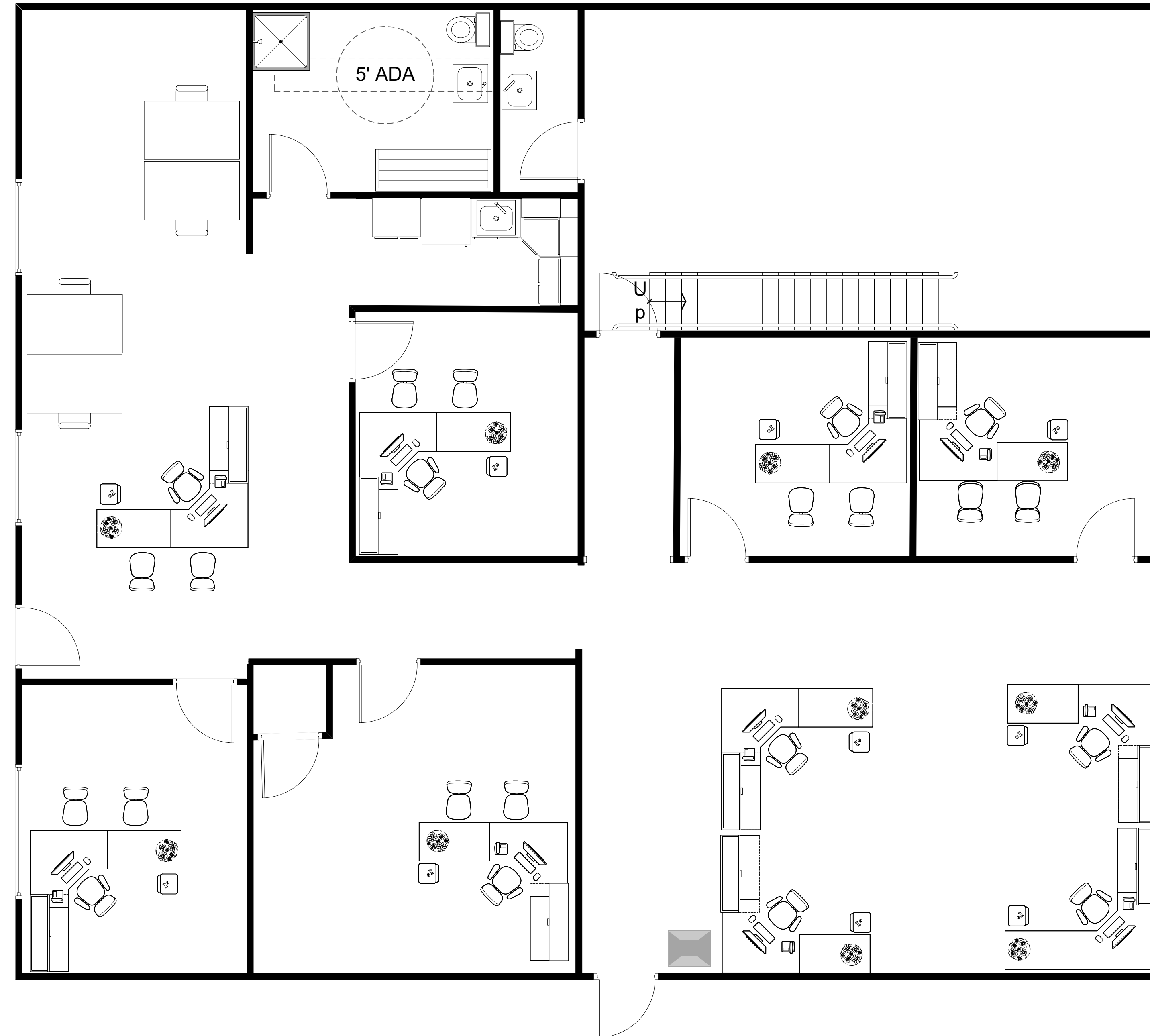
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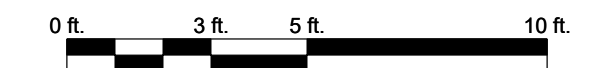
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**FURNITURE
 FIXTURES &
 EQUIPMENT**

Sheet:

i101

FLOORING



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Sheet Information:

FLOORING

Sheet:

I102