

Commissioners

Kelly Cochran, Chair
Jeff Craig, Co-Chair
Chris Rule
Erika Bartholomew
Dan Swanson
Joe Pestinger



City of Orting Planning Commission Agenda

Monday, February 6th, 2022
7:00pm
City Hall Council Chambers

If joining virtually:

Phone Dial-in - Charges may apply
+1.253.215.8782

To join the meeting on a computer or mobile phone:

<https://us06web.zoom.us/j/84771644299?pwd=aXduZ0RtVFpFaHpDSlQrSXlvc1ExQT09>

Meeting ID: 847 7164 4299
Password: 718502

A. CALL MEETING TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL

The public may attend this meeting virtually via the platform Zoom by clicking the link above or by telephone, or in person at City Hall.

1. Is there a motion to excuse Commissioner(s) from this meeting?

B. AGENDA APPROVAL

1. Does the agenda require an addition or removal of a topic?

C. PUBLIC COMMENTS

Comments may be sent to the Planning Commission Acting Secretary Kimberly Agfalvi at clerk@cityoforting.org by 1:00pm on the day of the meeting and will be read into the record at the meeting. In the case of a question, the chair will refer the matter to the appropriate administrative staff member. Comments that come in after the deadline will be read into the record at the next Planning Commission meeting.

D. WELCOME COMMISSIONERS

1. Reappointed – **Dan Swanson**.
2. Appointed – **Joe Pestinger**.

E. APPROVAL OF MINUTES

1. Are the minutes of December 5th, 2022 meeting correct and accurate?
2. The January 5th, 2023 meeting was cancelled – no minutes to approve.

F. ARCHITECTURAL DESIGN REVIEW

1. ADR 2023-01 – Route 66 Pizza – Remodel.
2. ADR 2023-02 – Orting Valley Adult Family Home – Signage.

G. NEW BUSINESS

1. Introduction of Code Enforcement Officer – **Jorge Martinez**.
2. Election of Officers.

H. OLD BUSINESS

1. Dumpsters.
2. Sign Code Violations.

I. GOOD OF THE ORDER

1. Planned Absences.
2. Report on Council Meetings.
3. Agenda setting.

J. ADJOURN

NEXT PLANNING COMMISSION MEETING: Monday, March 6th, 2022

City of Orting
PLANNING COMMISSION MINUTES
December 5th, 2022

Chair Kelly Cochran called the meeting to order at 7:00pm. Co-Chair Craig led the pledge of allegiance. Roll call found Commissioners, Jeff Craig, Erika Bartholomew, Jennifer McKinney, and Dan Swanson in attendance. A quorum was present.

Commissioners Karen Wilson and Chris Rule were absent from the meeting. Co-Chair Craig made a motion to excuse Commissioner Wilson and Rule from the meeting. Commissioner McKinney seconded the motion and it carried.

ATTENDANCE:

City	Planning Commission Secretary Danielle Charchenko and City Administrator Scott Larson.
Professional Representatives	City Planner Carmen Smith.
Guests (including Virtual Log-in)	None.

AGENDA APPROVAL:

Agenda Approval	Co-Chair Craig moved to adopt the agenda as written. Commissioner McKinney seconded the motion and it carried.
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AUDIENCE PARTICIPATION: None.

MINUTES:

Approval of Minutes for November 7 th , 2022	Co-Chair Craig moved to approve the November 7 th , 2022 minutes with the correct spelling of City Administrator on page two. Commissioner McKinney seconded the motion and it carried.
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ARCHITECTURAL DESIGN REVIEW: None.

NEW BUSINESS:

Sign Code Amendments	<p>City Planner Carmen Smith briefed on the progression of Sign Code Amendments. She stated the main change to the sign code is the separation of regulations for canopy, wall, under canopy, projected, and freestanding signs. City Planner Carmen Smith stated these changes also include provisions for determining frontage of a building and updated definitions to reflect consistency with the City of Orting Municipal Code. Chair Cochran requested to remove the additional “to the” in the wording of Projecting Sign definition. She also noted there are two “J” sections and the second “J” should be changed to “K”. Co-Chair Craig noted the draft ordinance states City Council will hold a public hearing in February 2022 and needs to be changed to February 2023.</p> <p>Chair Cochran laid out the rules for the public hearings.</p> <p>Chair Cochran opened the public hearing at 7:09pm.</p> <p>Chair Cochran closed the public hearing at 7:10pm.</p>
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Co-chair Craig made a motion to recommend adoption of the revised sign code ordinance to the City Council with the identified corrections made. Commissioner Bartholomew seconded the motion and it carried.

Comprehensive Plan Amendments

City Planner Carmen Smith briefed that there are two comprehensive plan amendments for this year. She stated the first amendment request is a text amendment to the capital facilities chapter of the comprehensive plan to ensure consistency with the Parks, Trails, and Open Space (PTOS) Plan. City Planner Carmen Smith stated the text amendment also includes adopting the PTOS plan by reference as the City of Orting's parks and recreation chapter of the comprehensive plan. She stated during a separate commerce review the City was made aware that the City of Orting's current comprehensive plan does not have a parks and recreation chapter, which is an element required by the growth management act. City Planner Carmen Smith stated the second amendment request was made by the property owner of the Orting School District to have 510 Washington Ave N and 710 Washington Ave N rezoned from Multi Use-Town Center North to Public Facilities. She briefed that the reason for this request is to accommodate the increase in student enrollment as well as other Orting School District needs. Co-Chair Craig noted the draft ordinance states City Council will hold a study session meeting in January 2022 and hold a public hearing in February 2022 and needs to be changed to January 2023 and February 2023.

Orting School District Superintendent Ed Hatzenbeler elaborated on the reasoning for this request. He briefed on the current schools in the district and stated that there are four schools, one K-3 primary school, one K-5 elementary school, one middle school, and one high school. He noted that all schools are located in City limits. He briefed the schools in aggregate were built for a permanent capacity of 2,090 students and for the month of December the enrollment is over 2,700 students and increasing. Orting School District Superintendent Ed Hatzenbeler stated with the new neighborhood developments to the north and south of Orting the student enrollment is expected to double by 2023. He stated the Orting School District has been working with the Citizens Facility Advisory Committee to address the capacity restraints. He stated the committee and staff decided to firstly address the needs with existing facilities. Orting School District Superintendent Ed Hatzenbeler stated the main challenge was being out of space for growth and after purchasing 510 & 710 Washington Ave N properties the Orting School District was able to re-vision their future. Orting School District Superintendent Ed Hatzenbeler briefed the first phase will include building a new K-5 elementary school to replace the K-3 primary school, allowing the high school more room to expand. He stated the committee and staff would like to keep Orting School District a one high school district for as long as possible.

Chair Cochran opened the public hearing at 7:19pm.

Chair Cochran closed the public hearing at 7:20pm.

Co-chair Craig made a motion to recommend approval of the comprehensive plan amendments and rezone request to the City Council with the identified corrections made. Commissioner Swanson seconded the motion and it carried.

OLD BUSINESS:

Dumpster Code Violations

Signage Code Violations

City Administrator Scott Larson briefed that when the City hires a Code Enforcement Officer dumpster and sign code violations will be addressed. He stated that City has received applications and anticipated hiring a Code Enforcement Officer in January 2023.

GOOD OF THE ORDER:

Planned Absences

None.

Report on Council Meetings

City Administrator Scott Larson gave a brief report and stated the 2023 budget has been passed, Police Chief Devon Gabreluk was sworn in, and the City has ended their state of emergency due to the COVID pandemic. City Administrator Scott Larson briefed the Commission on the three Main Parks Master Plan options that Macleod-Reckord has put together which incorporates feedback the City had received from public outreach. He briefed option A leaves the trail as is with no street scape improvements and turning Train Street into a plaza space with optional vehicle access park additions. He briefed option B shifts the trail alignment from being adjacent with Van Scoyoc Ave to Washington Ave, eliminates the gravel parking lot and shifts to angled parking on Van Scoyoc Ave, and also would turn Train Street into a plaza. He briefed option C is more comprehensive shifting the trail alignment toward Van Scoyoc Ave with parking on both sides of Van Scoyoc and would also turn Train Street in into a plaza. City Administrator Scott Larson stated Mayor Penner has requested input on the possible addition of one way streets around the park with Washington Ave northbound and Corrin Ave southbound. City Administrator Scott Larson stated the City will have a website available soon for the community to provide comments on park proposals. He stated the Parks Advisory Board will help provide feedback with the goal to be done in Spring 2023.

Agenda Setting

The Planning Commission requested to leave dumpsters and sign code violations under Old Business.

ADJOURNMENT:

Meeting Adjournment

Co-Chair Craig moved to adjourn the meeting at 8:00pm. Commissioner McKinney seconded the motion and it carried.

ATTEST:

Kelly Cochran, Commission Chair

Danielle Charchenko, Planning Commission Secretary



Commission Application

City of Orting - Office of the City Clerk
PO Box 489-110 Train St., Orting, WA 98360
Phone: (360) 893-2219 - Fax: (360) 893-6809
www.cityoforting.org

FOR CITY CLERK USE ONLY:

Name: Dan Swanson Date: 11/22/2022
Mailing Address: 1007 Van Ogle Lane NW, Orting, WA 98360

Phone: 425-864-0813 Alt. Phone: _____

Best time to contact you: Any time Email Address: 1swan.dan@gmail.com

How long at Residence: 5-1/2 years

Commission desired: 1.) Planning
2.) _____

Reason you are interested in serving: I love our community and small town feel. This is one of the reasons we chose Orting to live and hopefully retire in some day. Being a NW native; I understand the sentiment of wanting to keep Orting small, but growth is inevitable. More homes will be built, fields will be gone, roads will be widened, and we cannot be close minded and try to stop growth. We need manage the change effectively balancing our cities and citizens best interests for now and the future and manage it responsibly. I have been blessed with a lot of things in my life and giving back to my community with my time is part of how I can leave my mark and pay some of that forward.

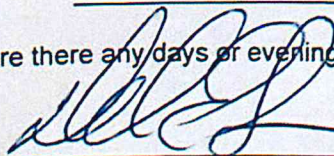
Previous community activities: Current Planning Commissioner, CTE Advisory Council – Kent Meridian School District (past 4 years), CTE Advisory Council – Orting School District (past 2-1/2 year), Advisory Board – Tomolo Institute for Bellevue College, Design Thinking Program (Business School), CFAC – Citizens Facility Advisory Committee – Orting School District (Former), Village Green HOA President (former) 2 year term

Applicable education, occupational, and specialized experience: 30 Years construction industry related & business background. Designer by trade. Currently Product and Education Director for Bellmont Cabinet Company in Sumner, WA responsible for product, training, and capital improvement projects in 3 states, and previous 16 years as National Director of Sales & Design for a national \$3B building material distributor. Built residential and commercial projects in 10 states and 4 Countries.

Commissions make recommendations regarding monetary expenditures an/or benefits to certain areas of the Community.

- 1.) Can you foresee possible conflicts of interest with any of your current employment or civic positions: None
- 2.) When making these recommendations do you feel you could be impartial and base your decision on the overall need and benefit of the Community: Yes

Are there any days or evenings you are unavailable to meet? No current conflicts


Signature of Applicant

11/22/22
Date

Please return completed form and any additional information to:
City of Orting – Attn: City Clerk, 110 Train St. SE, PO Box 489, Orting, WA 98360
For more information, please call (360)893-2219



Commission/Board Application

City of Orting - Office of the City Clerk
PO Box 489-104 Bridge St. S., Orting, WA 98360
Phone: (360) 893-2219 - Fax: (360) 893-6809
www.cityoforting.org

FOR CITY CLERK USE ONLY:

RECEIVED

JAN 19 2023

CITY OF ORTING

Name: Joachim (Joe) Pestinger Date: 1/19/23

Mailing Address: P O Box1227 Orting, WA 98360

Phone: 253 820-0283 Alt. Phone: 360 893-6617

Best time to contact you: Anytime Email Address: pestinger@earthlink.net

How long at Residence: more than 25 years

Commission/Board desired: 1.) Orting Planning Commission
2.) _____

Reason you are interested in serving: _____

I believe in, and enjoy, public service.

Previous community activities: _____

City Council, Puget Sound Regional Council, Fire Commission, Mayor,
Orting Schools Truancy Board

Applicable education, occupational, and specialized experience: _____

BA from BYU, Director of Real Estate Services WSDOT, IRWA Instructor

Commissions/Boards make recommendations regarding monetary expenditures and/or benefits to certain areas of the Community.

1.) Can you foresee possible conflicts of interest with any of your current employment or civic positions: No

2.) When making these recommendations do you feel you could be impartial and base your decision on the overall need and benefit of the Community: Yes

Are there any days or evenings you are unavailable to meet? generally not.

J. Pestinger
Signature of Applicant

1/19/23
Date

Please return completed form and any additional information to:
City of Orting – Attn: City Clerk, 104 Bridge Street South, PO Box 489, Orting, WA 98360
For more information, please call (360)893-2219

City of Orting Staff Report

Planning Commission

Route 66 Pizza
ADR 2023-01 Remodel and Addition

APPLICANT / OWNER:

Steve Dorsey – Applicant
Randy Anderson - Owner

LOCATION OF PROPOSAL:

201 Washington Ave N, Orting, WA 98360

DESCRIPTION OF PROPOSAL: The Route 66 Pizza restaurant is located within the existing building; the applicant proposes to construct a 615 square foot addition to the dining room and a 330 square foot exterior covered dining patio. The proposal also includes an update to the front façade and signage, paving and striping the existing gravel parking lot, and installing a storm water system for the new paving and any roof runoff.

STAFF REPORT:

The property is located in the “Mixed Use-Town Center” (MUTC) zone. The proposed renovation and use of this property is subject to the requirements of OMC 13-6-7:A “Architectural Design Review”.

- The applicant submitted an application packet that includes site plans and renderings showing the design of the additions and renovations to the existing building and the proposed free-standing sign; see attached.
- The proposal includes a western Victorian style false front on the building with exterior wood trim, corbel brackets, wood posts and beams, a false balcony with a wood and metal railing that mimics the look of vintage wrought iron, and a cornice with dintel details along the top edge of the façade and on all sides of the building.
- The applicant proposes to clad three sides of the building in horizontal wood siding with a clear finish. The south elevation of the building and an existing one-story section located to the rear of the building will be clad in a rough sawn plywood with cedar battens. The choice of building materials meets the architectural design review requirements (OMC 13-6-7:D.4).
- The colors listed in the renderings package submitted by the applicant include Cracked Pepper, a dark grey for the trim and details, and Split Rail, a warm and muted medium tan color that will be used on the body of the building where plywood and battens are used. Colors confirmed on the Behr website.
- The proposed free-standing sign incorporates the creative use of a near-replica water tower from the early 1900’s. The faux water tower adds visual interest and a variety of detail and form to the site. The site is within close proximity to former rail lines and water towers were commonly located along railroad tracks at the turn of the century to store water used for generating steam to power the trains. The use of the water-tower-sign strengthens the relationship between the building and the adjoining area where such water towers could have existed.

The style of the building is reflected in the use of wood on the tower structure and metal for the cylinder and plant hangers; the silo shape of the roof over the cylinder harkens directly back to water towers found in western towns in the early 1900’s. The sign is illuminated by indirect lighting, which meets the architectural design review requirements.

- The applicant provided basic landscaping information on the site plan however a fully developed landscape plan is required and was not submitted prior to the date of this report. The Foothills Trail flanks the site to the east and south and there are numerous trees along the trail and adjacent to the project site. The site plan shows landscape perimeters; the topography will remain unchanged; the proposal to grade and pave the parking lot will vastly improve the appearance of stability; the proposed landscaping areas will enhance the appearance of the rear of the building; the proposed trees on the site will provide shade as will the existing trees along the east and south property lines; and the design appears to make good use of available space for landscaping. The information presented appears to generally meet the requirements of OMC 13-6-7: D however a landscape plan

is still required to be submitted. Staff recommends a condition of approval be added to the permit to ensure the landscape plan is submitted, reviewed, and approved by staff prior to final occupancy of the renovated structure.

- The proposed lighting for the exterior of the building enhances the building design and adjoining landscape and meets the architectural design review standards. The primary light fixtures will be a goose neck design that is compatible with the building and adjacent areas.
- The application materials indicate the existing parking lot will be paved and 23 parking spaces will be located to the east of the building and behind the building, which exceeds the on-site parking requirement (10 spaces required) and the architectural design review requirements for parking.
- The service area to the rear of the building and a new dumpster enclosure located in the southern corner of the site will be enclosed by new fencing. See attached *Covrit Screening Systems* information sheets.
- The Building Official, Tim Lincoln has received one of the ADR packets submitted.

STAFF RECOMMENDATION: Staff recommends conditional approval of ADR 2023-01 as presented, with the condition that a landscape plan is submitted, reviewed, and approved by staff prior to final occupancy of the renovated structure.

PREPARED BY: MillieAnne VanDevender, AHBL – Contract Planner

****PLANNING COMMISSION DECISION – February 6, 2022****

Kelly Cochran, Planning Commission Chair

Scott Larson, City Administrator

City of Orting
 Department of Planning & Community Development
 ARCHITECTURAL DESIGN REVIEW APPLICATION FORM

File No. _____
 App. Type _____
 Fee Paid \$ _____
 Date Rec'd _____

Name of Project/Development: Route 66 Pizza addition

APPLICANT/CONTACT PERSON

Name: Randal Anderson

Address: 2023 5th Street SE

City: Puyallup

State: WA Zip: 98372

Phone: 253-230-5504

DESCRIPTION OF PROPOSED ACTION

615 S.F. DINING ROOM ADDITION. 330 S.F. EXTERIOR COVERED DINING PATIO ADDITION. ASPHALT PAVING OF EXISTING GRAVEL PARKING LOT. STORM WATER SYSTEM FOR NEW PAVING AND ROOF RUNOFF. UPDATE FRONT FACADE AND SIGNAGE.

PROPERTY DESCRIPTION

Location of subject property: 201 Washington Avenue N., Orting, WA 98360

Legal Description (attach additional pages as required): L 1 OF S P 96-01-16-0280 TOG/W EASE & RESTRICTIONS OF REC OUT OF 3-800 & 3-129 SEG H-0615 JU 2/5/96 JU

Tax Parcel 0519297010 1/4 Sec. 33 Sec. 29 Twn. 19 R. 05

Size (ac./sq. ft.) 17,640 Comp. Plan designation Zone Mixed use town center

Current Use Restaurant

**AUTHORIZATION TO FILE:
 SIGNATURE OF ALL PERSONS WITH AN INTEREST IN THE PROPERTY**

Name Randal Anderson

Name

Signature

Signature

Tax No or Lot & Subdivision

Tax No or Lot & Subdivision

Owner Contract Purchase
 Option Purchaser*

Owner Contract Purchase
 Option Purchaser*

Option Expiration Date _____

Option Expiration Date _____

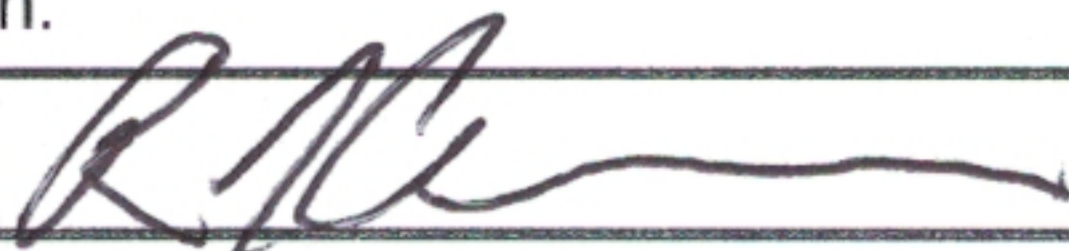
*Owners signature also required

*Owners signature also required

CERTIFICATION

I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization.

Signature:



Date:

12-1-2022



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW CRITERIA

The following criteria will be used by the Planning Commission in its decision making on your proposed project. Please carefully review the criteria, respond to each criterion (if applicable), and describe how your site plans and building elevations meet the criteria. If the space provided for response is insufficient, use extra space on last page or use blank paper to complete response and attach to this form.

1. RELATIONSHIP TO BUILDING SITE

The site shall be planned to accomplish a desirable transition with the streetscape; facilitate pedestrian movement; locate parking areas behind buildings, screen service areas; and be compatible with adjoining building in height and scale.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Existing parking has been removed from in front of building. The front of the building is to be expanded closer to the street with a dining room addition and an exterior covered dining patio along the street.. Existing gravel parking behind the building is to be paved. Single story building height similar to adjacent strip mall building.

2. RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

The site shall be planned to accomplish a harmony in texture, line and mass; and attractive landscape transitions with adjoining areas.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The front facade is to be enhanced with a western victorian style and will be in scale with adjacent buildings. Landscaping is proposed between exterior dining patio and street sidewalk. The perimeter of the parking lot is to be landscaped.

3. LANDSCAPE AND SITE TREATMENT

The site shall be planned to accomplish the preservation of existing topographic patterns; inviting and stable appearing walks and parking areas; landscaping that enhances architectural features and provide shade. Service yards shall be screened, in

winter and summer, by the use of walls, fencing, planting or a combination of these. Exterior lighting shall be of a design and size compatible with the building's "Turn of the Century/Western-Victorian" theme. Excessive brightness and brilliant colors shall be avoided.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The front facade is to be enhanced with a western victorian style and will be in scale with adjacent buildings. An inviting exterior covered dining patio is to provide connection to street pedestrians.

4. BUILDING DESIGN

The site shall be planned to accomplish the architectural style of "Turn of the Century/Western-Victorian". Evaluation of a project will be based on quality of its design and relationship to the natural setting of the valley and mountain surroundings.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The front facade is to be enhanced with a western victorian style.

5. SIGNAGE

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs shall be illuminated by indirect lighting; internally illuminated sign are prohibited. All materials used in the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Proposed signage to resemble a wooden water tower with Route 66 theme logo lighted with indirect fixtures.

6. PAINTING

Exterior paint colors shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior paint colors shall be characteristic of the early 1900's.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Building to have earth tone paint colors on beveled wood siding and western Victorian style.

7. LIGHTING

Exterior lighting shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior lighting shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. All materials used must UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:


Opaque signage and building facade to be indirectly lit with vintage look light fixtures per applicable codes.

8. MISCELLANEOUS STRUCTURES AND STREET FURNITURE

All miscellaneous structures and street furniture shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Proposed signage to resemble wooden water tower. Outdoor dining area furniture and fencing to have a vintage wrought iron look.



Signature

12-1-2022
Date

<i>City use only</i>	
ADR #	_____
Fee Paid	_____
Date Received	_____



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360
Phone: (360) 893-2219 FAX: (360) 893-6809
www.cityoforting.org

January 19, 2023

Owner: Randall Anderson
2023 5th Street SE
Puyallup, WA 98372

Applicant: Steve Dorsey
734 23rd Street SW
Puyallup, WA 98371
steve@dorseyarchitecture.com

Subject: Route 66 Pizza Remodel and Addition, File No. ADR 2023-01
Project Review, Request for Revisions

Dear Mr. Anderson,

The City of Orting has reviewed the application materials for the Route 66 Pizza Remodel and Addition - Architectural Design Review. Please be advised that this review letter requests additional materials and/or clarifications needed. Comments are as follows:

Planning

- See the attached consolidated comment and response spreadsheet for comments and requested revisions. Please fill out a response for each comment and return upon resubmittal.

If you have any questions, please call me at (509) 316-7145, or email me at planner@cityoforting.org.

Thank you,

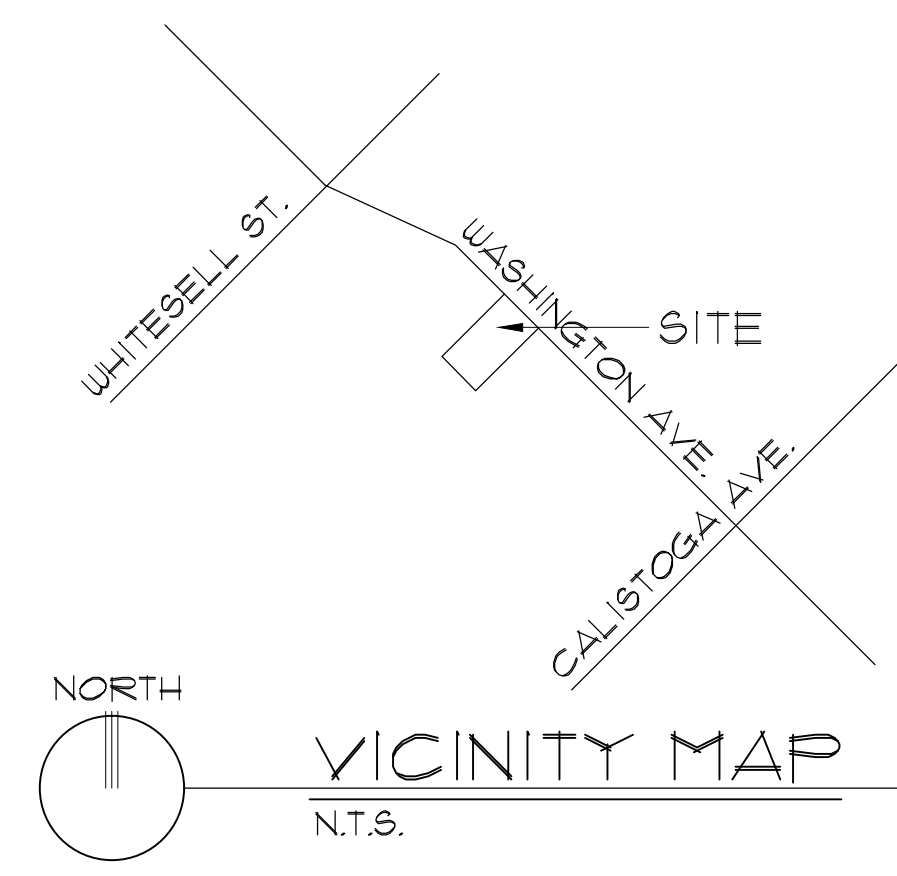
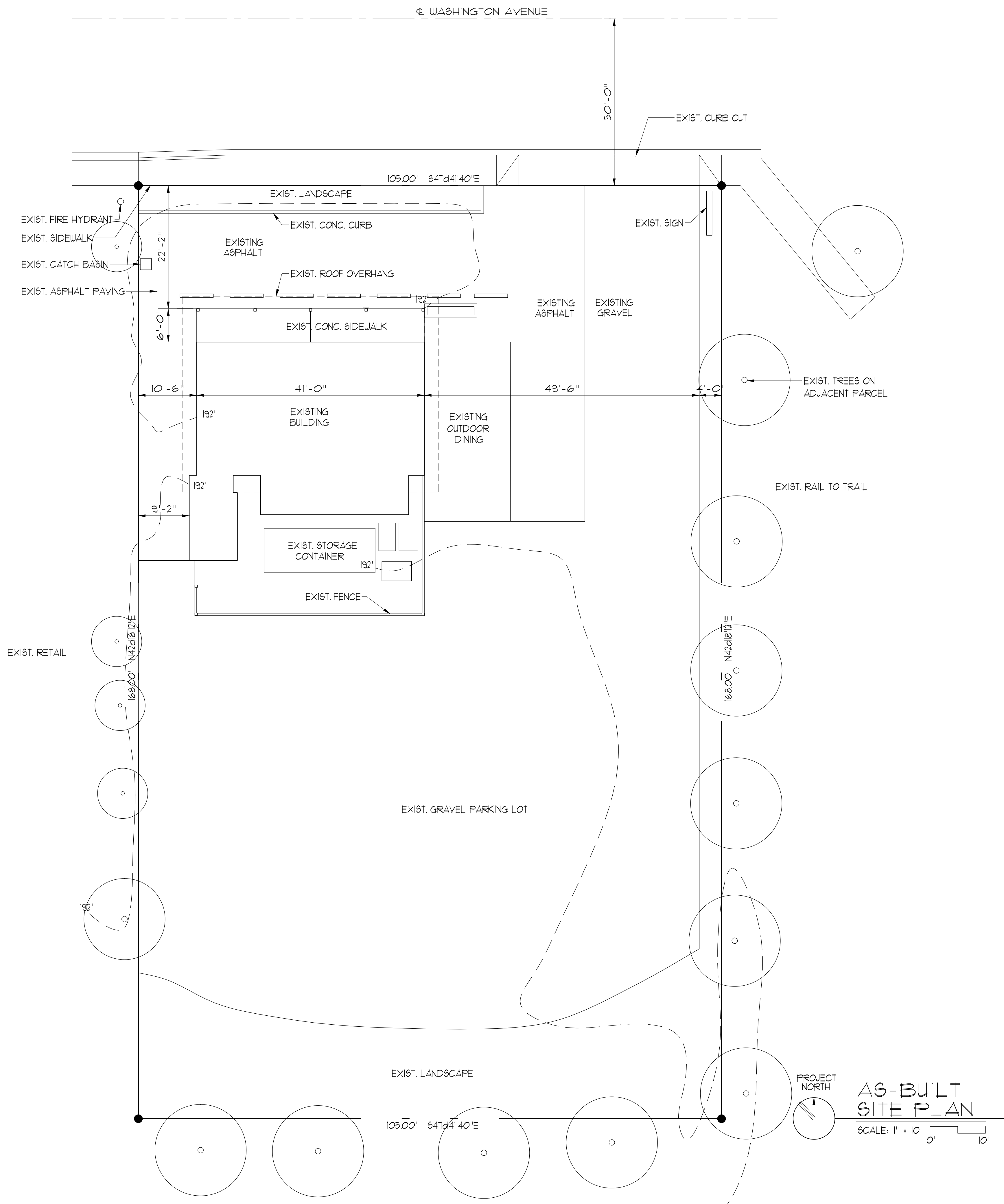
A handwritten signature in black ink that reads "MillieAnne VanDevender".

MillieAnne VanDevender
Contract City Planner

Applicant/ Agent:	Randy Anderson – Owner Steve Dorsey - Applicant	Review No.:	01
Project Name:	Route 66 Pizza Remodel and Addition	Project No.:	ADR 2023-01
		Date:	January 19, 2023

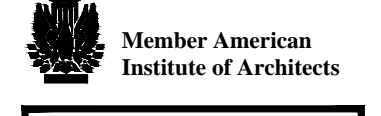
Comment No.	Sheet/Page	Reviewer's Comment	Designer's Response	Initials
Planning Comments				
1	Site plan-Sheet A3.1 & Rendering Sheets 1 and 4	The exterior elevations included with the site plan set and those included with the rendering package have conflicting information shown and listed for some exterior materials. Among other discrepancies, the site plans (Sheet A3.1) call out Hardie plank siding and the Materials Schedule lists Wood siding and trim on the exterior of the building. Update the sets to consistently show what materials are proposed.	Drawings and rendering have been revised to be consistent.	
2	Rendering Sheets 1 and 4	The renderings show T-111 siding proposed for portions of the building and that is not allowed to be used according to OMC 13-6-7:D.4. a. Please revise.	T-111 on rendering has been changed to board and batten	
3	Landscape Plan	A landscape plan is required to be provided. It must show all of the information required by OMC 13-5-2:C.	Site plan shows areas to be landscaped per all codes and city requirements.	
4	Landscape Plan	Provide more information about the types, quantities, and locations of plants proposed within the landscape areas shown on Sheet A1.1 of the Site Plans and ensure the proposed landscaping meets the criteria found in OMC 13-6-7:D.	Site plan shows areas to be landscaped per all codes and city requirements. Landscape plan prepared by licensed landscape architect will be submitted and approved by the city before occupancy.	
5	Site Plans-Sheet A1.1	There is a parking lot light pole shown on the site plan. Please provide information on the appearance of the fixture and pole.	Light pole detail added to sheet A1.1	

Comment No.	Sheet/Page	Reviewer's Comment	Designer's Response	Initials
6	Site Plans-Sheet A3.1	The exterior elevations included with the site plan set show "Sign Light Fixtures" along the façade to illuminate the main sign. These light fixtures are not shown on the façade drawing in the Renderings set. Confirm whether the lights will be included in the proposal and if so, show the lights on the renderings and provide information on the type/product and color of the fixtures within the Materials Schedule.	Drawings and rendering have been revised to be consistent.	
7	Site plans & Renderings	Indicate whether lights are proposed to illuminate the water tower sign. If lights are proposed, show them on the site plan and exterior elevations throughout the sets, provide the relevant information in the Materials Schedule, and ensure compliance with OMC 13-6-7-D: 5. e.	Tower sign lights have been added to elevation drawings on A3.1 and on color rendering.	
8	Site Plans-Sheet A1.1	Provide materials information and exterior elevations for the dumpster enclosure proposed to be located in the south corner of the site and confirm that the enclosure meets the requirements found in OMC 13-6-7: D.3. e.	Dumpster information has been added to sheet A1.1 and a manufacturer's brochure has been submitted with revised design review documents.	



AS-BUILT
SITE PLAN
SCALE: 1" = 10'

Stephen Dorsey, AIA
Architect
734 - 23rd St. SW
Puyallup, WA 98371
Tel: (253) 626-5830
steve@dorseyarchitecture.com



ROUTE 66 PIZZA
201 WASHINGTON AVENUE N.
ORTING, WASHINGTON 98360

6519 REGISTERED
ARCHITECT
Stephen Dorsey
STEPHEN ARTHUR DORSEY
STATE OF WASHINGTON

AS-BUILT SITE PLAN

REVISION

DATE: 26 JAN. 2023
PROJECT NO: 20-025
SHEET:



WASHINGTON AVENUE

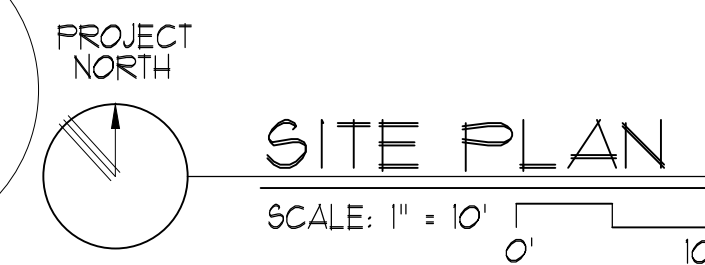
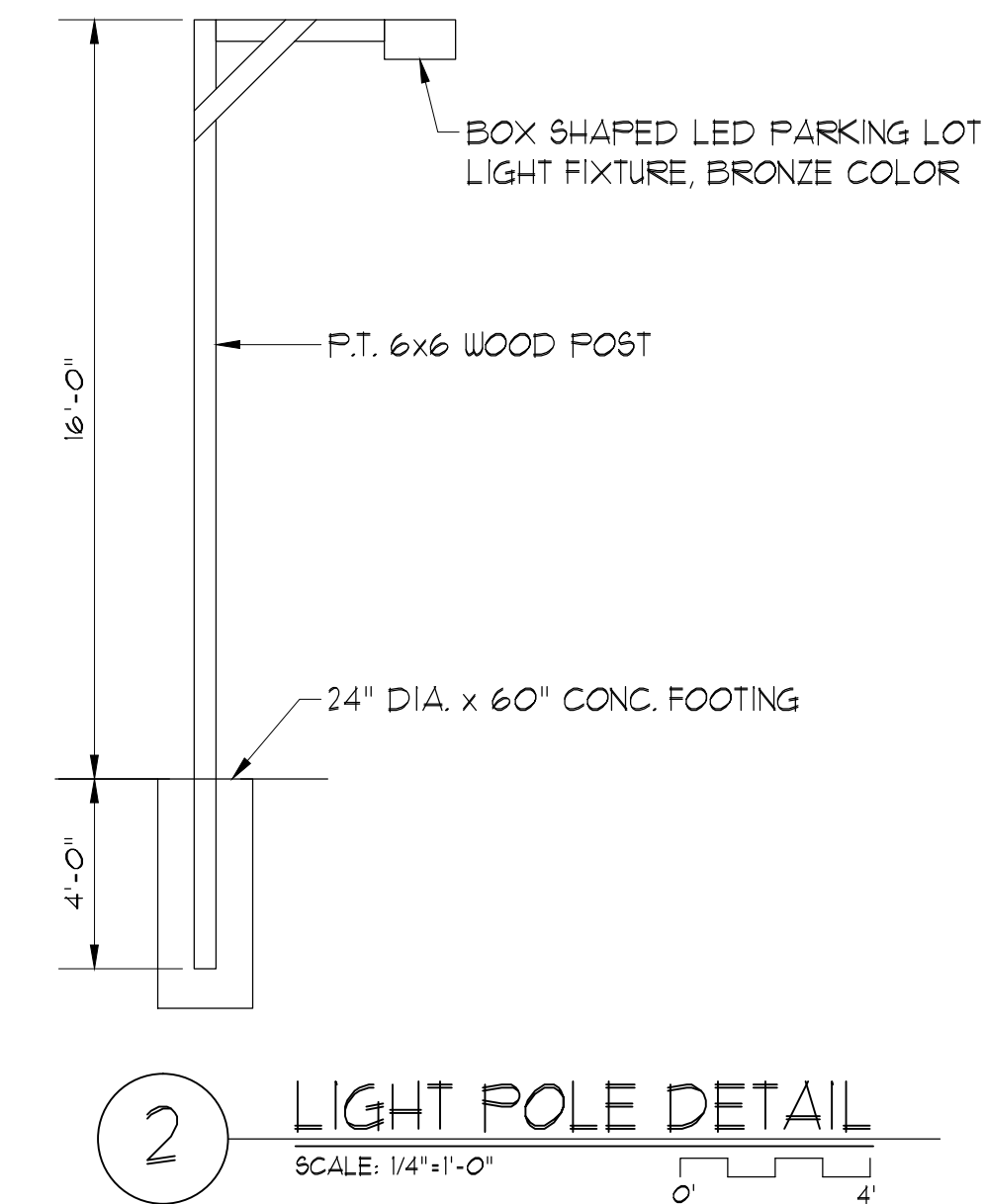
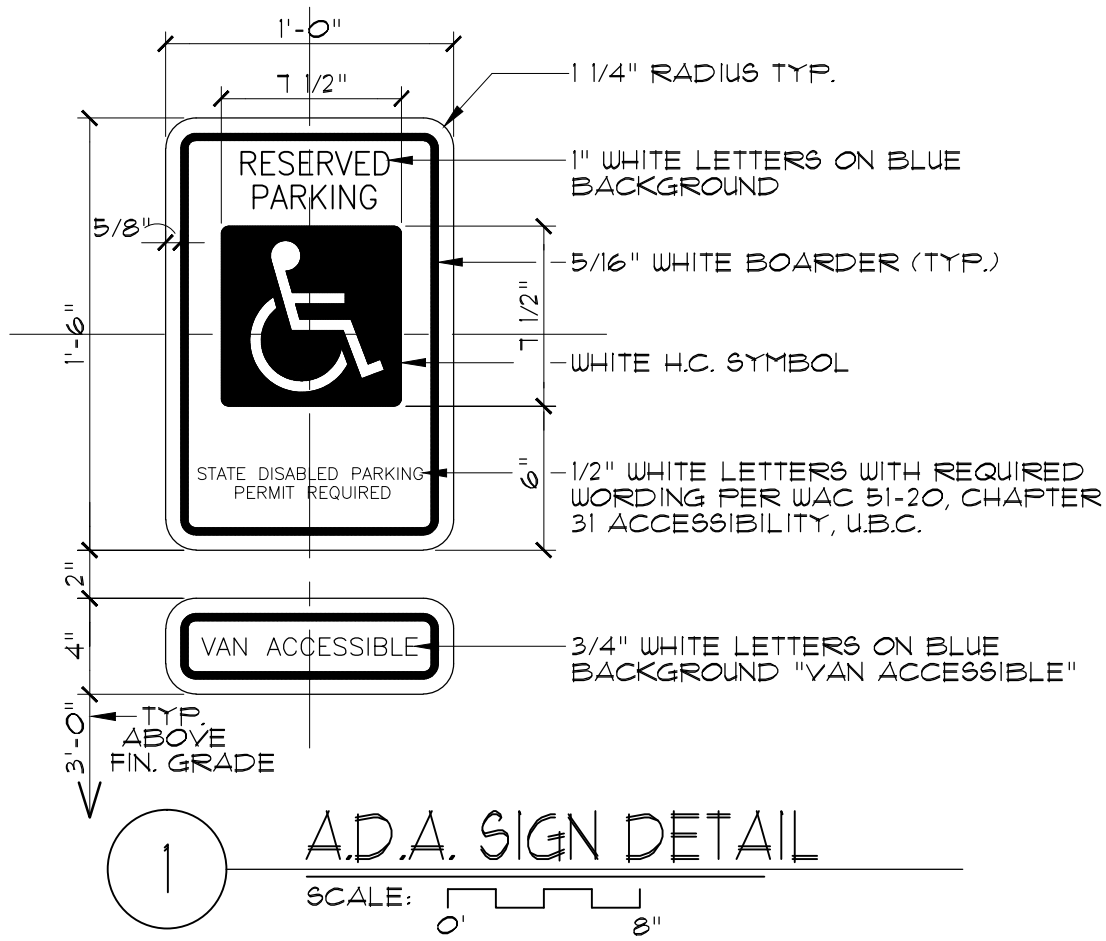
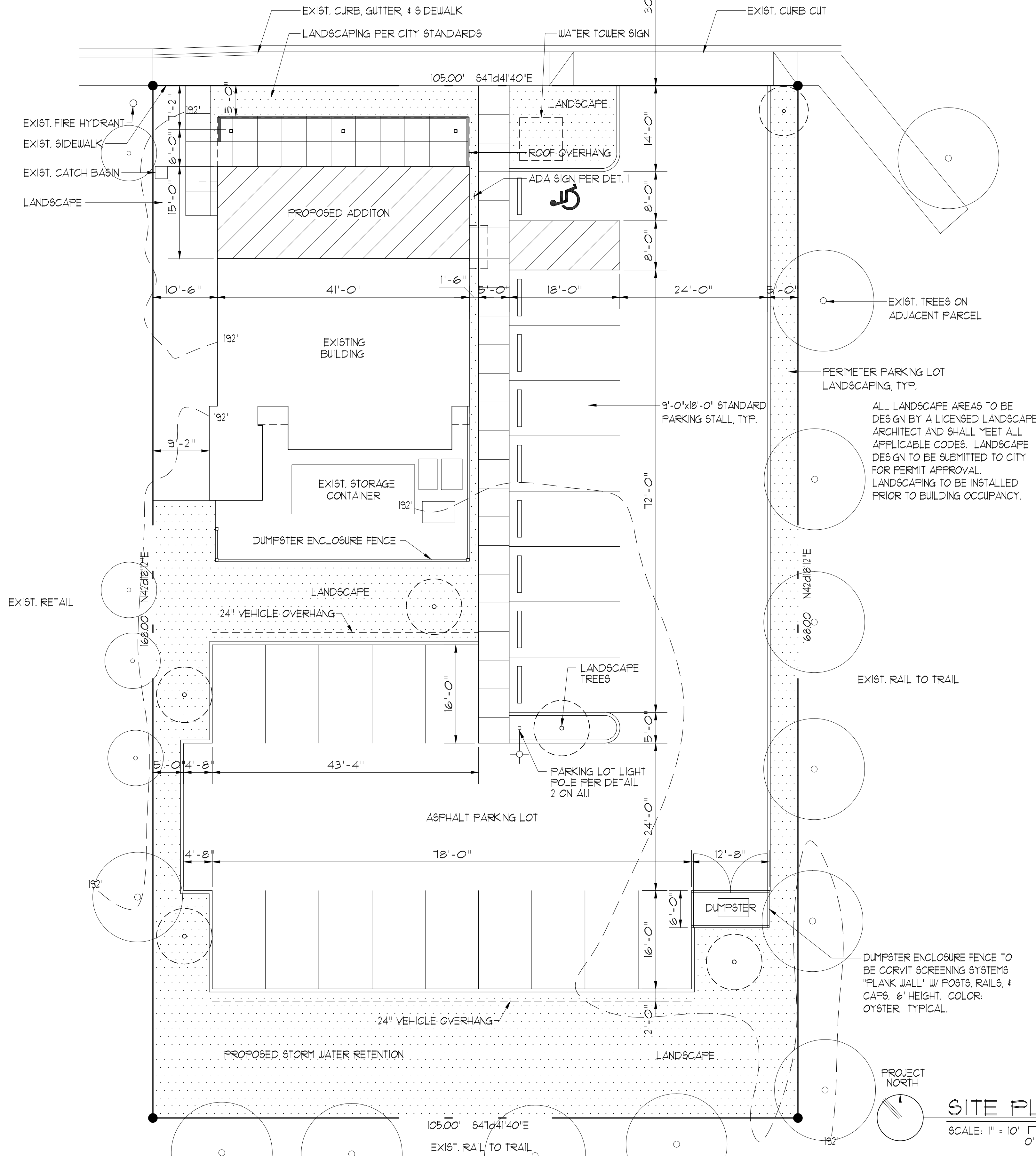
PROJECT DATA:

BUILDING CODE: 2018 IBC
 USE: RESTAURANT
 OCCUPANCY TYPE: A-2
 CONSTRUCTION TYPE: VB
 PARCEL #: R0519291010
 ZONING: MIXED USE, TOWN CENTER
 ADDRESS: 201 WASHINGTON AVENUE N
 ORTING, WASHINGTON 98360
 LOT SIZE: 11,640 SF.
 EXIST. BUILDING AREA: 1304 SF.
 ADDITION BUILDING AREA: 615 SF.
 TOTAL BUILDING AREA: 1919 SF.
 LOT COVERAGE: 11%
 ON SITE PARKING: 23 STALLS
 PARKING REQUIRED: 10 STALLS
 ENERGY CODE: 2018 WSEC PRESCRIPTIVE METHOD
 WALL AREA 1075 SF. / GLAZING AREA 101 SF. = 9.4%
 HEATING SYSTEM: NATURAL GAS HEATING AND COOLING.
 CODE SEARCH: 2018 IBC
 OCCUPANCY GROUP: A-2
 CONSTRUCTION TYPE: V-B
 ALLOWABLE AREA (TABLE 503) 6,000 SF.
 DINING ROOM OCCUPANT LOAD: 185 SF. / 15 OCC. PER SF. = 53 OCCUPANTS.
 KITCHEN AND PREP AREA OCCUPANT LOAD: 680 SF. / 200 OCC. PER SF. = 4 OCCUPANTS.
 57 OCCUPANTS TOTAL

SCOPE OF WORK:
 DEMO. ASPHALT PAVING NORTH OF BUILDING
 DEMO. MANSARD ROOF CANOPY
 DEMO. OUTDOOR DINING FENCE ENCLOSURE
 DEMO. WINDOWS
CONSTRUCT:
 615 SF. DINING ROOM ADDITION.
 REPLACE & ADD WINDOWS
 ROOF CANOPY OVER EXIT DOORS
 OVERHEAD DOORS WITH GLASS
 2 SIDED GAS FIREPLACE BETWEEN DINING & OUTDOOR DINING
 330 SF. EXTERIOR COVERED DINING PATIO ADDITION.
 ASPHALT PAVING OF EXISTING GRAVEL PARKING LOT.
 STORM WATER SYSTEM FOR NEW PAVING AND ROOF RUNOFF.
 LANDSCAPING & STREET TREES ALONG STREET SIDEWALK
 PERIMETER LANDSCAPING AROUND PARKING LOT.
 LOGO SIGN ON BUILDING
 WATER TOWER LOGO SIGN
 INDIRECT LIGHTING OF BUILDING FACADE & SIGNAGE
 PARKING LOT LIGHT POLE

ELECTRICAL, PLUMBING, AND HVAC SYSTEMS SHALL BE BIDDER DESIGN. THE APPROPRIATE CONTRACTORS SHALL DESIGN THE SYSTEMS TO MEET ALL APPLICABLE CODES AND REQUIREMENTS. SUBMIT EQUIPMENT SUBMITTALS AND SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE INSTALLATION. THESE CONTRACTORS ARE TO SUBMIT SHOP DRAWINGS TO CITY AND SECURE THEIR APPLICABLE PERMITS.

ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT WHO SHALL CORRECT SUCH ERROR OR OMISSION IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH ERROR SHALL BE DONE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS FOUND AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OF FABRICATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION.



Stephen Dorsey AIA
 Architect
 134 - 23rd St. SW
 Puyallup, WA 98371
 Tel: (253) 686-5830
 steved@dorseyarchitecture.com



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 ORTING, WASHINGTON 98360

6519 REGISTERED ARCHITECT
 Stephen Dorsey
 STEPHEN ARTHUR DORSEY
 STATE OF WASHINGTON

SITE PLAN
 PROJECT DATA

REVISION

DATE: 26 JAN. 2023

PROJECT NO: 20-689

SHEET:



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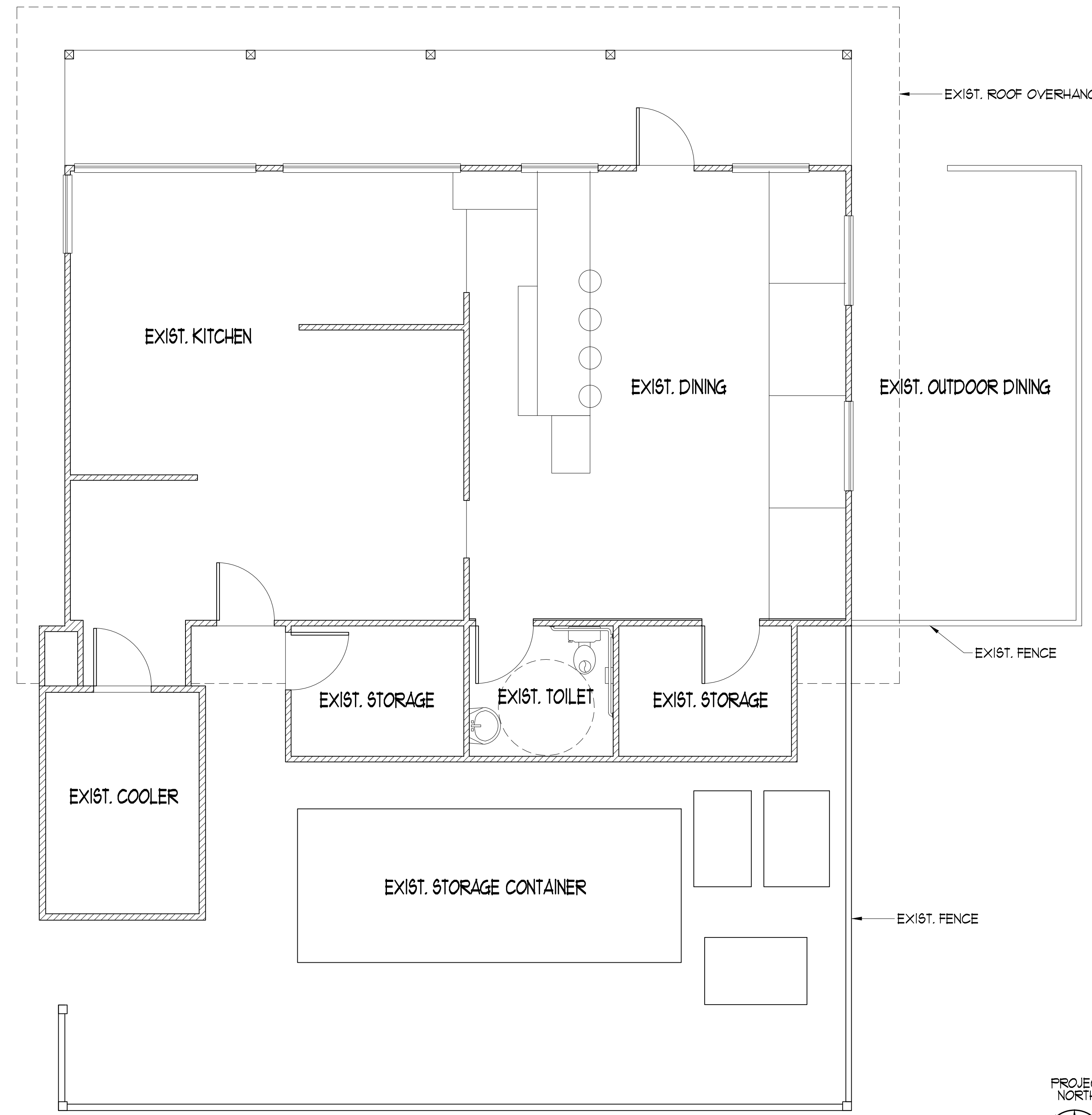
6519 REGISTERED
 ARCHITECT
Stephen Dorsey
 STEPHEN ARTHUR DORSEY
 STATE OF WASHINGTON

AS-BUILT FLOOR PLAN

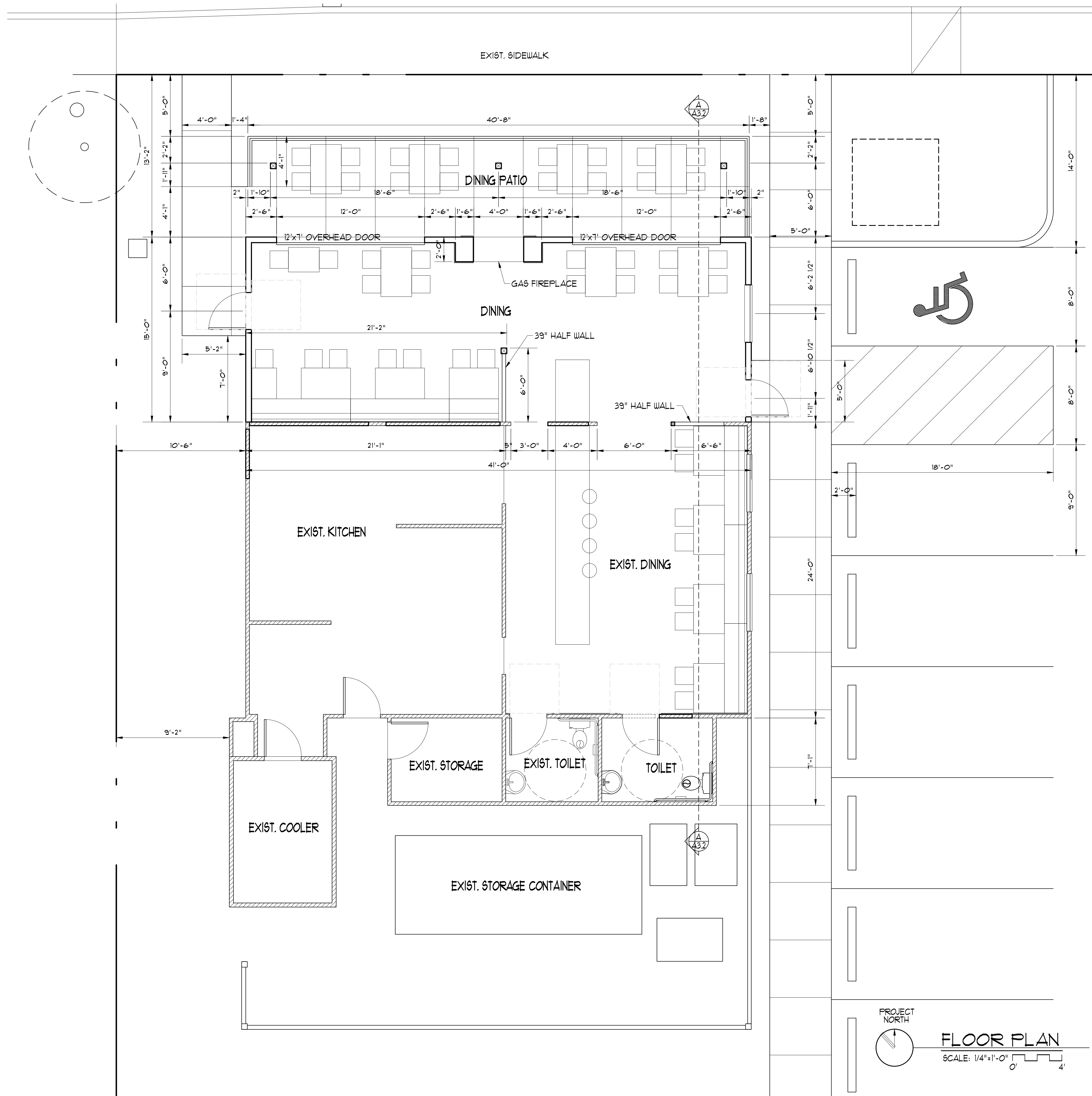
REVISION

DATE: 26 JAN, 2023
 PROJECT NO: 20-625
 SHEET:

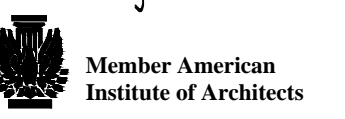
A2.0
 DESIGN REVIEW SET



PROJECT NORTH
 AS-BUILT FLOOR PLAN
 SCALE: 1/4"=1'-0"
 0' 4'



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 STATE OF WASHINGTON

FLOOR PLAN

REVISION

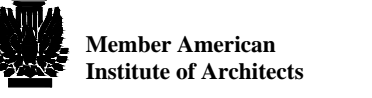
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 PROJECT NO: 20-625
 SHEET:

A2.1
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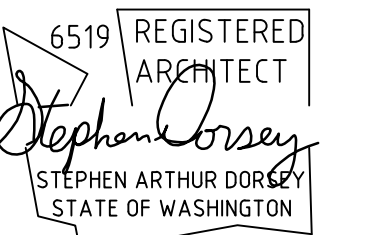
PROJECT NORTH

FLOOR PLAN
 SCALE: 1/4"=1'-0"

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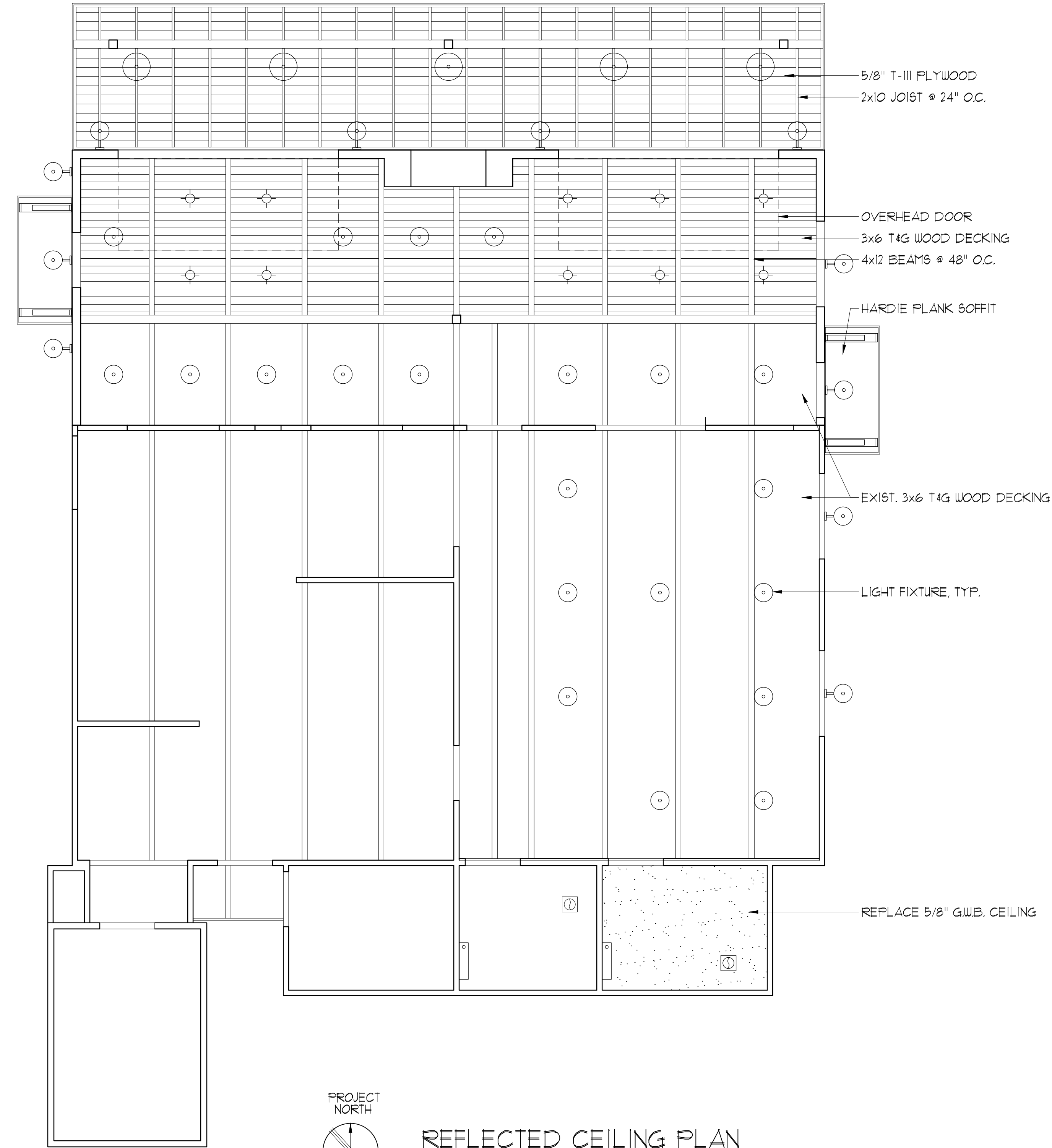


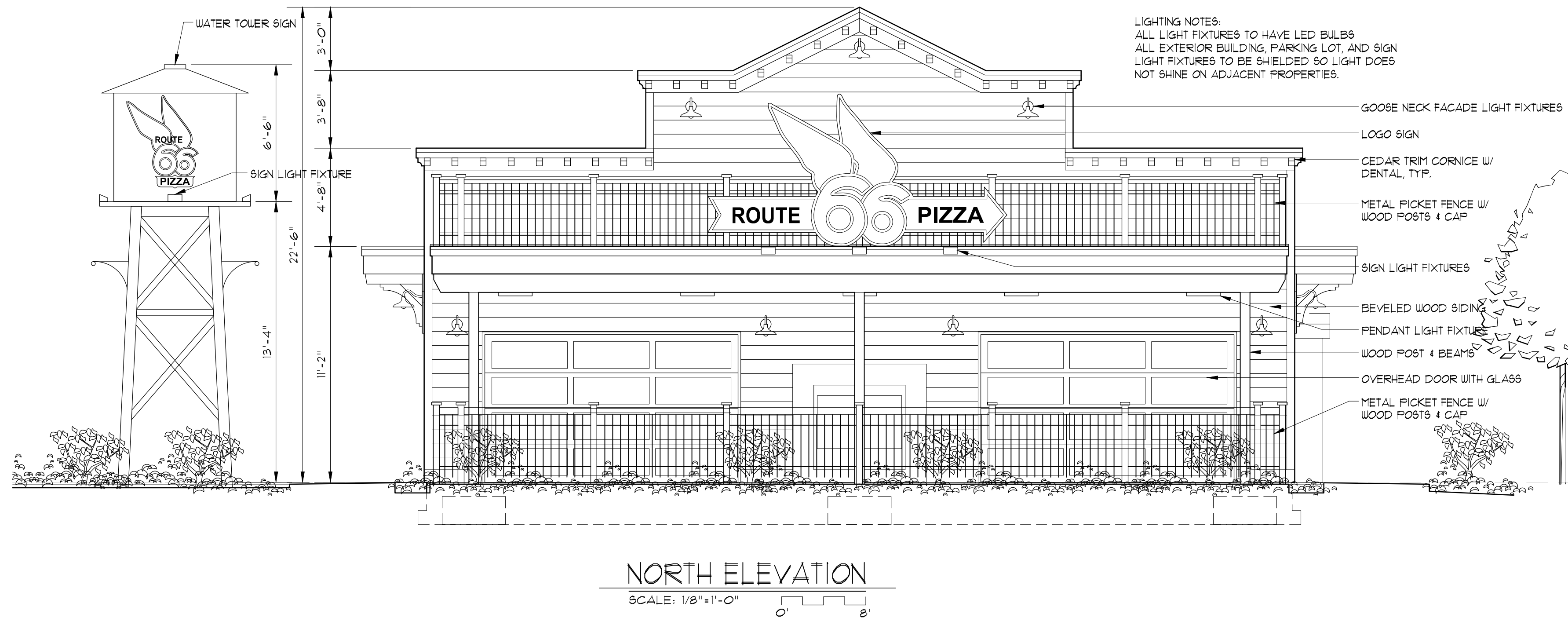
REFLECTED
 CEILING PLAN

REVISION

DATE: 26 JAN. 2023
 PROJECT NO: 20-625
 SHEET:

A2.2
 DESIGN REVIEW SET





NORTH ELEVATION
SCALE: 1/8"=1'-0"

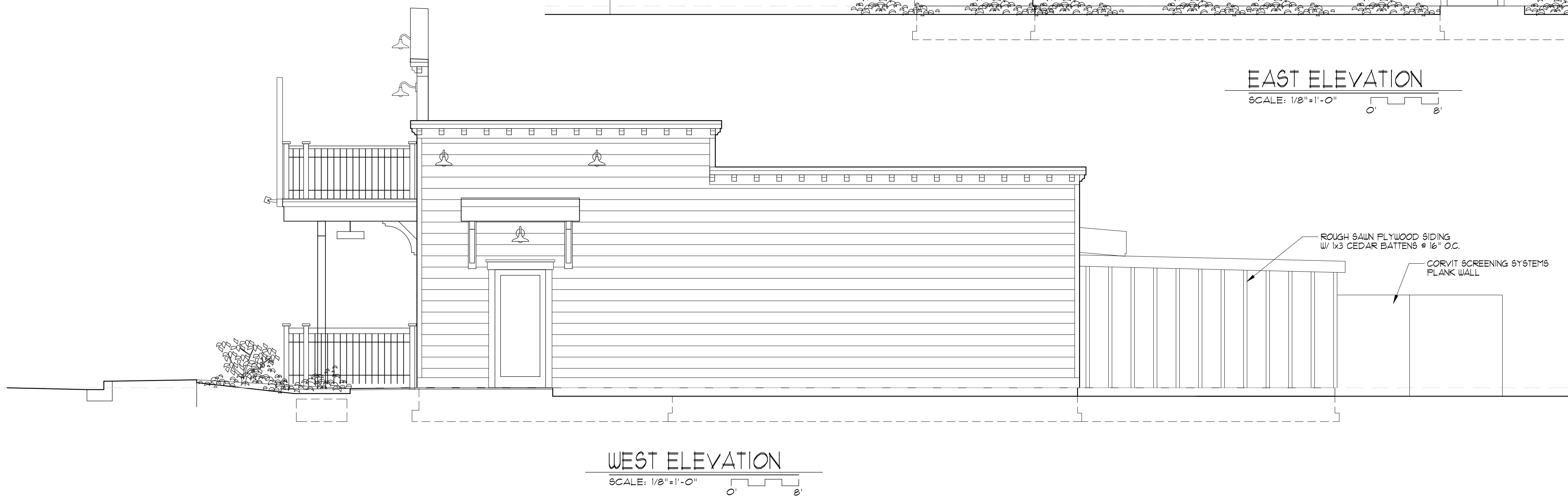
LIGHTING NOTES:
ALL LIGHT FIXTURES TO HAVE LED BULBS.
ALL EXTERIOR BUILDING, PARKING LOT, AND SIGN
LIGHT FIXTURES TO BE SHIELDED SO LIGHT DOES
NOT SHINE ON ADJACENT PROPERTIES.



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

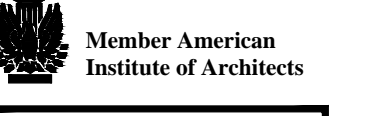


EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

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EXTERIOR ELEVATIONS

REVISION

DATE: 26 JAN. 2023
PROJECT NO: 20-625
SHEET:

A3.1
DESIGN REVIEW SET

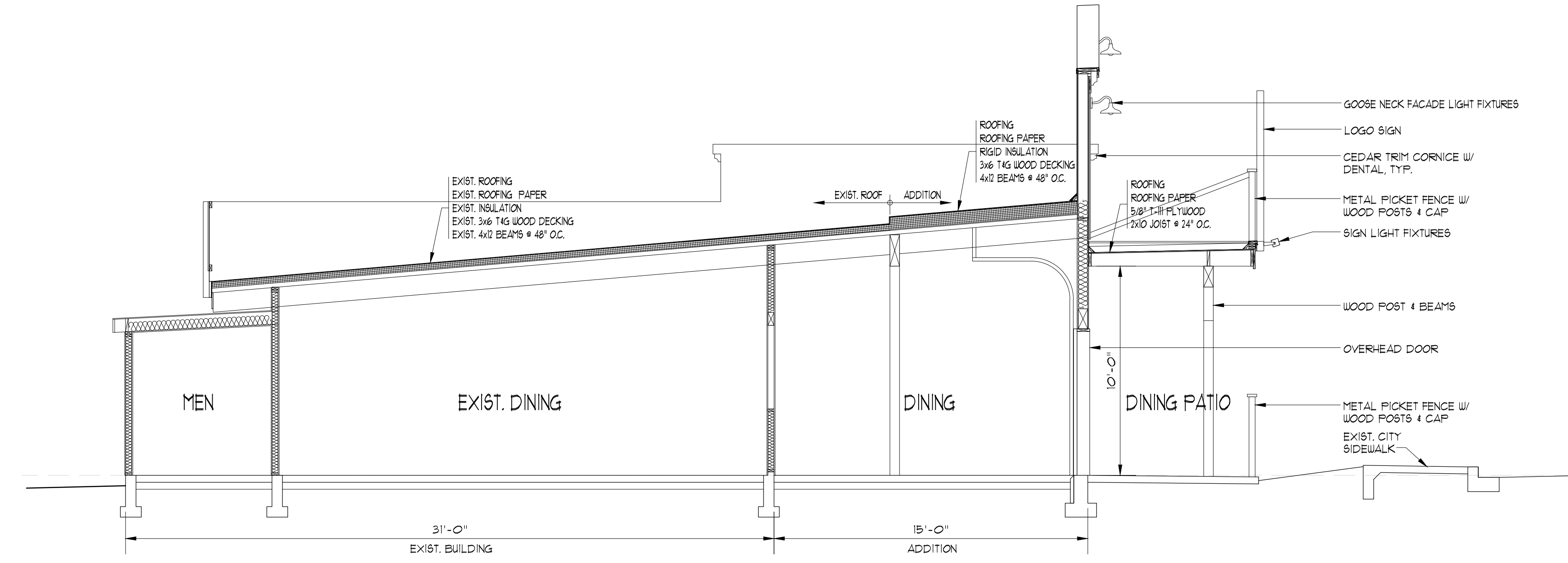
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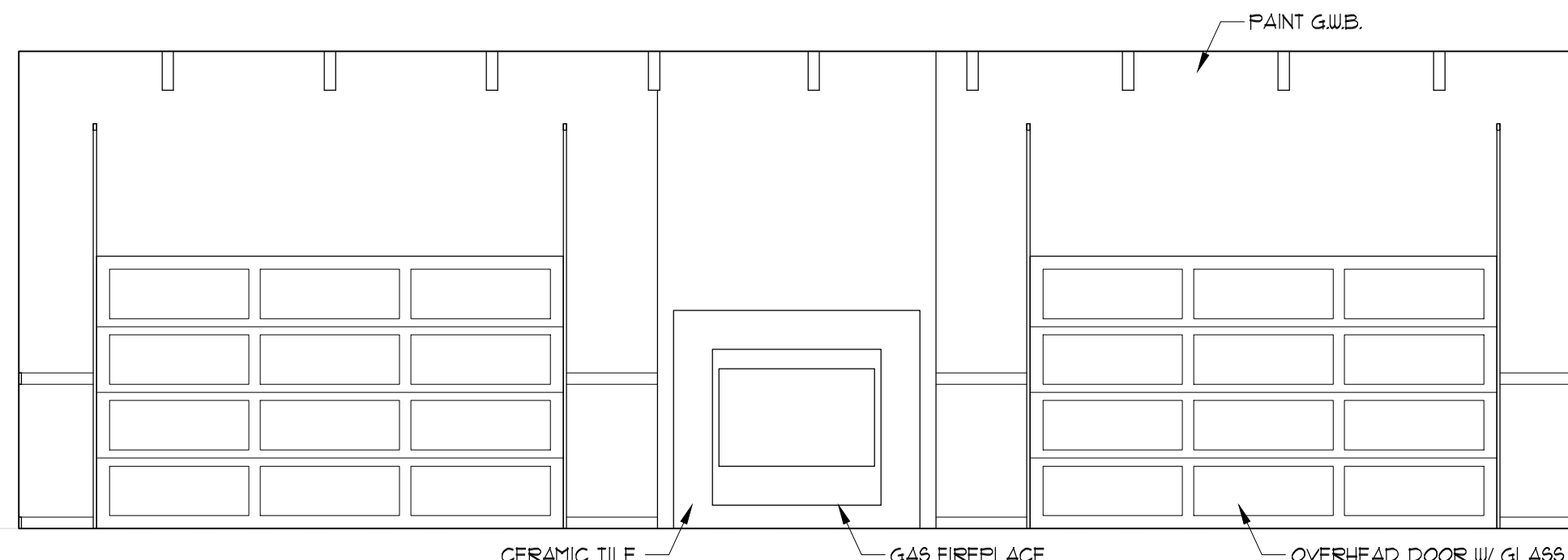
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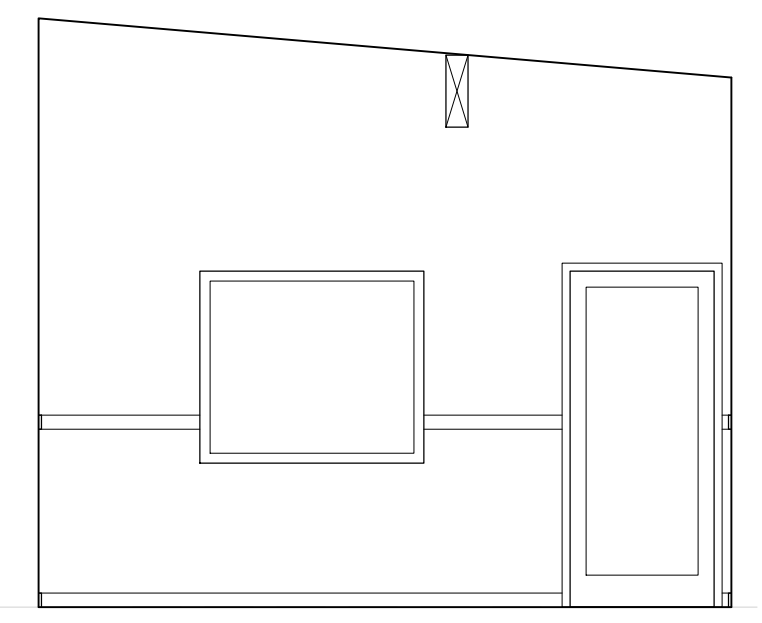
BUILDING SECTION &
 INTERIOR ELEVATIONS



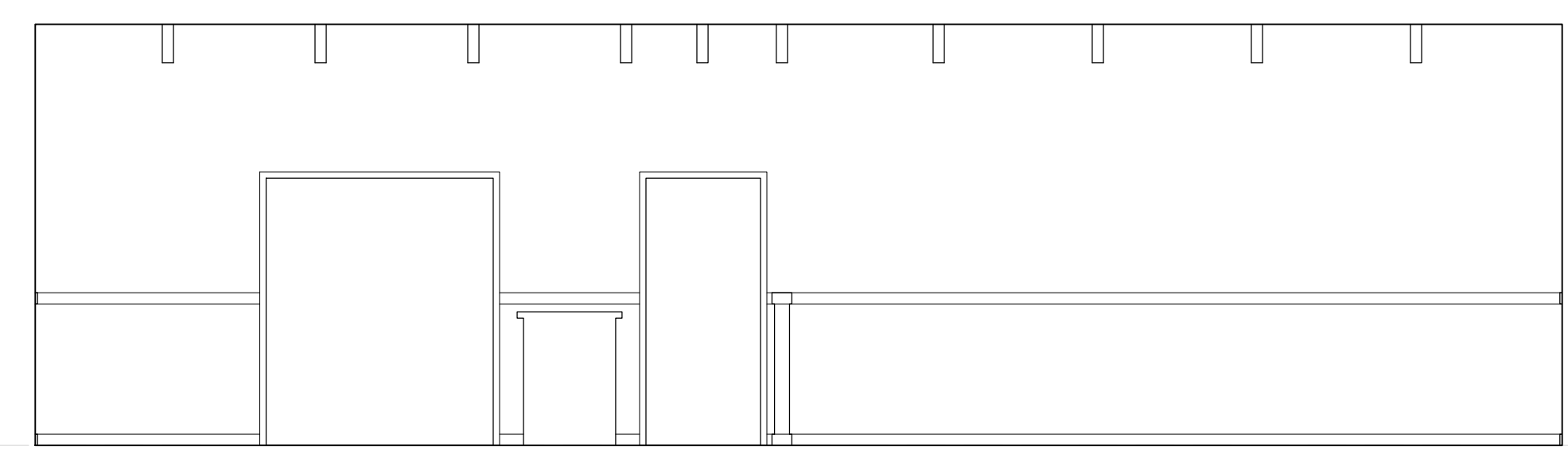
A BUILDING SECTION
 SCALE: 1/8"=1'-0"
 0' 8'



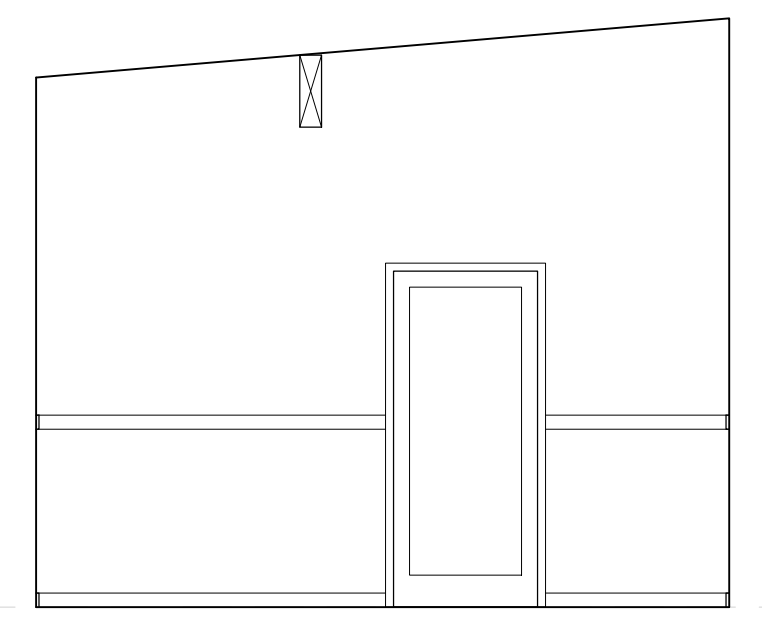
DINING NORTH



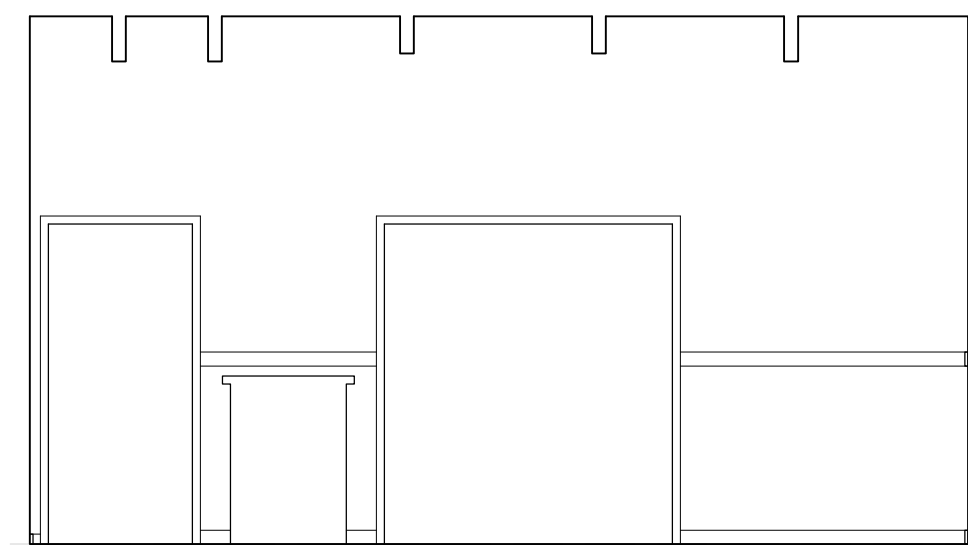
DINING EAST



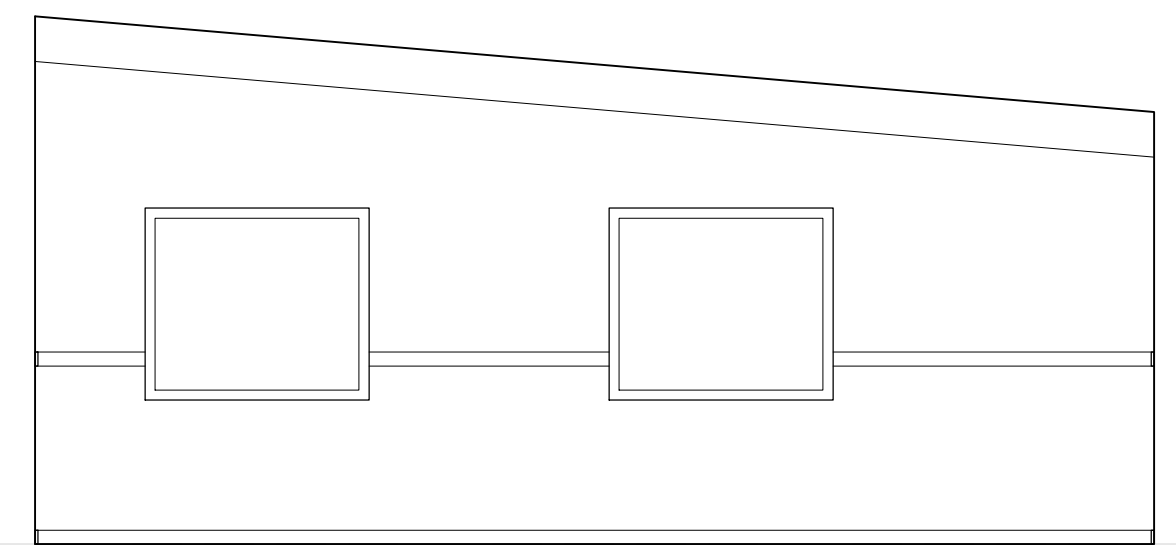
DINING SOUTH



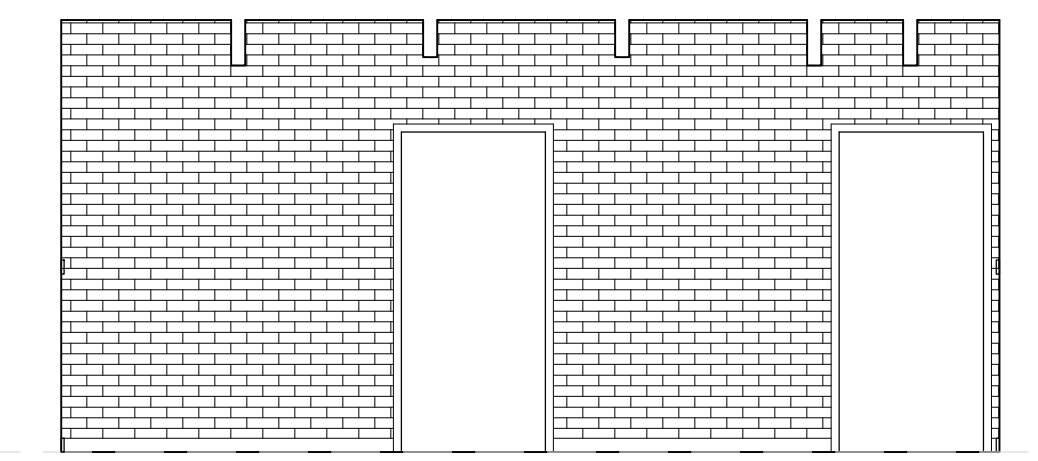
DINING WEST



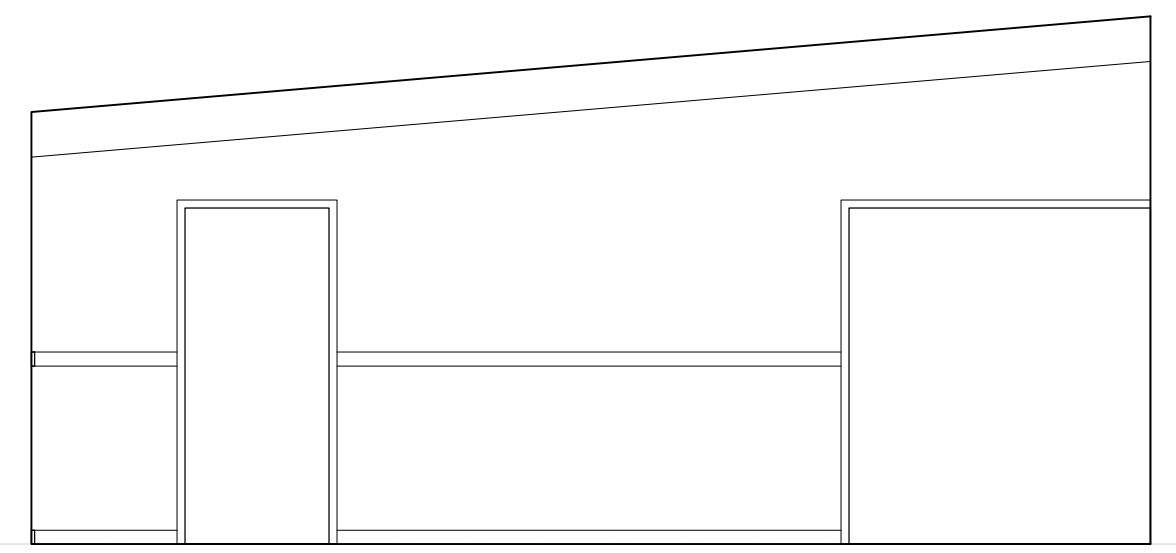
EXIST. DINING NORTH



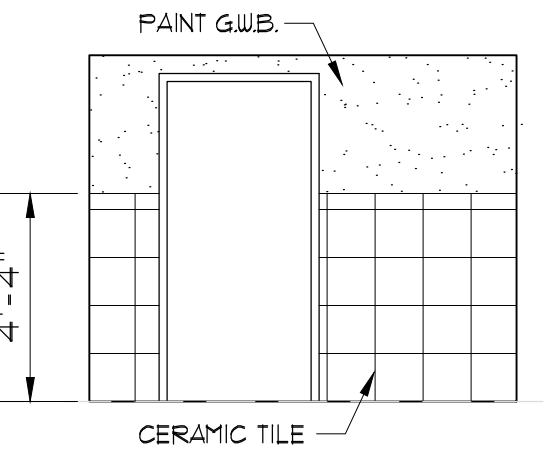
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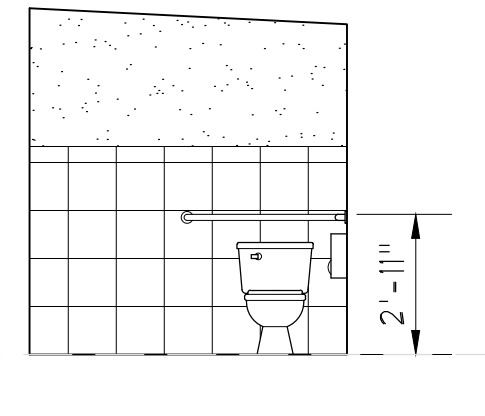
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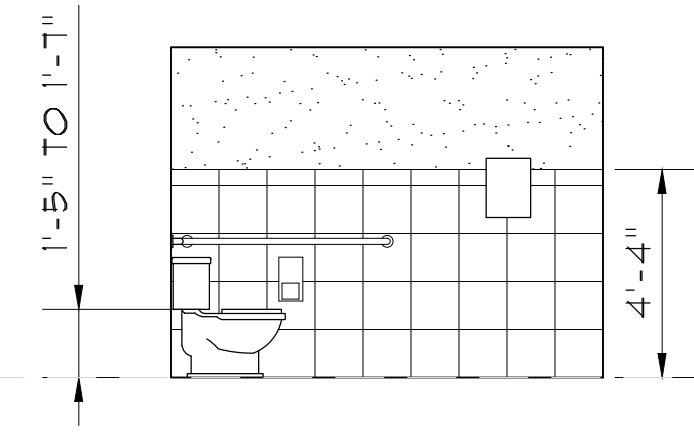
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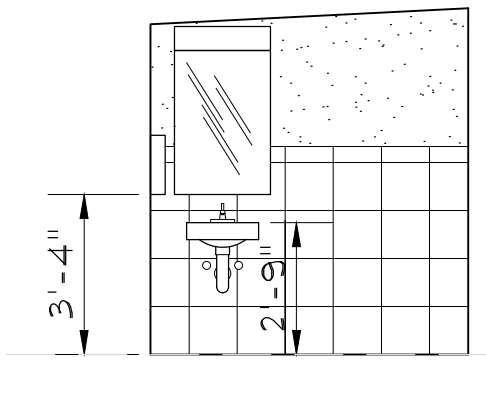
TOILET NORTH



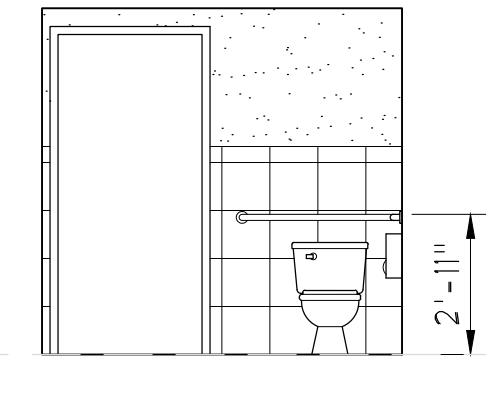
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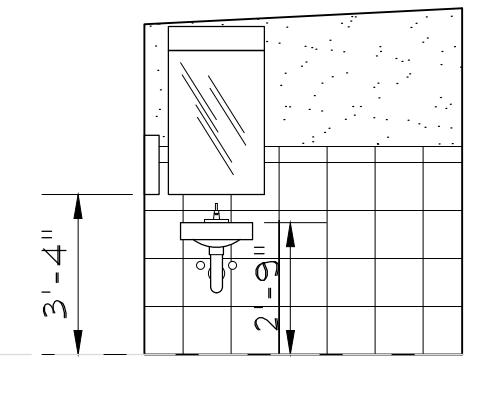
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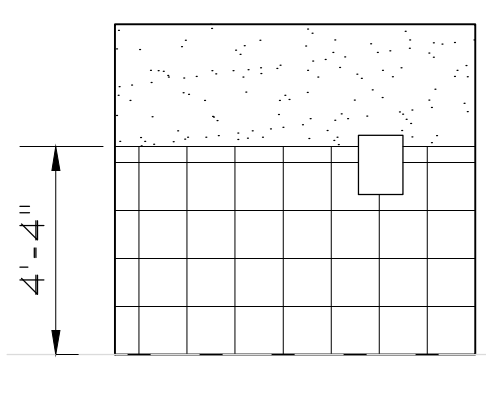
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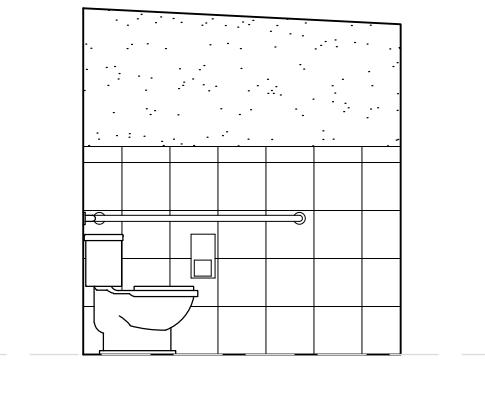
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EXIST. TOILET EAST



EXIST. TOILET SOUTH

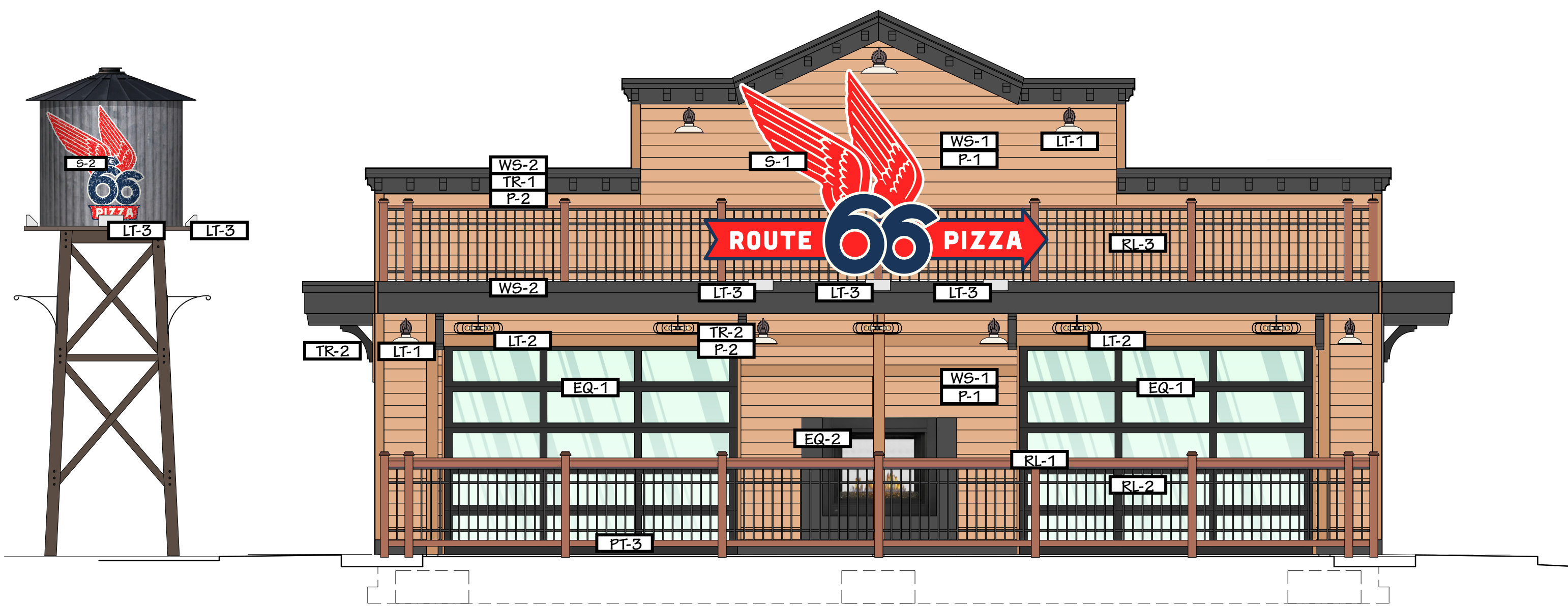


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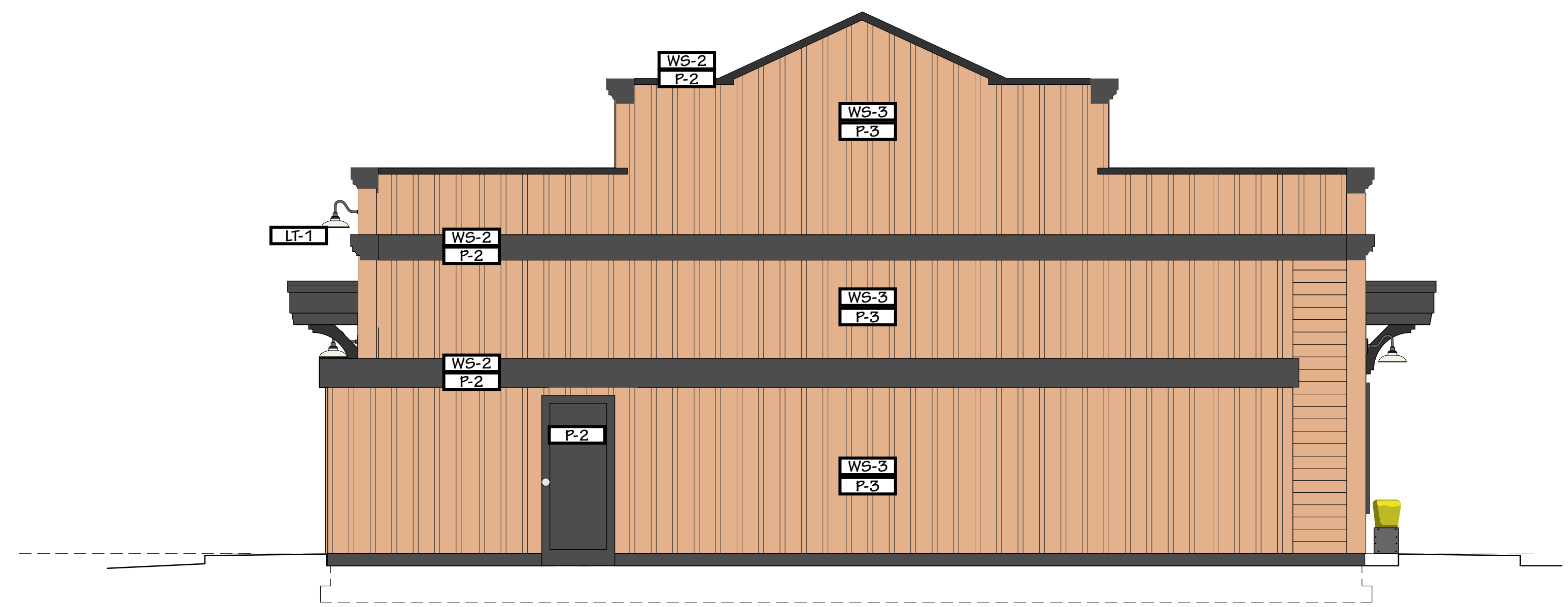
REVISION

DATE: 26 JAN. 2023
 PROJECT NO: 20-025

SHEET:
A3.2
 DESIGN REVIEW SET



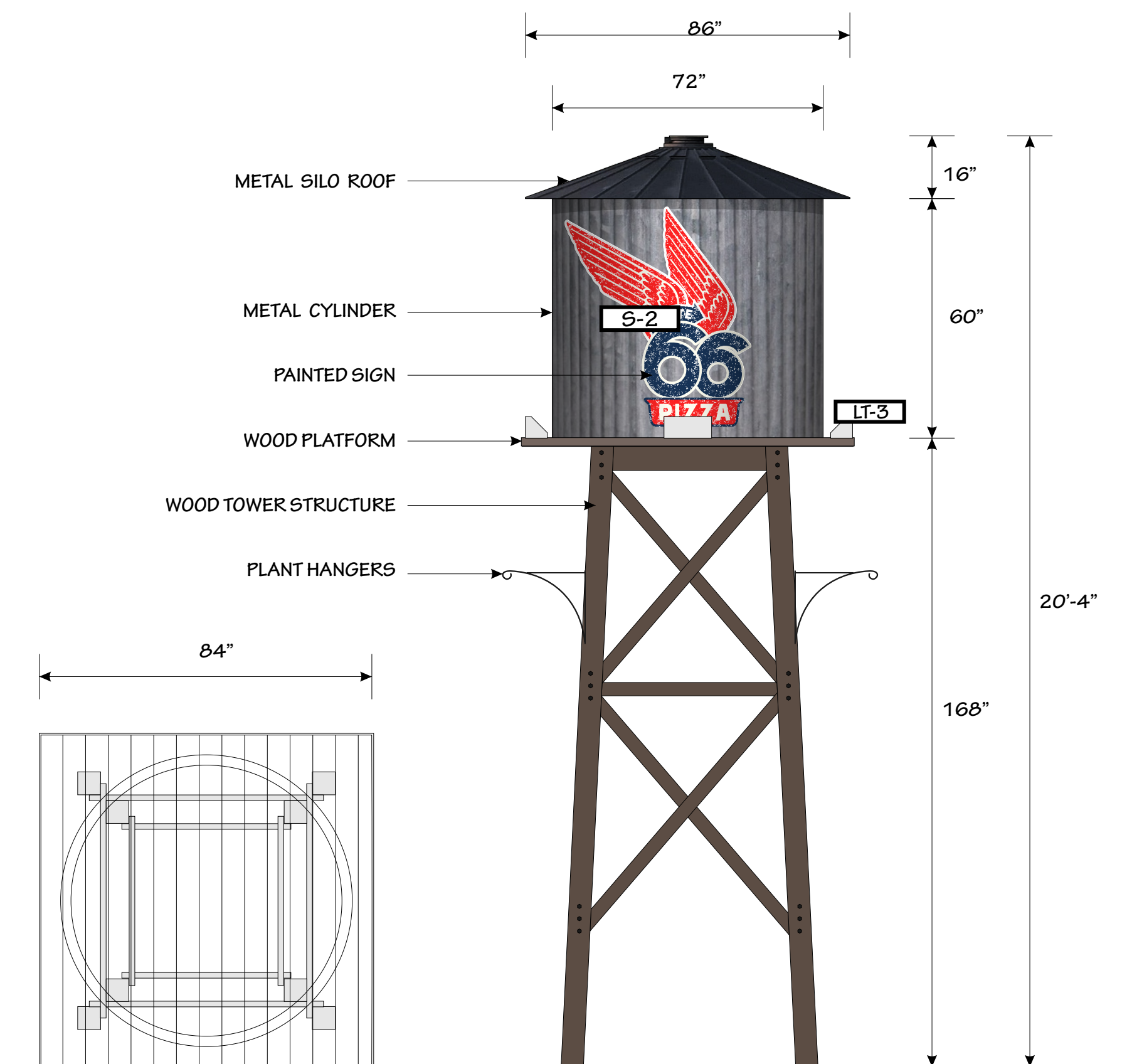
DRW 1.1 NORTH EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"



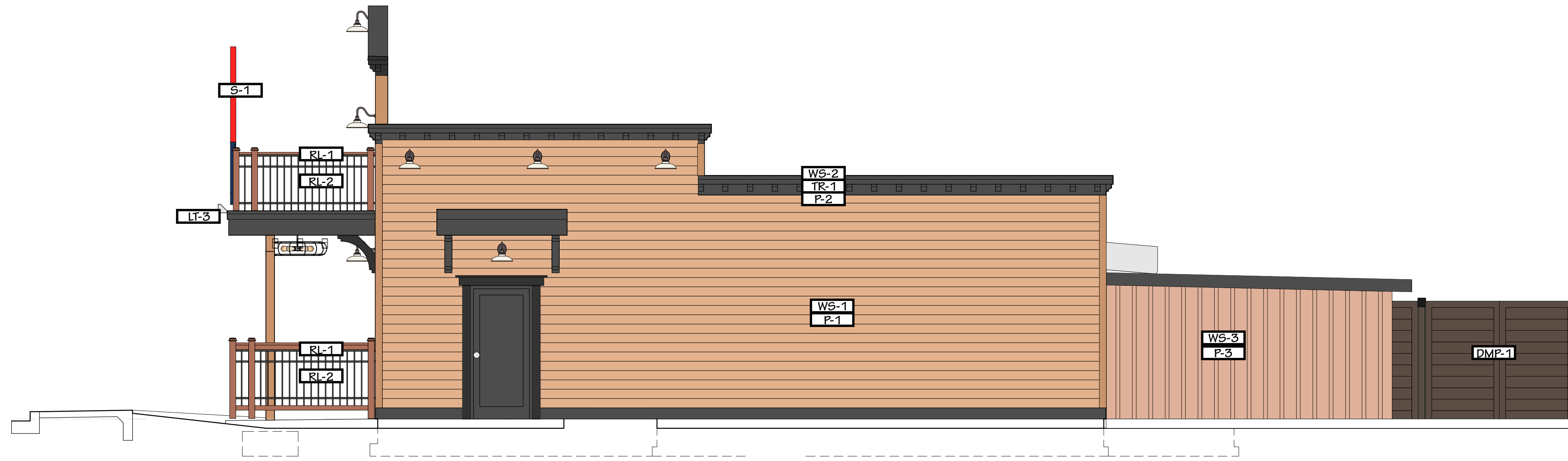
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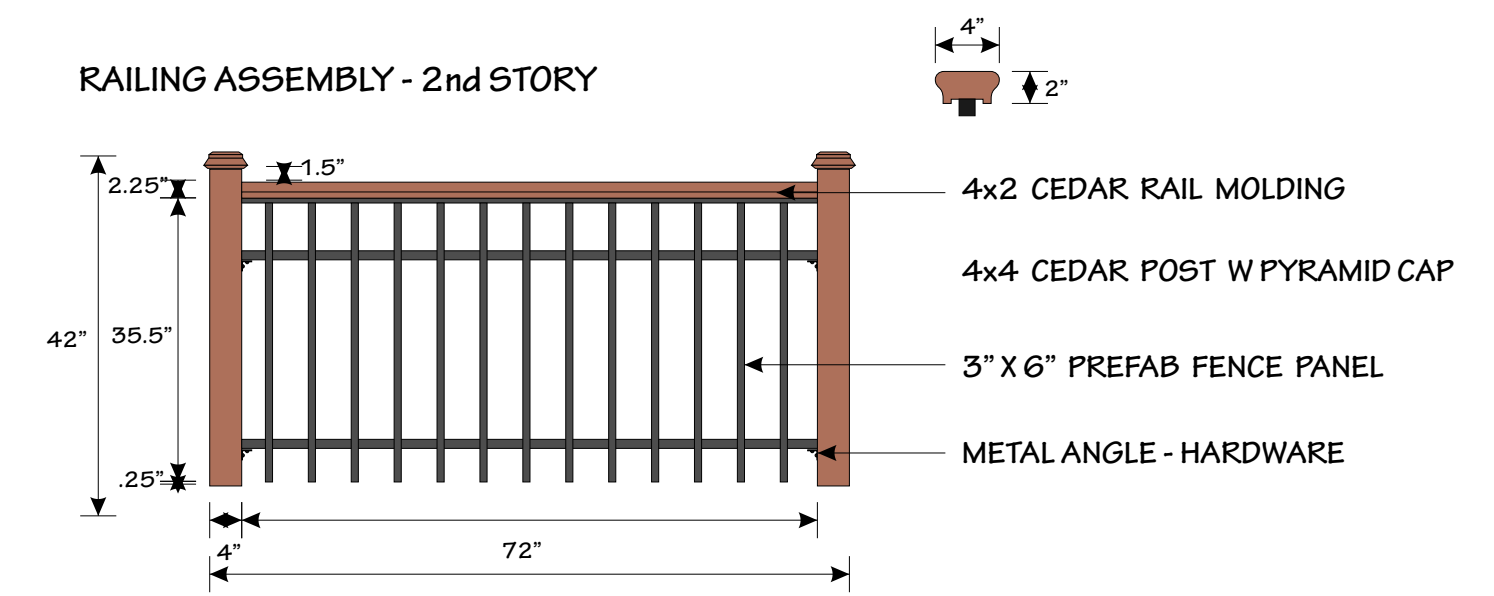
DRW 1.3 EAST EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"



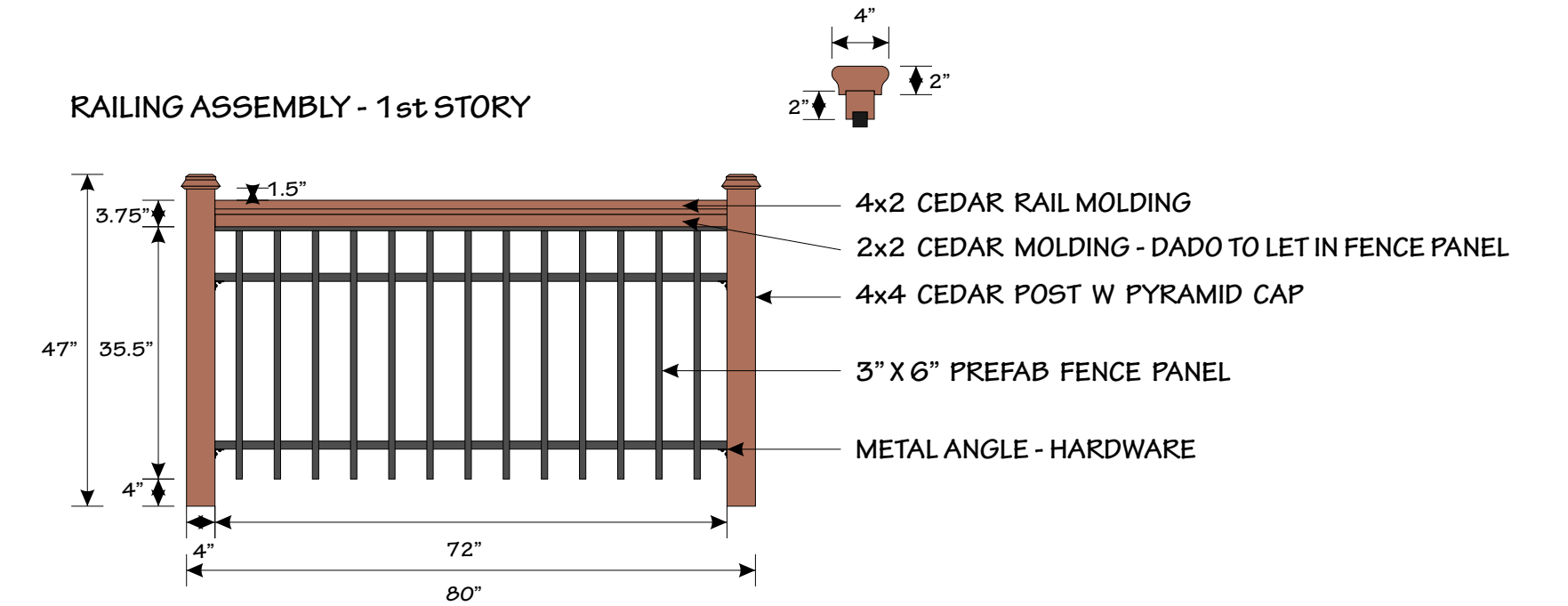
DRW 1.4 MISC. EXTERIOR ELEVATION SCALE: 3/8" = 1'-0"



RAILING ASSEMBLY - 2nd STORY



RAILING ASSEMBLY - 1st STORY



DRW 2.1 WEST EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"

DRW 2.2 FENCE RAILING DETAIL SCALE: 1/2" = 1'-0"

MATERIALS SCHEDULE / EXTERIORS - ROUTE 66 PIZZA - ORTING, WA

ROOM	ITEM NAME	MANUFACTURER	PRODUCT NUMBER	COLOR / FIN	REMARKS
EXTERIOR CLADDING					
WS-1	WOOD SIDING	UFP-EDGE	TORRIFIED EXTERIOR WOOD	DARK NEUTRAL	
WS-2	EXTERIOR WOOD TRIM	GC - MULT. DIMS. CLEAR GRD.	DIMENSIONAL / CEDAR	PRIME / PAINT	METAL CAP / DRIP EDGE ON ALL TOP EDGES / PAINT TO MATCH
WS-3	WOOD SIDING	GC	BOARD AND BATTEN	PRIME / PAINT	ROUGH SAWN PLYWOOD AND 1X3 CEDAR BATTENS @ 16" O.C.
BRACKETS / KORBELS					
TR-1	KORBEL / BRACKET / TRIM	H.D. 6" X 5.25" X 4"	202604870	BKT05X06X04WG	PRIME FULLY AND PAINT TO MATCH SOLID EXTERIOR STAIN
TR-2	WALL BRACKETS / TRIM	H.D. 16" X 18" X 4"	203295779	BKT16X18X4SIME	PRIME FULLY AND PAINT TO MATCH SOLID EXTERIOR STAIN
TR-3	PLANTER BRACKETS	PLANTERS UNLIMITED	SKU 303-SA-WM-HB	BLACK	READI MADE
LIGHTING					
LT-1	REJUV. HDWR EXT. SCONCE	CARSON - 12"	ITEM #A3872	BLK, COPPER, CREAM	INSTALL LOCATIONS AS INDICATED
LT-2	BEAUTIFUL HALO	CAGE CEILING LIGHT - 5 LAMP	HL764375	DISTRESS BLACK	INSTALL LOCATIONS AS INDICATED
LT-3	EXTERIOR SIGN LIGHT	WESTGATE U BRACKET 230W	LF3-HL 30K-480V	BLACK	INSTALL LOCATIONS AS INDICATED - https://tinyurl.com/4t8j7zks
EQUIPMENT					
EQ-1	ROLL UP DOORS 12'w X 8'h	ARMALITE METAL & GLASS	TITAN OCEANHEAD SECTIONAL	6063-T6 - BLK ANODIZ	
EQ-2	DIR VNT DBL SIDE FIREPLACE	NAPOLEON MFG	M35500037	BLACK	
RAILINGS / ENCLOSURES					
RL-1	WOOD RAILINGS	GC	DIM CEDAR LUMBER	SOLID BODY STAIN	
RL-2	METAL FENCE PANELS	WAMBAM FENCE	SLIM JIM 4' X 7'	POWDER COAT BLACK	HTTPS://WAMBAMFENCE.COM/PRODUCT/48H-SLIM-JIM-ALUMINUM-FENCE-7.HTML?c=20
RL-2	METAL FENCE PANELS	WAMBAM FENCE	SLIM JIM 4' X 7'	POWDER COAT BLACK	HTTPS://WAMBAMFENCE.COM/PRODUCT/48H-SLIM-JIM-ALUMINUM-FENCE-7.HTML?c=20
DMP-1	DUMPSTER ENCL. W DOORS	COVIT SYST. FRAMES / PLANKS	(FIN 1 SIDE) - COASTAL	OYSTER	POST CAPS - PYRAMID HIP, BLK - HARDWARE: ZINC NAT
DOORS / HARDWARE					
DF-1	ALL STD. DOOR AND EXT HDWR	DARK BRONZE			
PLANTERS					
PT-2	GARBAGE CAN PLANTERS	GLOBAL IND	10 GAL W PLASTIC LINER	GALVANIZED	
PT-3	STEEL PLANTER BOXES	EDGE RIGHT	CORE 10	14" X 14" X 48"	HTTPS://EDGERIGHT.COM/PRODUCTS/COR-TEN-PLANTER-BOX
FURNISHINGS					
F-1	OUTDOOR PICNIC TABLE	NOBLE HOUSE - HOME DEPOT	CARLISLE 3 PIECE SET	MOD. 2792 TEAK /BLK	https://tinyurl.com/njx4959m
PAINTS AND FINISHES					
P-1	EXTERIOR WOOD SEALER	GC	OLYMPIC WATERGUARD CLR	55260XI-05	TORRIFIED SIDING ONLY https://tinyurl.com/4fh2jp3f
P-2	EXTERIOR PAINT - TRIM	BEHR EXTERIOR ENAMEL	CRACKED PEPPER	FLAT	PAINT CORNICE, RAILING SUPPORTS AND CANOPY STRUCTURE AS INDICATED
P-3	EXTERIOR PAINT - SIDING 2	BEHR EXTERIOR ENAMEL	#N250-6 SPLIT RAIL	FLAT	
SIGNAGE / GRAPHICS					
DF-2	CUSTOM DOOR PULLS	METAL FAB	ALLIANCE	BRUSHED ALUM.	
S-1	DIMENSIONAL SIGN	SC	MAIN IDENTITY	AS DESIGNED	INSTALLED FACING ROAD ABOVE STOREFRONT
S-2	PAINTED (OR DIM) SIGN	SC	SECONDARY IDENTITY	DISTRESSED AS DSN	ON FAUX WATERTOWER AS INDICATED
S-3	VINYL WINDOW GRAPHICS	SC	PRODUCE AS PER DESIGN		INSTALL AS INDICATED



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 167 HAIDA PL, LA CONNER, WA 98257
 206-856-7730
 Ken Barnes: Ken@BSRBranding.com
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DESIGNER:
 ROUTE 66 PIZZA
 Randy Anderson - 253-230-5505
PROJECT LOCATION:
 201 Washington Ave N, Orting, Washington 98360

JOB NO. RTORT-00.00-1
REVISION NO. 04
BY: KB
PLAN CHECK: KB / RH / CAROD
DATE: 01/27/2023

SHEET TITLE:
 MATERIALS AND FINISHES
 BRANDING

DRAWING NO. 02
Rt66 1.2
 SHEET 2 OF 2



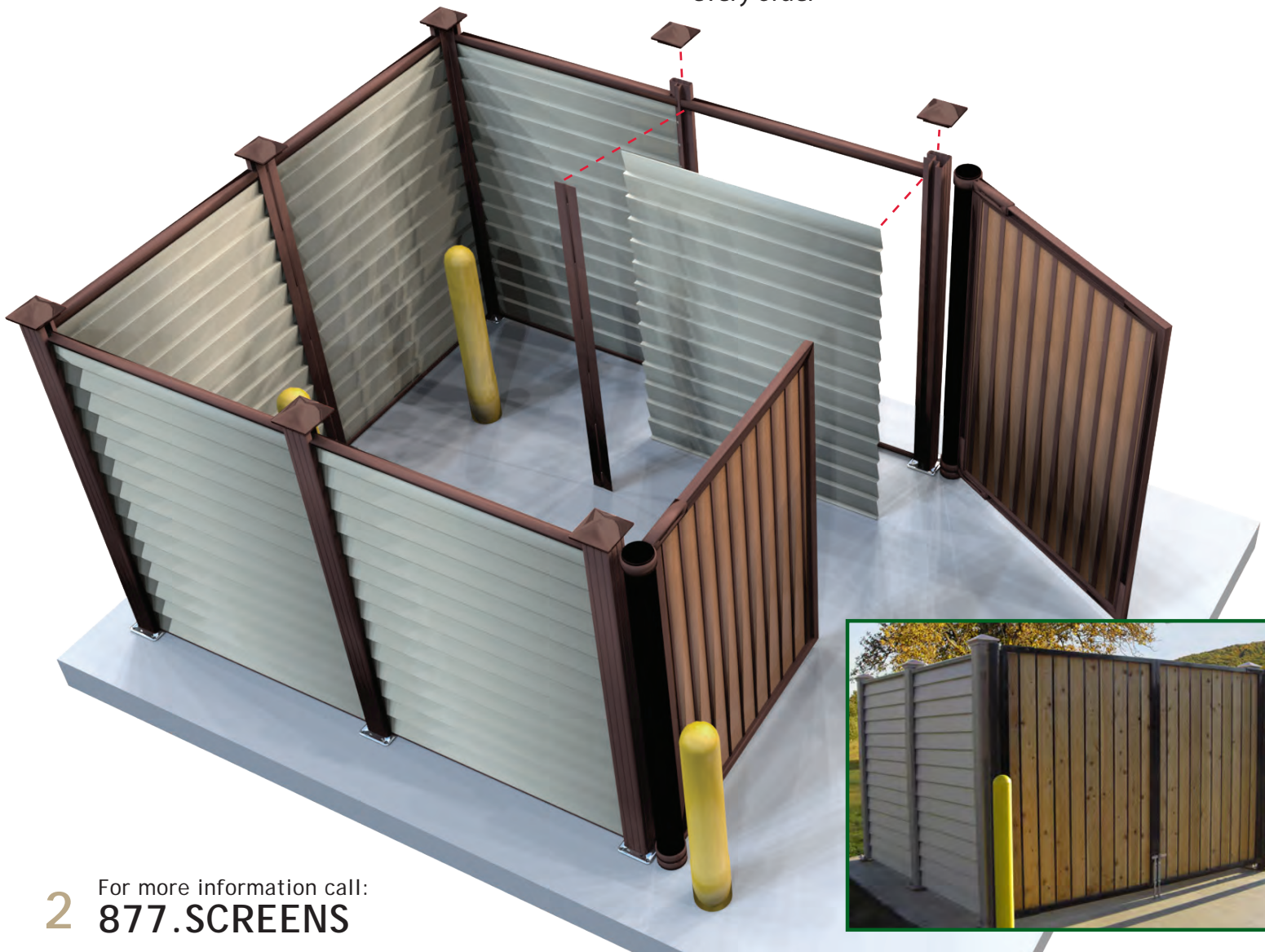
dumpster enclosures



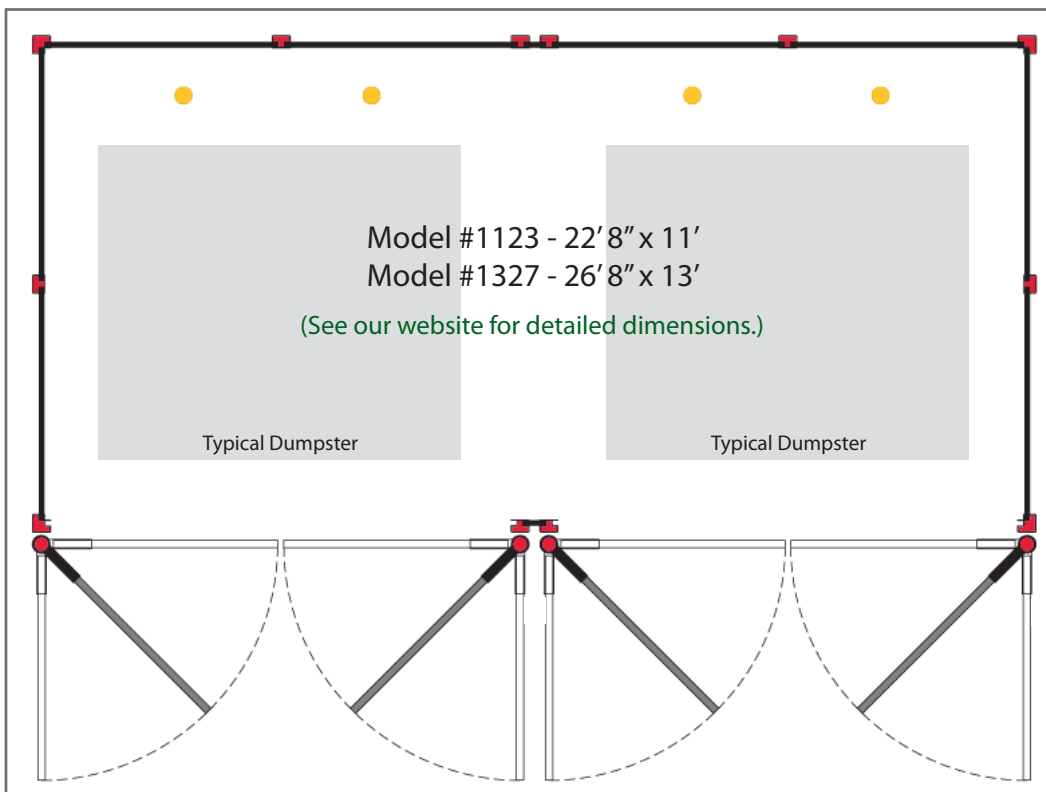
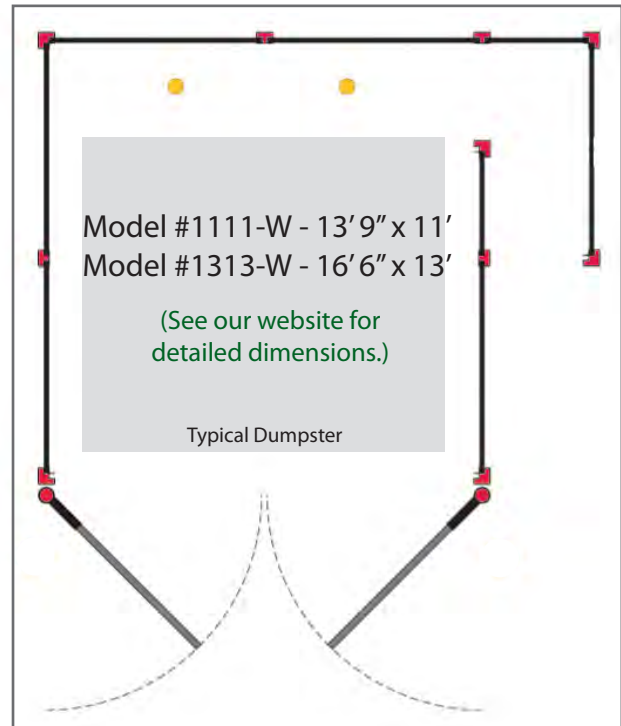
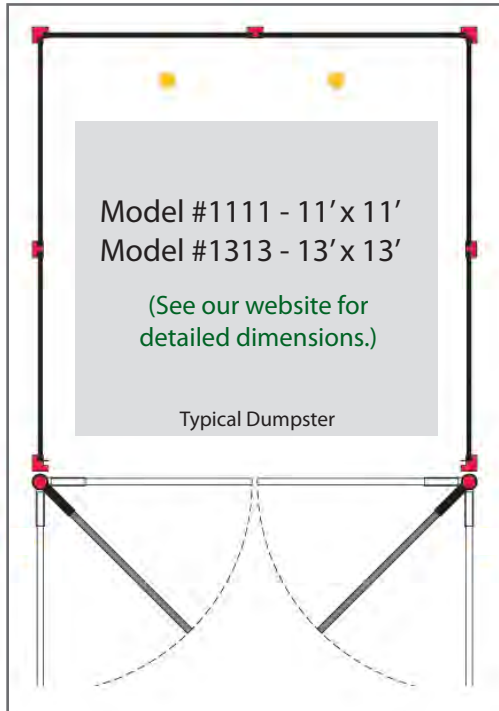
covrit[®] Screening Systems provide a complete and elegant solution to an often neglected segment of commercial architecture. This revolutionary system solves the dilemma of enclosing all types of building maintenance and service areas including loading docks, dumpsters, recycle containers, electrical transformers, utility meters, maintenance vehicle areas, storage areas, swimming pool pumps and heaters, portable toilets and propane tanks. The Covrit[®] family of screening products offer unlimited flexibility in enhancing the overall appearance of your project design.

covrit[®] Screening Solutions Offer:

- **Stylish Solutions** to difficult screening requirements
- **Modular Construction** for superior adaptability to your facility's screening needs
- **Green Friendly Components** provide all the advantages of using 100% recyclable materials in over 95% of the entire product line
- **No On-Site Welding or Masonry Trades** for any of our complete system installations
- **Readily Available Replacement Doors and Parts** ensure easy and quick repairs
- **Professional Grade Quality and Service** with every order



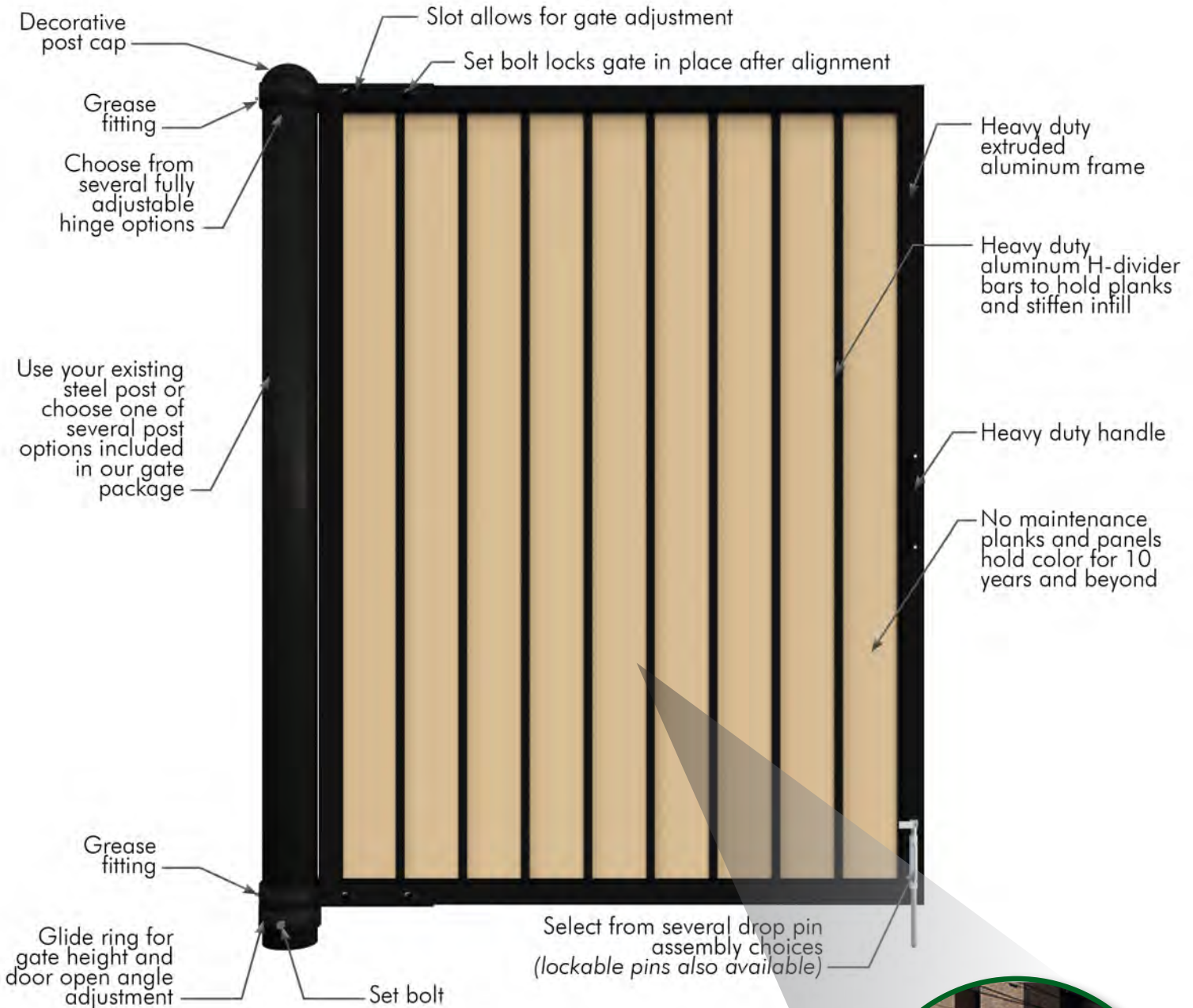
Enclosure Sample Layouts



Typical Packages Include:

- Extruded aluminum posts
- Side panels
- Bottom channels
- Top trim
- Post caps
- Gates (of selected design) with pipe hinges and mounting hardware
- Interior bollards with yellow safety sleeves
- All anchoring 'J' bolts and leveling nuts and washers
- Gate handle kit
- Retractable drop pin kit

Anatomy of a covrit[®] Door



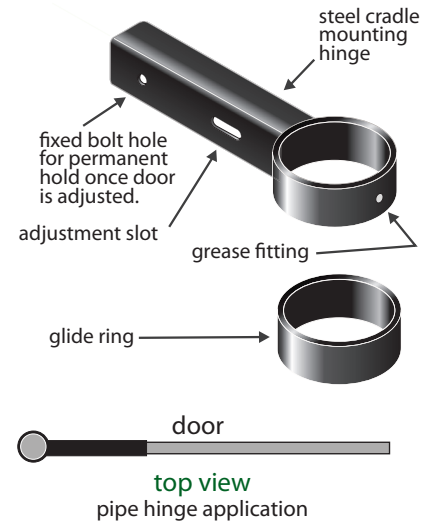
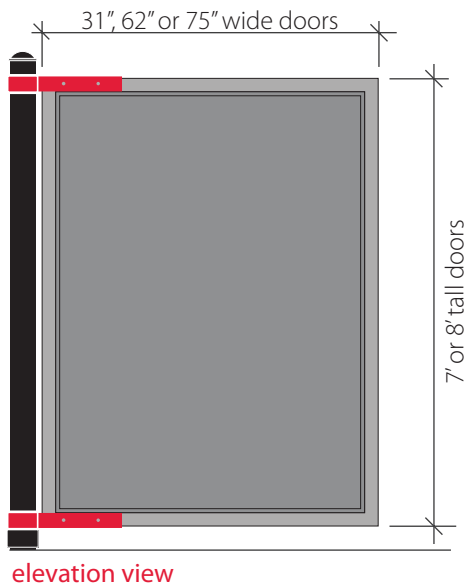
- **Improve Your Image** by impressing upon your customers that you pay attention to detail.
- **Buy Covrit Replacement Doors!** Sagging, broken, rotted and aging dumpster doors are proven to negatively affect traffic and sales by 10% or more.
- **Covrit Professional Grade Aluminum Doors** are built to last many years beyond wooden and galvanized doors.
- **Significantly Reduces Maintenance Costs** by using easily replaceable components.



Adjustable Pipe Hinge

preferred mounting method

- adjustable cradle hinge design
- welded steel hinge provides years of trouble free operation
- no field welding required
- standard grade fittings
- 2 component urethane finish
- standard on all Covrit gates or retrofits where possible
- steel posts available from Covrit or local steel supplier



"This is the best hinge design I have ever seen"

Gary Fisher, Facilities Manager

Barrel Hinge

acceptable mounting method

- 3/4" pin w / ball bearing for smooth operation
- adjustable steel plate mounts hinge to door frame
- field welding required to mount hinge to post

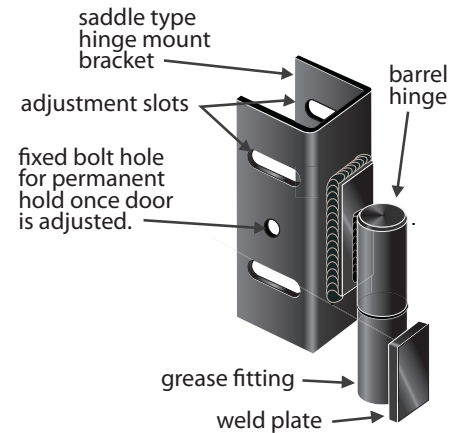
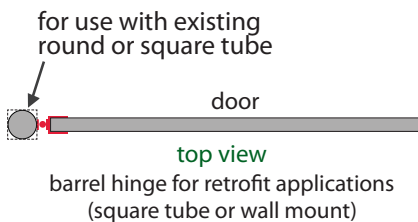
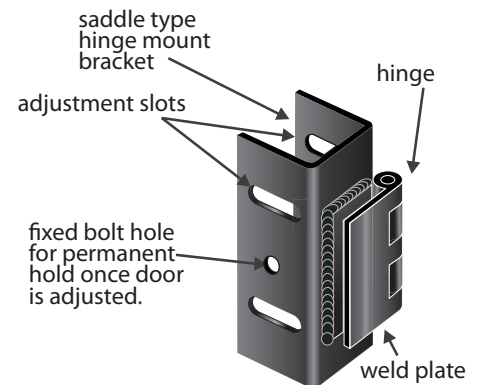
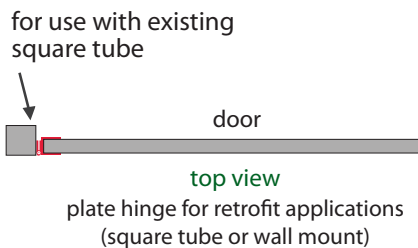


Plate Hinge

acceptable mounting method

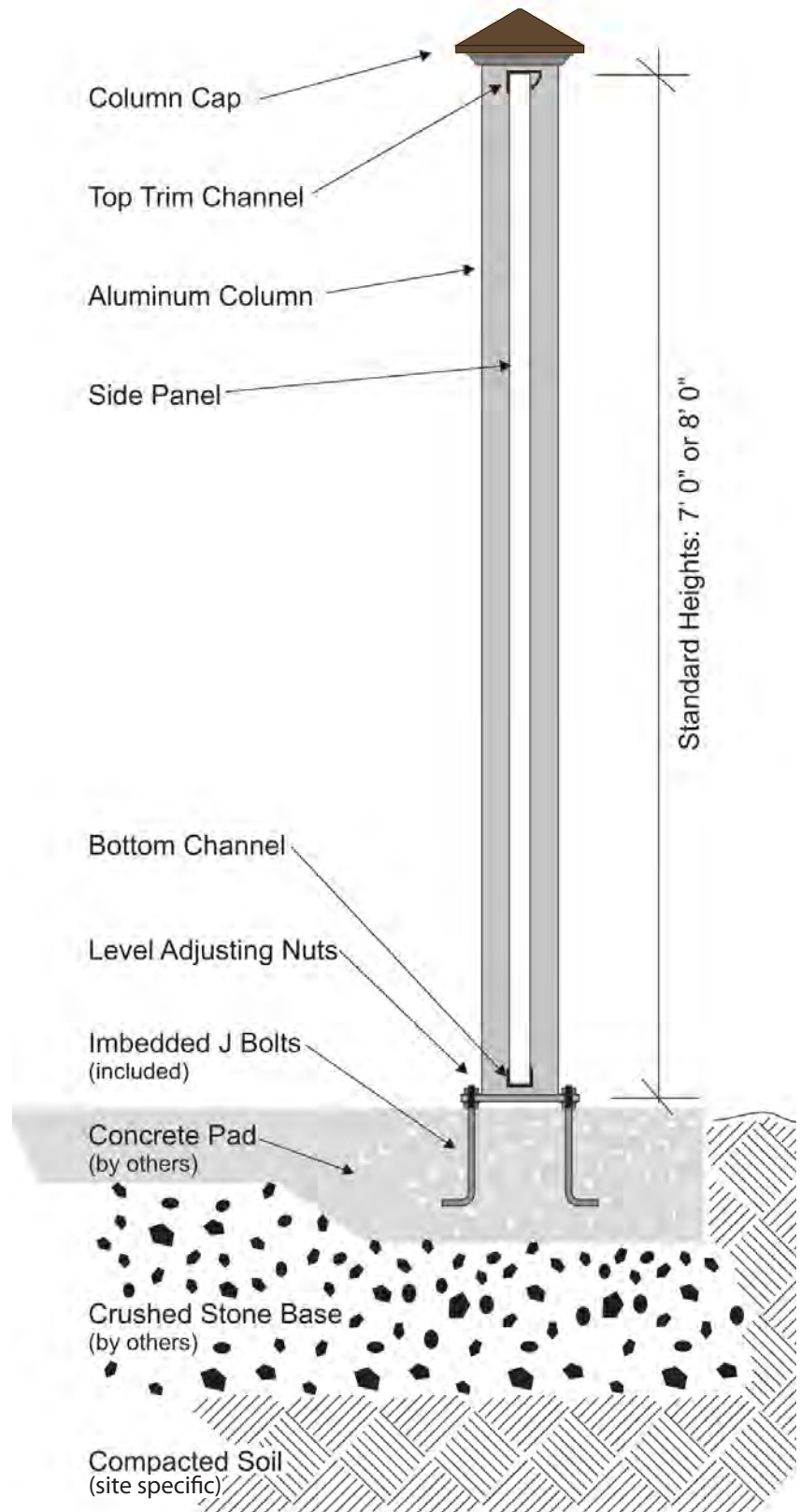
- 3/8" pin for smooth operation
- positionable steel plate mounts hinge to door frame
- field welding required to mount hinge to post



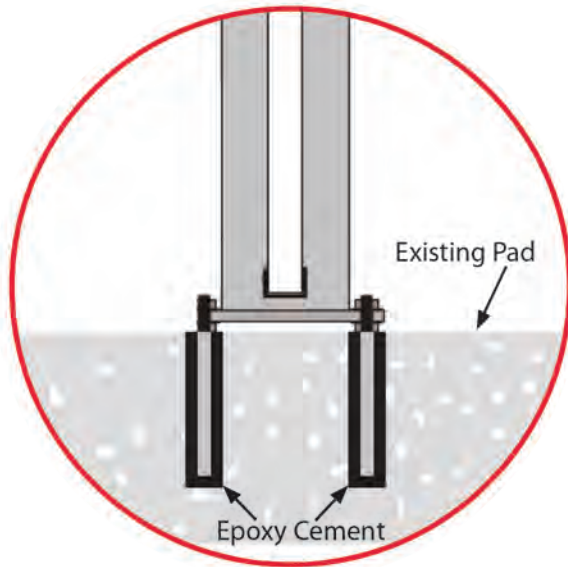
The backbone of the Covrit System is in the professional grade design of the support posts. Comprised of a heavy duty, low maintenance aluminum extrusion, these posts are designed to fit to most any site condition.

Covrit posts can be attached to pre-supplied 'J' bolts anchored in your concrete, or attached as a retrofit solution, in a preexisting pad, with Hilti™ bolts or equivalent.

Post Section View



Optional Hilti™ Bolt Installation



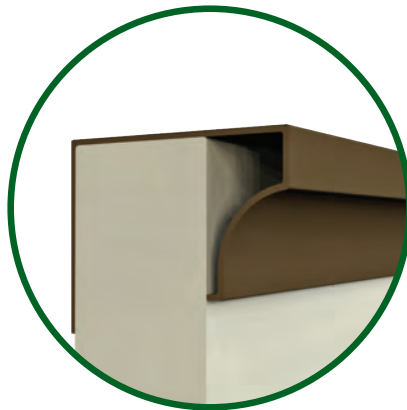
Optional direct burial posts are available.

Top Rail Designs

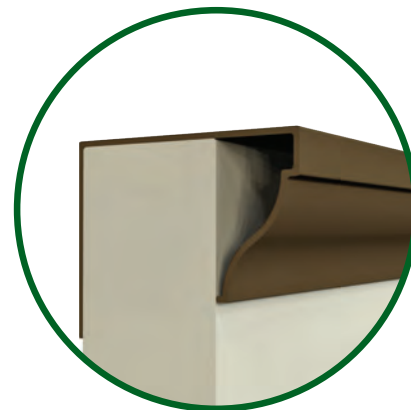
Choose from three different top rail designs. All come with a standard bottom U-channel. Both top and bottom rails are made of rugged, rust proof aluminum and painted to meet your specifications.



Boxed Top Rail



Cove Top Rail



Roman Ogee Top Rail

Post Cap Designs

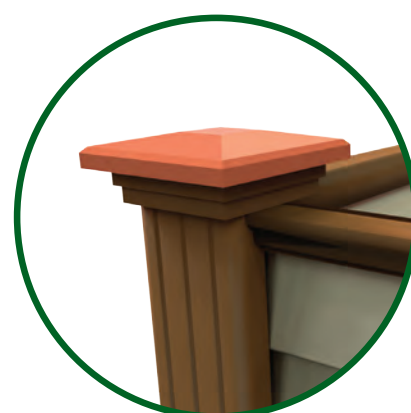
A choice of post caps allows you to top off your screening system just the way you want it. Each is finished with a two component urethane enamel with appearances ranging from a metallic copper through glossy white. All post caps securely mount to the aluminum posts.



Standard Hip Cap



Shallow Hip Cap



Mortarboard Cap

COVRIT Wall Systems are available in several standard heights including 7'-0" and 8'-0", but don't let that limit your imagination. Using modular construction, we can design a wall for just about any height and length you throw at us. Choose from our wide array of standard layouts for most dumpster

screening requirements, or let our project managers assist you in designing a screen wall to custom fit your all-inclusive needs. If an area requires doors and gates only, please check out our Covrit Architectural Doors & Gates catalog, the perfect complement to our screen wall systems.

Panel Designs

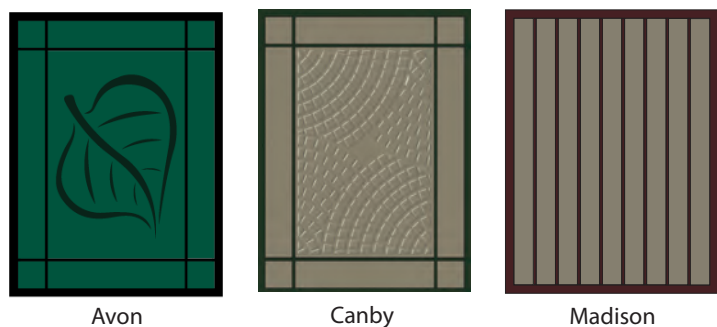
A diverse selection of commercial grade materials allow you to control the project without sacrificing the essential elements of your building design. Our styles include AcryliCap™ thermoformed ABS, molded polyurethane, steel with a polyurethane foam core found in our Metal Series, durable PVC in our PlankWall™ line, and our Ipe and NatureScreen designs which utilize elements of nature with natural wood, rock or plant components.



If you don't see a panel that fits your project, tell us and we'll work with you to develop the look you desire.

Gate Designs

Shown here is a sampling of our diverse gate selection. Please refer to our companion Covrit Architectural Doors & Gates Catalog, or visit us at www.covrit.com for more information.



Standard Colors

Available in our AcryliCap™ ABS and Metal Series screen wall styles, our variety of standard Covrit color choices are sure to complement any area.

We can also work with you to create a custom paint color to match your specifications.



alabaster almond cypress moss



khaki oyster putty



sagebrush shadow gray slate gray



mansard brown forest green rancho red

Brick Colors



Available in our Polyurethane screen wall style; We can match any brick color.

classic brick

Ask about our thin brick/veneer ready wall system to display the same brick as your building.

Frame Paint Colors

We use only the highest quality 2-component urethane enamels for finishing the aluminum wall, gate frame and steel hinges. These colors represent a small sampling of the most popular colors. We can match any color to fit your project specifications.

**for certain styles only*

PVC Plank Colors

Our DeepWood material is manufactured from enhanced PVC plank. It is used for screen walls and gate filler panels. The color runs all the way through this material so scratches are virtually undetectable! Planks are also fade and stain-resistant. We offer single and double-sided wood grain planks to suit any project need.

single-sided wood grain



acacia brownstone clay cobre fawn

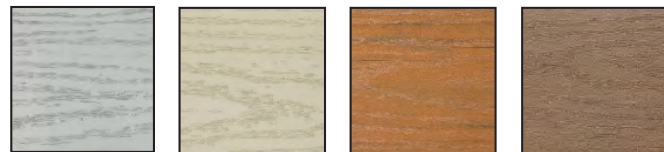


kona modena morado redland rose sedona

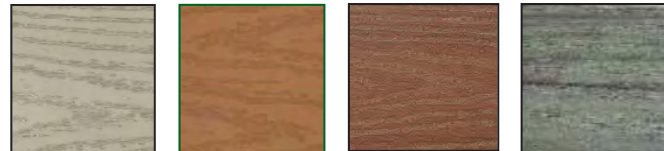


silver oak slate gray tahoe white

double-sided wood grain



ashwood beechwood cedar chestnut



olivewood sable sequoia slate

Natural Wood*

If real wood is in your plans, we start with only the highest grade raw lumber and mill it to fit our gates and doors. We can stain and/or clear coat it to hold the natural beauty, or let it weather naturally.



cedar redwood ipe



dark bronze black white

Project Profile: State Employees Credit Union

Project Location: Mocksville, NC

Type of Screen: Enclosure – Board & Batten Walls in Almond, with Boxed Top Rail, Shallow Hip Caps, Black Trim, Park Collection Gates – Madison Style, Custom Light Oak Planks

Purchaser: LaFaves Construction Co Inc, Landis, NC

Installed By: LaFaves Construction Co Inc, Landis, NC

This dumpster enclosure was installed at a new State Employees Credit Union facility in Mocksville, NC. When the building first opened, due to initial oversight, the dumpster area was not enclosed. It became immediately apparent to all that the area needed to be screened and LaFaves was asked to facilitate. CityScapes was contacted to supply the enclosure and LaFaves Construction installed it with ease. This area now blends visually with the surroundings.



Project Profile: National Sign Systems, Inc.

Project Location: Hilliard, OH

Type of Screen: Enclosure – Clapboard Walls in Almond, with Boxed Top Rail, Shallow Hip Caps, Black Trim. Innova Collection Gates – Potomac Style, Forest Green

Purchaser: National Sign Systems Inc, Hilliard, OH

Installed By: National Install, Hilliard, OH

This manufacturing facility's dumpster access area happened to be in plain view of its arriving visitors. The Facility Manager chose Covrit to visually enhance its image. The dumpster in this high traffic area now goes virtually unnoticed by all passersby.



Project Profile: Penn Station

Project Location: Munster, IN

Type of Screen: Clapboard Walls in White, Boxed Top Rail, Standard Hip Cap, White Trims, Park Collection Gates – Madison Style, White Planks

Purchaser: Penn Station East Coast Subs, McCordsville, IN

Installed by: Van Co Construction, Munster, IN

Penn Station requested an enclosure that could sit at an angle in the back corner of their parking lot. It would need to hide a dumpster and a grease bin. A curb at the back of the lot prevented the rear of the enclosure from extending square the full length. A custom designed layout was created to meet the site specific needs. The Covrit solution is an elegant enclosure with three gates and smart use of the available space.



Project Profile: CCBC - Essex Building E

Project Location: Baltimore, MD

Type of Screen: Park Collection – Redondo Gate, Dark Redwood Planks, Dark Bronze Trim

Purchaser: Community College of Baltimore County, Baltimore, MD

Installed by: Hayes Construction, Baltimore, MD

The Community College of Baltimore County added a ground mounted mechanical unit adjacent to a classroom building. Specified was a brick surround with a wide access entry point. CityScapes was contacted to supply a custom fit gate to complete the project, eliminating view of the mechanical equipment from a main pedestrian corridor.





dumpster enclosures

covrit is an affordable and durable solution for screening building maintenance and service areas. Available in multiple styles, sizes and colors, Covrit Dumpster Enclosures are sure to beautify your environment.

covrit systems are packaged and shipped directly to the site for easy assembly.

CityScapes can also provide turnkey installation to complete the project.

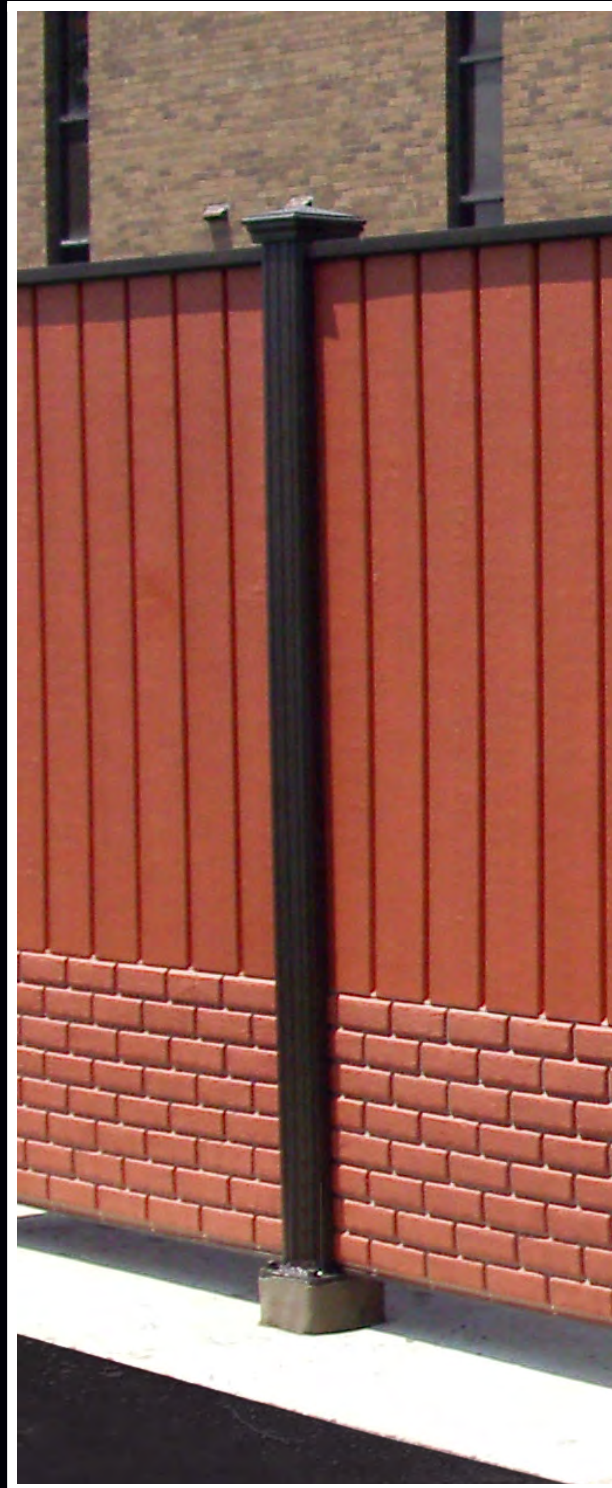
Our team of skilled engineers are committed to providing you with all the technical support and drawings necessary to achieve your goals.



4200 Lyman Court, Hilliard, OH 43026

p. 877.SCREENS • f. 800.726.4817

www.cityscapesinc.com



City of Orting Staff Report

Planning Commission

Orting Valley Adult Family Home ADR 2023-02 Signage

APPLICANT / OWNER:
Viktor Postolnikov, Owner

LOCATION OF PROPOSAL:
817 Old Pioneer Way NW, Orting, WA 98360

DESCRIPTION OF PROPOSAL: The applicant proposes new permanent signage for an existing building.

STAFF REPORT:

The property is located in the “Residential - Urban” (RU) zone. The proposed use of this property is subject to the regulations in OMC 13-7 “Sign Regulations”.

- The applicant submitted a sign design with the ADR application; the design is attached.
- The sign dimensions are 72” x 30” equaling 15 square feet.
- The building façade is approximately 26’6” x 66’ equaling 1755.6 square feet.
- The sign dimensions are within the 10% allowed in size, per OMC.
- The sign will be constructed of wood and appears to be affixed to the building using dark metal chains.
- The sign will use 5” and 3” black lettering (may use 6” and 4” lettering).
- The font type is indicated as Times New Roman on the application.
- Sign illumination was not noted in the application.

STAFF RECOMMENDATION: Staff recommends approval of ADR 2023-02 as presented.

PREPARED BY: Danielle Charchenko

****PLANNING COMMISSION DECISION – February 6, 2023****

Kelly Cochran, Planning Commission Chair

Scott Larson, City Administrator



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW

EXTERIOR SIGNAGE PERMIT APPLICATION

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/ Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs may only be illuminated by indirect lighting; internally illuminated signs are prohibited. All materials used for the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

FILL IN THE FOLLOWING INFORMATION

Business Name: Orting Valley AFH Parcel #: _____

Site Address: 817 Old Pioneer WA NW ORTING

Contact Person: Viktor Postolnikov Phone #: 253-405-0197

Sign Builder: Phone #: _____

Sign Installer: Viktor Postolnikov Phone #: 253-405-0197

- A) Twelve (12) copies of an accurate representation of proposed sign, including color and its relationship to the structure or building (site map showing the sign on the building or on the property in relation to the building).
- B) Dimensions of sign: 72" wide 30" tall / 15 sq ft
- C)
 - 1) Provide picture/drawing of lighting type proposed.
 - 2) Provide drawing to scale showing the location of proposed lighting in relation to the sign and the structure.

3) Provide color samples for lighting structure(s) and/or fixture(s).

D) Select sign type (see OMC 10-15-2 for definitions):

Parapet Free Standing Canopy Under-Canopy
 Wall Reader Board Sandwich Board

E) Is this an existing sign, already in use? Yes No

If yes, provide picture showing signage and location.

F) Property frontage (lineal ft.) 144 ft
Building frontage (lineal ft.) 60 ft (1755 sq ft facade)

G) Material used for sign construction WOOD


H) Size and font of lettering and graphics 5" Amb 3"

Comments:

MAY USE 6" Amb. 2" letters
Times New Roman font

Please be advised that you will be required to obtain a Building Permit for demolition, construction, remodeling and installation of signage. In addition, all contractors and sub-contractors must obtain a City of Orting Business License.

I certify that I have read the ADR Application requirements and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.


Signature

12/14/22
Date

City use only

ADR #: 2023-02
Date Received: 12/14/22
Fee Paid: _____
Review Date: 02-06-23



Orting Valley

Adult Family Home

360-872-1148



