

Commissioners

Kelly Cochran, Chair
Jeff Craig, Co-Chair
Karen Wilson
Chris Rule
Erika Bartholomew
Jennifer McKinney
Vacant



City of Orting Planning Commission

AGENDA

**Special Meeting
October 18, 2021
7 pm Virtual Meeting**

Staff & Contractors

Scott Larson, City Administrator
Kim Agfalvi, City Clerk
Maryanne Zukowski, City Engineer
Margaret O'Harra Buttz, Secretary
Emily Adams, AHBL Planner
JC Hungerford, Parametrix Engineer

Phone Dial-in - Charges may apply
+1.408.419.1715

To join the meeting on a computer or mobile phone:

https://bluejeans.com/469110992/3094?src=join_info

Meeting ID: 469 110 992 Password: 3094

1. Call Meeting to Order
2. Flag Salute - Waived
3. Roll Call
4. ADR 2021-09 Review: Duplex located at 516 Deeded Lane
5. ADR 2021-10 Review: Retail/Residential Structure located at 220 Washington Ave S
6. Adjourn

The City is utilizing remote attendance for Planning Commissioners and City employees. Please note: OPMA rules regarding provision for the public in a space have been suspended by proclamation of the Governor. The meeting is however, available for the public to listen too by a call-in number. Call in Number information: To Join the meeting call one of the following numbers and use the meeting ID.

City of Orting Staff Report Planning Commission

City of Orting
ADR 2021-09 Duplex

APPLICANT / OWNER

Ryan Stennes & John Lynch

LOCATION OF PROPOSAL

516 Deeded Lane SW

DESCRIPTION OF PROPOSAL: The applicant is building a duplex and is seeking an Architectural Design approval of the structure.

STAFF REPORT:

The property is located in the “Residential - Urban” (RU) zone. The proposed use of this property is subject to the conditions of OMC 13-6-7A “Architectural Design Review” and OMC 10-15 “Signs”.

- The applicant submitted an Architectural Design Review packet; see attached.
- Unable to obtain a parcel number for 516 Deeded Lane SW. The parcel number 5925200238 entered in the submittal is for 514 Deeded Lane SW; a vacant lot.
- The applicant has submitted a picture of a goose-neck light. The duplex design does not indicate the location(s) of the lighting on the structure.
- The applicant has chosen four (4) Sherman Williams Historical Colors for the exterior of the structure. Colors confirmed on Sherman Williams web-site. Applicant did not include a color rendering of the duplex.
- Applicants duplex design includes several architectural aspects to meet the City’s architectural design guidelines; gridded windows, batt & board and other western architectural attributes.
- The applicant is screening the trash service area with a cedar fence.
- Applicant states that the landscaping will consist of two (2) shrubs and one (1) tree per side.
- Applicant states there will be no signage.
- The design shows a 2-car garage for each unit which meets the on-site parking requirement.
- The Building Official, Tim Lincoln has received one of the ADR packets submitted.

STAFF RECOMMENDATION: Staff recommends approval of the duplex’s architectural design, with clarification on the address.

PREPARED BY: Margaret O’Harra Buttz

****PLANNING COMMISSION DECISION – October 18, 2021****

Kelly Cochran, Planning Commission Chair

Scott Larson, City Administrator

City of Orting
 Department of Planning & Community Development
 ARCHITECTURAL DESIGN REVIEW APPLICATION FORM

File No. AOR-2021-09
 App. Type ADR
 Fee Paid \$ 250.00
 Date Rec'd 10/4/2021

Name of Project/Development:

APPLICANT/CONTACT PERSON

Name: Ryan Stennes

Address: 1029 E Main #201

City: Puyallup State: WA Zip: 98372 Phone: 253-820-2574

DESCRIPTION OF PROPOSED ACTION

Construct new duplex on vacant land

PROPERTY DESCRIPTION

Location of subject property: 516 Deeded Lane SW

Legal Description (attach additional pages as required):

Tax Parcel No. 5925200238 1/4 Sec. Sec. Twn. R.

Size (ac./sq. ft.) 16,974 SF Comp. Plan designation Zone

Current Use vacant land

**AUTHORIZATION TO FILE:
 SIGNATURE OF ALL PERSONS WITH AN INTEREST IN THE PROPERTY**

Name Ryan Stennes

Name John Lynch

Signature Ryan Stennes

Signature [Signature]

Tax No or Lot & Subdivision

Tax No or Lot & Subdivision

Owner Contract Purchase

Owner Contract Purchase

Option Purchaser*

Option Purchaser*

Option Expiration Date _____

Option Expiration Date _____

*Owners signature also required

*Owners signature also required

CERTIFICATION

I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization.

Signature: Ryan Stennes

Date: 9-24-21



CITY OF ORTING

**ARCHITECTURAL DESIGN REVIEW
CRITERIA**

The following criteria will be used by the Planning Commission in its decision making on your proposed project. Please carefully review the criteria, respond to each criterion (if applicable), and describe how your site plans and building elevations meet the criteria. If the space provided for response is insufficient, use extra space on last page or use blank paper to complete response and attach to this form.

1. RELATIONSHIP TO BUILDING/STRUCTURE SITE

The site shall be planned to accomplish a desirable transition with the streetscape; facilitate pedestrian movement; locate parking areas behind buildings, screen service areas; and be compatible with adjoining building in height and scale.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Trash can area will be located at end of hammerhead and will be screened by cedar fence.

2. RELATIONSHIP OF BUILDING/STRUCTURE AND SITE TO ADJOINING AREA

The site shall be planned to accomplish a harmony in texture, line and mass; and attractive landscape transitions with adjoining areas.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

N/A

3. LANDSCAPE AND SITE TREATMENT

The site shall be planned to accomplish the preservation of existing topographic patterns; inviting and stable appearing walks and parking areas; landscaping that enhances architectural features and provide shade. Service yards shall be screened, in

winter and summer, by the use of walls, fencing, planting or a combination of these. Exterior lighting shall be of a design and size compatible with the building's "Turn of the Century/Western-Victorian" theme. Excessive brightness and brilliant colors shall be avoided.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The plan is to do two shrubs per side with bark beds and one tree per side

4. BUILDING/STRUCTURE DESIGN

The site shall be planned to accomplish the architectural style of "Turn of the Century/Western-Victorian". Evaluation of a project will be based on quality of its design and relationship to the natural setting of the valley and mountain surroundings.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

We modified front elevation to accomplish turn of the century western. Please see attached.

5. SIGNAGE

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs shall be illuminated by indirect lighting; internally illuminated sign are prohibited. All materials used in the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

N/A

6. PAINTING

Exterior paint colors shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior paint colors shall be characteristic of the early 1900's.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

We will be choosing a body, trim and accent color from the Sherwin Williams historic colors selection.

7. LIGHTING

Exterior lighting shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior lighting shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. All materials used must UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

We will be installing black iron gooseneck style lights on the exterior

8. MISCELLANEOUS STRUCTURES AND STREET FURNITURE

All miscellaneous structures and street furniture shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

N/A

Ryan Sterne
Signature

10-4-21
Date

City use only	
ADR #	_____
Fee Paid	_____
Date Received	_____



Strongway Multi-Mount Outdoor/Indoor Barn Light — 16in. Dia., 200 Watts, Black, Model# 23201091-BS

Item# 52681 ★★★★★ (89) [Write a Review](#) [Ask a Question](#)



Hover over image to zoom



[More images you'd like to see?](#)

1-5 units
129.99 ea.

6+ units
116.99 ea.

Save up to \$13.00 ea. + Free Shipping (Lower 48 states)

PayPal Pay in 4 interest-free payments of \$32.50. [Learn more](#)

1 **Add to Cart**

Ship It Free (Lower 48 States)
In Stock
[See Shipping Options](#)

Store Pickup in Under 2hrs (In-Store or Curbside)
[Check Other Stores](#)
[See Pickup Details](#)

- Multiple mounting options give you the flexibility for use in a very wide

Historical paint colors from Sherwin Williams

Colors Shown



BODY	TRIM	ACCENT	ACCENT 2
SW 2821	SW 2851	SW 2846	SW 0050
Downing Stone	Sage Green Light	Roycroft Bronze Green	Classic Light Buff

City of Orting Staff Report Planning Commission

City of Orting
ADR 2021-10 Retail/Residential Structure

APPLICANT / OWNER

Aron Cowin, Owner
Michael Hovland, Architect

LOCATION OF PROPOSAL

220 Washington Ave S

DESCRIPTION OF PROPOSAL: The applicant proposes a building design for a new business with residential quarters on the 2nd floor.

STAFF REPORT:

The property is located in the “Mixed Use – Town Center” (MUTC) zone. The proposed use of this property is subject to the conditions of OMC 10-12 “Architectural Theme for Commercial Buildings” and OMC 10-15 “Signs”.

- The applicant submitted an Architectural Design Review packet; see attached
- The building is a two (2) story structure with retail on the 1st floor and two (2) residential units on the 2nd floor.
- Access to the residential units is at the back of the building through a 1st floor entry-way.
- Windows/sliding doors are solid panes, trimmed in wood, with no grids. I could not identify if the 2nd floor glass were windows and/or sliding doors.
- The applicant has stated that there will be parking at the back of building off of the alley.
- The trash service area will also be at the back of the building in a screened enclosure.
- Landscaping will be at a minimum in the back-parking lot and they will maintain the existing street trees on Washington Ave.
- The colorized rendition of the structure and the application states a body color of gray. The trim appears to be of a red color, however the applicant does not state the color specifically. I have asked the owner for clarification on the trim color.
- Lighting is addressed in the application without a design sheet submitted. The location of lighting fixtures on the 2nd floor is evident on the design page. On the 1st floor the design displays a highlighted area below where the three (3) recessed lighting will be. I have asked the owner for a design of the 2nd floor fixture.
- The applicant is not submitting for signage at this time.
- The structure has the overall appearance to meet the 1900’s Turn of the Century - Western theme.
- The Building Official, Tim Lincoln, has received a copy of the ADR packet that was submitted.

STAFF RECOMMENDATION: Staff recommends approval with the following conditions: Add grids to windows/sliding doors on the Washington Ave frontage, obtain design of the exterior lighting fixtures for the 2nd floor and identify the trim paint color.

PREPARED BY: Margaret O’Harra Buttz

****PLANNING COMMISSION DECISION – October 18, 2021****

Transmittal

date: 09.27.2021

to:

City of Orting

Planning Commission

re:

Architectural Design Review

220 Washington Avenue South

Orting, Washington

The following are transmitted:

No.	Item Submitted	Qty.	# of Pages	Format	Remarks
1)	Required Application Information	12	1	pdf	
2)	Architectural Design Review Application Form	12	1	pdf	
3)	Application Consent Affidavit	12	2	pdf	
4)	Architectural Design Review Criteria	12	3	pdf	
5)	Exterior Elevation (w/ Colors)	12	1	pdf	
6)	Site Plan	12	1	pdf	
7)	Zoning & Building Code Notes	12	1	pdf	
8)					
9)					
10)					



Michael E. Hovland, Architect

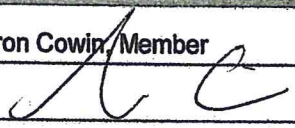
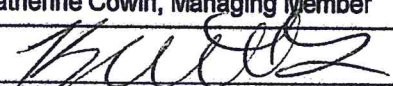
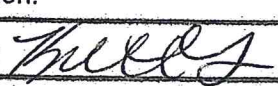
meh.architect@hotmail.com

253.737.8775

REQUIRED APPLICATION INFORMATION (All Permits)

If it is necessary to submit applications for more than one permit, just fill out this page once.

Property Owners' Name	220 Washington Avenue South LLC	
Affidavit of Ownership (Attached)		
Address	121 23rd Street SE Puyallup, WA 98372	
Phone/Fax	(253) 922-1100	
Email	katherine@bulldogplumbing.com	
Applicant/Agent's Name	Michael E. Hovland, Architect	
Address	33919 Ninth Avenue South (201) Federal Way, WA 98003	
Phone/Fax	253-737-8775	
Email	meh.architect@hotmail.com	
Project Site Address	220 Washington Avenue South Orting, WA	
Tax Parcel Number(s)	6565000030	
Legal Description (May be on a separate sheet)	THE EAST 3/4 OF LOT 4 IN BLOCK 1, TOWN OF ORTING, AS RECORDED IN VOLUME 7 OF PLATS AT PAGE 52, RECORDS OF PIERCE COUNTY AUDITOR	
Project Name (If Applicable)	220 Washington Avenue South LLC	
Permits Needed (Check All that Apply)	<input type="checkbox"/> Short Plat <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance <input type="checkbox"/> Clearing & Grading <input type="checkbox"/> Shoreline Variance <input type="checkbox"/> Planned Development <input type="checkbox"/> Master Plan	<input type="checkbox"/> Boundary Line Adjustment <input type="checkbox"/> Final Plat <input type="checkbox"/> Rezone <input type="checkbox"/> Critical Area Exception <input type="checkbox"/> Shoreline Development <input type="checkbox"/> Shoreline Conditional Use <input checked="" type="checkbox"/> Architectural Design Review <input type="checkbox"/> Binding Site Plan <input type="checkbox"/> Special Use Permit

City of Orting Department of Planning & Community Development ARCHITECTURAL DESIGN REVIEW APPLICATION FORM		File No. _____ App. Type _____ Fee Paid \$ _____ Date Rec'd _____
Name of Project/Development: 220 Washington Avenue South LLC		
APPLICANT/CONTACT PERSON		
Name: Michael E. Hovland, Architect		
Address: 33919 Ninth Avenue South Suite 201		
City: Federal Way	State: WA Zip: 98003	Phone: 253-737-8775
DESCRIPTION OF PROPOSED ACTION		
Construction of a 2-story Multi-Use Building w/ Commercial Use on the 1st Floor & Two Apartments on the Second Floor to include site development to support these uses.		
PROPERTY DESCRIPTION		
Location of subject property: 220 Washington Avenue South, Orting Washington		
Legal Description (attach additional pages as required): SEE BELOW		
Tax Parcel No. 656500030 1/4 Sec. 29 Sec. 29 Twn. 19 R. 05		
Size (ac./sq. ft.) 0.155 Ac/6,750 SF Comp. Plan designation Zone MUTC		
Current Use Vacant		
AUTHORIZATION TO FILE: SIGNATURE OF ALL PERSONS WITH AN INTEREST IN THE PROPERTY		
Name Aron Cowin, Member Signature 	Name Katherine Cowin, Managing Member Signature 	
Tax No or Lot & Subdivision	Tax No or Lot & Subdivision	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contract Purchase <input type="checkbox"/> Option Purchaser* Option Expiration Date _____ *Owners signature also required	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Contract Purchase <input type="checkbox"/> Option Purchaser* Option Expiration Date _____ *Owners signature also required	
CERTIFICATION		
I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization.		
Signature: 		Date: 9/22/21

LEGAL DESCRIPTION:

THE EAST 3/4 OF LOT 4 IN BLOCK 1, TOWN OF ORTING, AS RECORDED IN VOLUME 7 OF PLATS AT PAGE 52, RECORDS OF PIERCE COUNTY AUDITOR.

APPLICATION CONSENT
AFFIDAVIT

Project Name: 220 Washington Avenue LLC

Property Owner Information:

Project Contact

Name: 220 Washington Avenue LLC Phone: 121 23rd Street SE

Address: 121 23rd Street SE

City/State: Puyallup, WA Zip: 98372

E-mail: katherine@bulldogplumbing.com

Property Owner Signature: (required)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.

I hereby grant to the City of Orting or its agents to which this application is made or forwarded, the right to enter the above-described location to inspect the proposed, in-progress, or completed work. I agree to start work only after all necessary permits and approvals have been received.

I hereby authorize the Applicant and / or Agent to act on my behalf in matters related to this application. (Check if Applicable)

Katherine, managing member
Property Owner Signature

01/22/2021
Date

Applicant Information (if not the property owner):

Project Contact

Name: Michael E. Hovland Phone: 253-737-8775

Address: 33919 9th Avenue South Suite 201

City/State: Federal Way Zip: 98003

E-mail: meh.architect@hotmail.com

Agent Information:

Project Contact

Name: _____ Phone: _____

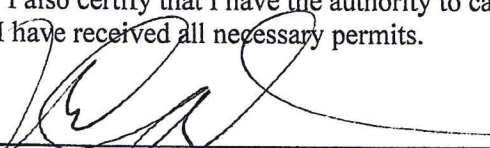
Address: _____

City/State: _____ Zip: _____

E-mail: _____

Authorized Applicant / Agent Signatures: (required if the Applicant/Agent is not the property owner)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.


09.22.2021

 Authorized Applicant Signature Date

 Authorized Agent Signature Date

Please identify additional parties that you want to receive email regarding this project.

Aron Cowin, member aronc@bulldogplumbing.com
 Name Email

Katherine Cowin, managing member Katherine@bulldogplumbing.com
 Name Email



CITY OF ORTING

ARCHITECTURAL DESIGN REVIEW CRITERIA

The following criteria will be used by the Planning Commission in its decision making on your proposed project. Please carefully review the criteria, respond to each criterion (if applicable), and describe how your site plans and building elevations meet the criteria. If the space provided for response is insufficient, use extra space on last page or use blank paper to complete response and attach to this form.

1. RELATIONSHIP TO BUILDING SITE

The site shall be planned to accomplish a desirable transition with the streetscape; facilitate pedestrian movement; locate parking areas behind buildings, screen service areas; and be compatible with adjoining building in height and scale.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

This proposal meets all of the criteria mentioned above:

- Pedestrian movement will remain as is - the buildings main entry will be from the existing sidewalk on Washington.

- Parking & Service areas are behind the building - out of sight from the Washington.

- The scale will be compatible w/ the existing street-scape, although this proposal is for a 2-Story building with business uses on the First Floor and (2) Apartments on the Second.

2. RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

The site shall be planned to accomplish a harmony in texture, line and mass; and attractive landscape transitions with adjoining areas.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

This proposal meets the criteria intended although landscaping opportunities are sparse given that the building/property line is at the back side of the existing sidewalk.

The existing street trees will remain as is.

New landscaping will be added as part of the development of the parking lot at the east (where the site will accessed from the Alley).

3. LANDSCAPE AND SITE TREATMENT

The site shall be planned to accomplish the preservation of existing topographic patterns; inviting and stable appearing walks and parking areas; landscaping that enhances architectural features and provide shade. Service yards shall be screened, in

winter and summer, by the use of walls, fencing, planting or a combination of these. Exterior lighting shall be of a design and size compatible with the building's "Turn of the Century/Western-Victorian" theme. Excessive brightness and brilliant colors shall be avoided.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

Parking will occur on the Alley side of the site:

- Parking & vehicle access will be off of the Alley - out of site from Washington Avenue
 - Refuse will be in a screened enclosure at in the rear/alley side of the structure
 - Colors will be in concert with the theme desired: the colors will be gray with contrasting trim
 - The overall style of the building is "western" w/ a 3 foot deep overhang will built along the street side (covering part of the sidewalk & building entry. The facade will have "storefront" windows
4. **BUILDING DESIGN** - trimmed with wood)

The colors are consistent with the published Guidelines

The site shall be planned to accomplish the architectural style of "Turn of the Century/Western-Victorian". Evaluation of a project will be based on quality of its design and relationship to the natural setting of the valley and mountain surroundings.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

- This site is part of the vibrant activities of Washington Avenue and the Park opposite.
- This proposal encourages pedestrian activity and is linked to the park via the storefront system and the decks for the apartments above above.

5. **SIGNAGE**

The signs shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior signs shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. Signs shall be illuminated by indirect lighting; internally illuminated signs are prohibited. All materials used in the indirect lighting of exterior signs shall be UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

- While the signage has not been determined as yet the canopy overhanging the sidewalk (facing the park) encourages a 'turn of the century' theme - similar to other businesses nearby.

6. **PAINTING**

Exterior paint colors shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior paint colors shall be characteristic of the early 1900's.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The building is proposed to have a gray body and contrasting trim
See the submitted color Washington Avenue Elevation. Colors have been selected with the
Washington Avenue Street Elevation and colors in mind and are consistent with the colors
published in the Architectural Design Review document.

7. LIGHTING

Exterior lighting shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style. All exterior lighting shall be characteristic of the early 1900's in size, material, color, lettering, location, number, and arrangement. All materials used must UL listed. In addition, the Washington State Energy Code shall be adhered to and a Washington State Department of Labor and Industry Electrical Permit and inspection shall be required.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

The street facade will be lit through the use of recessed down lights at the canopy/overhang
the entry will be highlighted with the use of wall mounted Victorian fixtures by tee doors.

8. MISCELLANEOUS STRUCTURES AND STREET FURNITURE

All miscellaneous structures and street furniture shall be planned to reflect the architectural concept of the "Turn of the Century/Western-Victorian" style.

DESCRIBE HOW YOUR PLANS MEET THIS CRITERIA:

This building projects the Western/Victorian theme thru it's materials and use of
wood.


Signature

09.29.2021
Date

City use only
ADR # _____
Fee Paid _____
Date Received _____

Zoning & Building Code Notes (See Also Project Analysis)		220 Washington Avenue South LLC Building 220 Washington Avenue South Orting, Washington			
Jurisdiction:		City of Orting Emily Adams, AICP City Planner			
Owner:		220 Washington Avenue LLC 121 23 rd Street Southeast Puyallup, Washington 98372			
Scope of Work:		Existing Use: Vacant Lot Proposed Use: Commercial & Apartment [Two 2 nd Floor Units]			
Zoning Notes:					
Zone		MUTC			
Use/Occupancy:					
Business w/ Residential Above		First Floor	B - Occupancy		
Lot Size		Second Floor	R-2 - Occupancy		
		45' X 150' = 6,750 S.F.			
Building Notes:					
Use Separation		B / R	Horizontal Separation w/ Protected Egress (Stairs)		
Setbacks		None	Establish by Buffers		
Buffering/Landscaping		→	See Site Plan		
Area Analysis		Square Footage		Factor	
				Occupant Load	
				Commercial [B]	Apartment [R-2]
First Floor	GSF	2,475	S.F.	---	
Usable	Tenant Space	2,291	S.F.	1/150	16
Stairs	Common	136	S.F.	---	---
		48	S.F. (@ Entry)		
Second Floor	GSF	2,475	S.F.	---	---
Usable	Per Apartment	929	S.F. Apartment A	1/200	5
		929	S.F. Apartment B	1/200	5
Stairs/Hall	Common	223	S.F.	---	---
Deck(s)		394	S.F. 197 S.F. @ Each Apartment	---	---
Total		4,902	S.F.	---	26 (Total Both Floors)
Type of Construction		Type V [w/ Horizontal Separation per IBC Section 420 B / R] (One-Hour @ Common Property Lines)			
Parcel Number:		6565-5000-030			
Misc. Notes:					
Property	1	PROPERTY DIMENSIONS: 45' X 150' = 6,750 GSF			
Parking	2	Ten (10) Stalls Provided: - One Accessible Stall: 18' X 16½' ± [includes (8') Maneuvering Area] - Nine Standard Stalls: 8' X 20' ± (160 s.f. Each)			
Process	3	Architectural Design Review			
Public Works	4	Verify Storm Water Storage & Drainage Requirements			
Code References:		- 2018 International Building Code - 2018 International Fire Code - 2018 International Mechanical Code		- 2018 Uniform Plumbing Code - 2018 WSEC	

09.20.2021

GENERAL NOTES

BUILDING CODES 2018 INTERNATIONAL BLDG. CODE (IBC), AND BY REFERENCE WHERE APPLICABLE THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION. ROOF LIVE LOAD = 25 PSF (20k10) ROOF DEAD LOAD = 15 PSF FLOOR LIVE LOAD = 40 PSF FLOOR DEAD LOAD = 15 PSF WIND LOAD = 150 MPH WIND SPEED, EXPOSURE 'B', RISK CAT. II TYPE V OCCUPANCY GROUP, R-3

DESIGN CRITERIA TABLE R502.1(1)

Table with columns: GROUND LOAD, WIND DESIGN, SEISMIC DESIGN CATEGORY, SUBJECT TO DAMAGE FROM WEATHERING, FLOOD HAZARD, AIR FREEZING INDEX, MEAN ANNUAL TEMP.

ADDITIONAL REQUIRED SUBMITTAL ITEMS TO BE SUBMITTED BY THE OWNER OR CONTRACTOR AT TIME OF PERMIT SUBMITTAL - PER. JST, DESIGN AND LAYOUT IF APPLICABLE (FROM MANUFACTURER) - PER. TRUSS DESIGN AND LAYOUTS (FROM MANUFACTURER)

SITE WORK

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 3000 LBS PER SQ. FT. EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE PER TABLE R402.1

Table with columns: TYPE OR LOCATION OF CONCRETE CONSTRUCTION, MODERATE WEATHERING POTENTIAL, COMPRESSIVE STRENGTH (PSI) AT 28 DAYS.

CONCRETE BATCH TICKET SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. REINFORCING STEEL TO COMPLY WITH ASTM A635 GRADE 60, UNCO. (SEE STRUCTURAL)

FOUNDATION

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 1/4"x3/4" PLATE WASHERS. WOOD BEARINGS ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESERVED TREATED WITH AN APPROVED PRESERVATIVE. FOUNDATION BELL BOLTS TO BE 1/2" DIAMETER AT 1'-0" O.C. UNCO. WITH MIN. 1" EMBEDMENT METAL FRAMING CONNECTORS TO BE MANUFACTURED BY 50-TON STRONG-TIE OR USP STRUCTURAL CONNECTORS.

WATERPROOFING R406.2 - IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED FROM THE HIGHER OF (A) THE TOP OF THE FOOTING OR (B) 6 INCHES BELOW THE TOP OF THE BASEMENT FLOOR, TO THE FINISHED GRADE. WALLS SHALL BE WATERPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING:

- 1. 2-PLY HOT-MOPPED FELT. 2. 35 POUND ROLL ROOFING. 3. 6-MIL POLYETHYLENE. 4. 6-MIL POLYETHYLENE. 5. 40-MIL POLYMER-MODIFIED ASPHALT. 6. 60-MIL FLEXIBLE POLYMER CEMENT. 7. 1/2" CEMENT-BASED, FIBER-REINFORCED, WATERPROOF COATING. 8. 60-MIL SOLVENT-FREE, LIQUID-APPLIED SYNTHETIC RUBBER.

VENTILATION R408.1 - THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY THE BASEMENT) SHALL HAVE VENTILATION OPENING THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. A GROUND COVER OF 6X MIL (0.006 IN THICK BLACK POLYETHYLENE OR APPROVED EQUAL) SHALL BE LAID OVER THE GROUND WITHIN CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED 6X INCHES MINIMUM AT THE JOINTS AND SHALL EXTEND TO THE FOUNDATION WALL.

DRAFTSTOPPING & FIRE BLOCKING

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE & BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE & A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

- 1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING. 2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEBS OR PERFORATED MEMBERS. DRAFTSTOPPING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R502.1(1). FIREBLOCKING R502.1 - IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

WALL CONSTRUCTION/FRAMING

GENERAL ALL MINIMUM NAILING SHALL BE IN ACCORDANCE WITH IBC TABLE 2304.10(1) AND IRC TABLE R602.10(1) UNLESS NOTED OTHERWISE. GYPSUM WALL BOARD AT INTERIOR WALLS TO BE FASTENED ACCORDING TO TABLE R702.3.3

Table: MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD. Columns include: THICKNESS OF GYPSUM BOARD, APPLICATION, ORIENTATION OF GYPSUM BOARD, FASTENING SPACING, SIZE OF WALLS FOR APPLICATION TO 1000 FRAMING.

FASTENERS ALL NAILS SPECIFIED ON THIS PLAN SHALL BE COMMON OR GALVANIZED BOX (UNLESS NOTED OTHERWISE) OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 804 COMMON (0.018" DIA, 2-1/2" LONG), 6d BOX (0.031" DIA, 2-1/2" LONG), 6d COMMON (0.048" DIA, 3" LONG), 6d BOX (0.028" DIA, 3" LONG), 6d COMMON (0.048" DIA, 3-1/2" LONG), 6d BOX (0.031" DIA, 3-1/2" LONG), 6d COMMON (0.048" DIA, 3-1/2" LONG), 6d BOX (0.028" DIA, 1-5/8" LONG), 6d COMMON (0.048" DIA, 1-7/8" LONG).

Table: JOIST, BEAM, RIGID, ROOF, GIRDER. Columns include: JOIST/BEAM/RIGID/ROOF/GIRDER, WOOD TYPE, WOOD SPECIFICATION.

GLUED-LAMINATED BEAM (GLB) SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES: E = 1,800,000 PSI, E PERPENDICULAR, E = 1,800,000 PSI, E PARALLEL TO GRAIN, E = 1,800,000 PSI, E PERPENDICULAR, E = 1,800,000 PSI, E PARALLEL TO GRAIN.

PREFABRICATED WOOD TRUSSES: PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A LICENSED PROFESSIONAL ENGINEER AND FABRICATED ONLY FROM THOSE DESIGNS, NONBEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD WITH AN APPROVED BRACE (SUCH AS 50-TON STRONG-TIE) TO ENSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

APPROVED CORROSION-RESISTANT FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

EXTERIOR DOORS, WINDOWS AND SKYLIGHTS

PER 2018 WASHINGTON STATE ENERGY CODE WINDOW SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH WINDOW, ALL SKYLIGHTS AND SKY WALLS TO BE LAMINATED GLASS UNLESS NOTED OTHERWISE.

- 1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON MASONRY. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND BILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.

INSULATION AND MOISTURE PROTECTION

R502.10 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION: FLAME SPREAD AND SMOKE-DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R502.10(1) THROUGH R502.10(3). R502.10(1) INSULATION: INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E 84 OR UL T23.

R502.10(2) LOOSE-FILL INSULATION: LOOSE-FILL INSULATION MATERIALS THAT CANNOT BE MOUNTED IN THE ASTM E 84 OR UL T23 APPARATUS WITHOUT A SCREEN OR ARTIFICIAL SUPPORTS SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE-DEVELOPED LIMITS OF SECTION R502.10(1) WHERE TESTED IN ACCORDANCE WITH CANULC 802.2. EXCEPTION: CELLULOSE FIBER LOOSE-FILL INSULATION SHALL NOT BE REQUIRED TO BE TESTED IN ACCORDANCE WITH CANULC 802.2, PROVIDED SUCH INSULATION COMPLIES WITH THE REQUIREMENTS OF SECTIONS R502.10(1) AND R502.10(3). R502.10(3) CELLULOSE FIBER LOOSE-FILL INSULATION: CELLULOSE FIBER LOOSE-FILL INSULATION SHALL COMPLY WITH CPSC 16 CFR PARTS 1209 AND 1404. EACH PACKAGE OF SUCH INSULATING MATERIAL SHALL BE CLEARLY LABELED IN ACCORDANCE WITH CPSC 16 CFR PARTS 1209 AND 1404.

R502.10(4) EXPOSED ATTIC INSULATION: EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER. R502.10(5) TESTING: TESTS FOR CRITICAL RADIANT FLUX SHALL BE MADE IN ACCORDANCE WITH ASTM E 510.

R502.10(6) VAPOR RETARDERS: CLASS III VAPOR RETARDERS SHALL BE PERMITTED WHERE ANY ONE OF THE CONDITIONS IN TABLE R102.1(1) IS MET. R502.11 MATERIAL VAPOR RETARDERS: CLASS III MATERIAL VAPOR RETARDERS SHALL BE PERMITTED WHERE ANY ONE OF THE CONDITIONS IN TABLE R102.1(1) IS MET. R502.12 MINIMUM CLEAR AIRSPACE AND VENTED OPENINGS FOR VENTED CLADDING: FOR THE PURPOSES OF THIS SECTION, VENTED CLADDING SHALL INCLUDE THE FOLLOWING MINIMUM CLEAR AIRSPACES, OTHER OPENING WITH THE EQUIVALENT VENT AREA SHALL BE PERMITTED.

INSPECTIONS AND ENFORCEMENT: POSTING OF CERTIFICATE W502.1: A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A LOCATION ON AN ELECTRICAL PANEL. R502.13 BUILDING AIR LEAKAGE TESTING: BUILDING AIR LEAKAGE TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4 THROUGH R402.4.4.

RODENT PROOFING: 2018 UNIFORM PLUMBING CODE SEC. 312.2 STRAINER PLATES ON DRAIN NETS SHALL BE DESIGNED AND INSTALLED SO THAT NO OPENING EXCEEDS 1/4 OF AN INCH IN THE LEAST DIMENSION. 312.2.1 METER BOXES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RATS CANNOT ENTER A BUILDING BY FOLLOWING THE SERVICE PIPES FROM THE BOX INTO THE BUILDING. 312.2.2 METAL COLLARS IN OR ON BUILDINGS WHERE OPENINGS HAVE BEEN MADE IN WALLS, FLOORS, OR CEILINGS FOR THE PASSAGE OF PIPES, SUCH OPENINGS SHALL BE CLOSED AND PROTECTED BY THE INSTALLATION OF APPROVED METAL COLLARS SECURELY FASTENED TO THE ADJACENT STRUCTURE.

LIGHTING: W502.1 ILLUMINATION PER SEC. R502.1.1: INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXCEPTED: A SWITCH IS NOT REQUIRED WHERE REMOTE, CENTRAL OR AUTOMATIC CONTROL OF LIGHTING IS PROVIDED. EXTERIOR STAIRWAY ILLUMINATION PER SEC. R502.1.2: EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTDOOR GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE BOTTOM LANDING OF THE STAIRWAY.

DRILLING AND NOTCHING STUDS: PER SEC. R502.6 DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING: 1. NOTCHING ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. 2. DRILLING ANY STUD SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 1/4 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED, SEE FIGURES R502.6(1) AND R502.6(2).

DRILLING AND NOTCHING OF TOP PLATE: PER SEC. R502.6(1) WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING PARTITION, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.0254 INCH THICK AND 1-1/2" INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT 1/2" NAILS HAVING A MINIMUM LENGTH OF 1-1/2" INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND A MINIMUM OF 6 INCHES PAST THE OPENING. SEE FIGURE R502.6(1).

EXCEPTION: USE OF APPROVED STUD SHIMS IS PERMITTED WHERE THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DRILLING AND NOTCHING OF TOP PLATE: PER SEC. R502.6(1) WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING PARTITION, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.0254 INCH THICK AND 1-1/2" INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT 1/2" NAILS HAVING A MINIMUM LENGTH OF 1-1/2" INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND A MINIMUM OF 6 INCHES PAST THE OPENING. SEE FIGURE R502.6(1).



516 Deeded Lane SW City of Orting

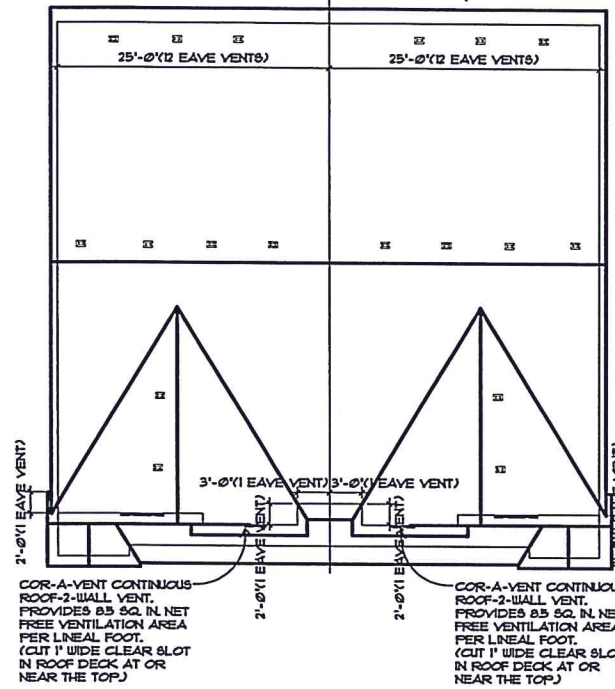
Ryan Stennes Duplex

- 1. Contractor or builder must verify all dimensions before proceeding with construction. 2. This plan was designed to be installed throughout any municipality. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed. 3. Purchaser should have plan reviewed by a licensed builder and structural engineer for compliance with specific site conditions. 4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No: M-1822 Date: 6-14-21

VENTILATION REQUIREMENTS

ROOF ATTIC VENTILATION CALCULATIONS



VENTILATION CALCULATIONS & REQUIREMENTS

AT LEAST 40% NOT MORE THAN 50% OF REQUIRED VENTS SHALL BE IN UPPER PORTION OF VENTILATED ROOF SPACE (NO MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT) WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE VENTS.

VENTILATION REQUIRED PER SEC. R202.1 - ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING IS APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16" INCH MINIMUM AND 1/4" INCH MAXIMUM. VENTILATING OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R202.1. REQUIRED VENTILATING OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

MINIMUM VENT AREA PER SEC. R202.2 - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE.

VENT AND INSULATION CLEARANCE PER SEC. R202.3 - WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR, NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

UPPER ROOF: (AREA 1)

136 SQ. FT. OF ATTIC AREA/300 = 3.88 SQ. FT. OF VENTILATION REQUIRED (259 SQ. INCHES)
 UPPER VENTS = 218 SQ. IN. (16 AF50 VENTS)
 LOWER VENTS = 218 SQ. IN.
 5 EAVE VENTS x 17" PER BLOCK = 160 SQ. IN.
 3 AF50 VENTS x 50" PER VENT = 150 SQ. IN.

NOTE: UPPER ROOF VENTING PROVIDED BY 1X10" AF50 ROOF VENTS (50" IN PER VENT)
 NOTE: EAVE VENTING PROVIDED BY (4)-2 1/8" DIA. ETHER "BIRD HOLES" PER EAVE BLOCK. (4)-2 1/8" DIA HOLES = 14 1/2 SQ. IN. W/ MESH NFA #/ MESH = 12" SQ. IN. PER BLOCK.

LOWER ROOF - GARAGE: (AREA 3)

87 SQ. FT. OF ATTIC AREA/300 = 31 SQ. FT. OF VENTILATION REQUIRED (73 SQ. INCHES)
 EAVE VENTS = 31 SQ. IN.
 4 EAVE VENTS x 17" PER BLOCK = 48 SQ. IN.
 UPPER VENTS = 30 SQ. IN. (CONT. ROOF-2-WALL VENT)
 85 SQ. IN. X 2 LKTRUSS BAY = 170 SQ. IN. PER TRUSS BAY
 48 SQ. IN. REQUIRED/170 SQ. IN. = 28%

NOTE: UPPER ROOF VENTING PROVIDED BY COR-A-VENT ROOF-2-WALL VENT (43 SQ. IN. PER LINEAL FT.)

COR-A-VENT CONTINUOUS ROOF-2-WALL VENT, PROVIDES 85 SQ. IN. NET FREE VENTILATION AREA PER LINEAL FOOT. (CUT 1" WIDE CLEAR SLOT IN ROOF DECK AT OR NEAR THE TOP.)

COR-A-VENT CONTINUOUS ROOF-2-WALL VENT, PROVIDES 85 SQ. IN. NET FREE VENTILATION AREA PER LINEAL FOOT. (CUT 1" WIDE CLEAR SLOT IN ROOF DECK AT OR NEAR THE TOP.)

WHOLE HOUSE VENTILATION USING EXHAUST FANS

SEC. M505

MECHANICAL

HEATING EQUIPMENT ALL WARM-AIR FURNACES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED TO LISTED SPECIFICATIONS. NO WARM-AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACE, ENCLOSED FURNACE OR ELECTRIC HEATING FURNACE. LOGGED PETROLEUM GAS-BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT, BASEMENT OR SIMILAR LOCATION WHERE HEAVIER THAN AIR GAS MIGHT COLLECT. APPLIANCES SO RELEASING SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT UNLESS SUCH LOCATION IS PROVIDED WITH AN APPROVED MEANS FOR REMOVAL OF UNBURNED GAS. HEATING AND COOLING EQUIPMENT LOCATED IN A GARAGE AND WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND BURNERS AT LEAST 18" ABOVE THE FLOOR LEVEL.

TEMPERATURE CONTROL THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT SHALL BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE USBC 603.11

VENTILATION EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE BW GAS VENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING, MFR'S INSTALLATION INSTRUCTIONS AND APPLICABLE CODE REQUIREMENTS.

A TYPE L VENTING SYSTEM SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THE VENT PASSES THROUGH THE ROOF OF THE BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' OF THE VENT.

UTILITY ROOM NOTES/MAKE UP AIR:

1. WHERE THE EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION.
 2. INSTALLATIONS EXHAUSTING MORE THAN 200 CFM SHALL BE PROVIDED WITH MAKE UP AIR. WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQ. INCHES FOR MAKE UP AIR SHALL BE PROVIDED IN THE CLOSET ENCLOSURE, OR MAKE UP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS.
 C = 1 1/2" = 120 SQ. INCH TRANSFER GRILL PER IRC G243.5.5 (614.6)

WHOLE HOUSE VENTILATION SYSTEM USING EXHAUST FANS SEC. M505 AS AMENDED BY WASHINGTON STATE

M505.1 GENERAL WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS AND EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH THIS SECTION.

M505.2 RECIRCULATION OF AIR EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREA OF THE BUILDING. THIS SECTION SHALL NOT PROHIBIT THE INSTALLATION OF DUCTLESS RANGE HOODS IN ACCORDANCE WITH THE EXCEPTION TO SECTION M503.3.

M505.3 EXHAUST EQUIPMENT EXHAUST EQUIPMENT SERVING SINGLE DWELLING UNITS SHALL BE LISTED AND LABELED AS PROVIDING THE MIN. REQUIRED AIRFLOW IN ACCORDANCE WITH ANSI/APCA 210-ANSI/ASHRAE 91

M505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE EQUIPPED WITH VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M505.41 THROUGH M505.44.

M505.41 SYSTEM DESIGN THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY FANS, ONE OR EXHAUST FANS, OR AN EVAPORATOR WITH INTEGRAL FANS, ASSOCIATED DUCTS AND CONTROLS. WHOLE-HOUSE MECHANICAL VENTILATION SUPPLY AND EXHAUST FANS PER SECTIONS M505.412 THE SYSTEM SHALL BE DESIGNED AND INSTALLED TO EXHAUST AND OR SUPPLY THE MINIMUM OUTDOOR AIRFLOW RATES PER SECTION M505.43 AS MODIFIED BY THE WHOLE-HOUSE VENTILATION SYSTEM COEFFICIENTS IN SECTION M505.431 WHERE APPLICABLE. THE WHOLE-HOUSE VENTILATION SYSTEM SHALL OPERATE CONTINUOUSLY AT THE MINIMUM VENTILATION RATE DETERMINED PER SECTION M505.42 UNLESS CONFIGURED WITH INTERMITTENT OFF CONTROLS PER SECTION M505.432

M505.411 WHOLE-HOUSE SYSTEM COMPONENT REQUIREMENTS WHOLE-HOUSE VENTILATION SUPPLY AND EXHAUST FANS SPECIFIED IN THIS SECTION SHALL HAVE A MIN. EFFICIENCY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE. DESIGN AND INSTALLATION OF THE SYSTEM OF EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHOLE-HOUSE VENTILATION FANS SHALL BE RATED FOR SOUND NO LESS THAN THE MIN. AIRFLOW RATE REQUIRED BY SECTION M505.431. VENTILATION FANS SHALL BE RATED FOR SOUND AT A MAX. OF 10 SONE. THIS SHOULD RATING SHALL BE AT A MIN. OF 63 IN. ILC STATIC PRESSURE IN ACCORDANCE WITH HVAC PROCEDURES SPECIFIED IN SECTIONS M505.412 AND M505.413.

M505.412 EXHAUST FANS EXHAUST FANS REQUIRED SHALL BE DUCTED DIRECTLY TO THE OUTSIDE. EXHAUST AIR OUTLETS SHALL BE DESIGNED TO LIMIT THE PRESSURE DIFFERENCE TO THE OUTSIDE AND EQUIPPED WITH BACKDRAFT DAMPERS OR MOTORIZED DAMPERS IN ACCORDANCE WITH THE WASHINGTON STATE ENERGY CODE. EXHAUST FANS SHALL BE TESTED AND RATED IN ACCORDANCE WITH THE AIRFLOW AND SOUND RATING PROCEDURES OF THE HOME VENTILATING INSTITUTE. EXHAUST FANS REQUIRED IN THIS SECTION MAY BE USED TO PROVIDE LOCAL VENTILATION. BATHROOM EXHAUST FANS THAT ARE DESIGNED FOR INTERMITTENT EXHAUST AIRFLOW RATES HIGHER THAN THE CONT. EXHAUST AIRFLOW RATES IN TABLE M505.43(2) SHALL BE PROVIDED WITH OCCUPANCY SENSORS OR HUMIDITY SENSORS TO AUTOMATICALLY OVERRIDE THE FAN TO THE HIGH SPEED AIRFLOW RATE. THE EXHAUST FANS SHALL BE TESTED AND THE TESTING RESULTS SHALL BE OBTAINED AND POSTED IN ACCORDANCE WITH SECTION M505.416.

M505.413 SUPPLY FANS SUPPLY FANS USED IN MEETING THE REQUIREMENTS OF THIS SECTION SHALL SUPPLY OUTDOOR AIR FROM INTAKE OPENINGS IN ACCORDANCE WITH IRC SECTIONS 402.4 AND 402.5. WHEN DESIGNED FOR INTERMITTENT OFF OPERATION, SUPPLY SYSTEMS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS IN ACCORDANCE WITH THE WASHINGTON STATE ENERGY CODE.

M505.414 BALANCED WHOLE-HOUSE VENTILATION SYSTEM A BALANCED WHOLE-HOUSE VENTILATION SYSTEM SHALL INCLUDE BOTH SUPPLY AND EXHAUST FANS. THE SUPPLY AND EXHAUST FANS SHALL HAVE AIRFLOW THAT IS WITHIN 10 PERCENT OR 5 CFM, WHICHEVER IS GREATER, OF THE TOTAL MECHANICAL SUPPLY AIRFLOW RATE.

M505.415 WHOLE-HOUSE VENTILATION INTEGRATED SUPPLY SYSTEMS USING SPACE HEATING AND OR COOLING AIR HANDLER FANS FOR OUTDOOR AIR SUPPLY DISTRIBUTION ARE NOT PERMITTED.

M505.416 TESTING WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE TESTED, BALANCED AND VERIFIED TO PROVIDE A FLOW RATE NOT LESS THAN THE MINIMUM REQUIRED BY SECTIONS M505.43 AND M505.44. TESTING SHALL BE PERFORMED ACCORDING TO THE VENTILATION EQUIPMENT MANUFACTURER'S INSTRUCTIONS, OR BY USING A FLOW HOOD, FLOW GRID, OR OTHER AIRFLOW MEASURING DEVICE AT THE MECHANICAL VENTILATION FANS INLET TERMINALS, OUTLET TERMINALS OR GRILLES OR IN THE CONNECTED VENTILATION DUCTS.

M505.417 CERTIFICATE A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE MECHANICAL CONTRACTOR, TEST AND BALANCE CONTRACTOR OR OTHER APPROVED PARTY AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING.

M505.42 SYSTEM CONTROLS THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT COMPLY WITH THE FOLLOWING:

1. THE WHOLE-HOUSE VENTILATION SYSTEM SHALL BE CONTROLLED WITH MANUAL SWITCHES, THERMISTERS OR OTHER MEANS THAT PROVIDE FOR AUTOMATIC OPERATION OF THE VENTILATION SYSTEM WITH READY ACCESS BY THE OCCUPANT.
2. WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE OFF OF THE SYSTEM BY THE OCCUPANT DURING PERIODS OF POOR OUTDOOR AIR QUALITY. CONTROLS SHALL INCLUDE PERMANENT TEXT OR A SYMBOL INDICATING THEIR FUNCTION. RECOMMENDED CONTROL PERMANENT LABELING TO INCLUDE TEXT SIMILAR TO THE FOLLOWING: 'LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR'. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE BY THE OCCUPANT.
3. WHOLE-HOUSE VENTILATION SYSTEMS SHALL BE CONFIGURED TO OPERATE CONTINUOUSLY EXCEPT WHERE INTERMITTENT OFF CONTROLS AND SIZING ARE PROVIDED PER SECTION M505.432

M505.43 MECHANICAL VENTILATION RATE THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M505.43(1) OR EQUATION B-1.

M505.43(1) VENTILATION QUALITY ADJUSTMENT THE MINIMUM WHOLE-HOUSE VENTILATION RATE FROM SECTION M505.43 SHALL BE ADJUSTED BY THE SYSTEM COEFFICIENT IN TABLE M505.43(2).

M505.43(2) INTERMITTENT OFF OPERATION WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED WITH ADVANCED CONTROLS THAT ARE CONFIGURED TO OPERATE THE SYSTEM WITH INTERMITTENT OFF OPERATION SHALL OPERATE FOR AT LEAST TWO HOURS IN EACH FOUR-HOUR SEGMENT.

M505.44 LOCAL EXHAUST BATHROOMS, TOILET ROOMS, AND KITCHENS SHALL INCLUDE A LOCAL EXHAUST SYSTEM. SUCH LOCAL EXHAUST SYSTEMS SHALL HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIRFLOW RATE IN ACCORDANCE WITH TABLE M505.44(1). FANS REQUIRED BY THIS SECTION SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE OR AUTOMATIC OCCUPANCY SENSOR, HUMIDITY SENSOR OR POLLUTANT SENSOR CONTROLS. AN 'ON/OFF' SWITCH SHALL MEET THIS REQUIREMENT FOR MANUAL CONTROLS. MANUAL FAN CONTROLS SHALL BE READILY ACCESSIBLE IN THE ROOM SERVED BY THE FAN.

M505.44(2) LOCAL EXHAUST FANS EXHAUST FANS MEET THE FOLLOWING CRITERIA:
 1. EXHAUST FANS SHALL BE TESTED AND RATED IN ACCORDANCE WITH THE AIRFLOW AND SOUND RATING PROCEDURES OF THE HOME VENTILATION INSTITUTE.

TABLE M505.43(1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIR FLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (SQ. FT.)	NUMBER OF BEDROOMS				
	0-1	2	3	4	5 OR MORE
0-500	30	30	35	45	50
501-1000	30	35	40	50	55
1001-1500	30	40	45	55	60
1501-2000	35	45	50	60	65
2001-2500	40	50	55	65	70
2501-3000	45	55	60	70	75
3001-3500	50	60	65	75	80
3501-4000	55	65	70	80	85
4001-4500	60	70	75	85	90
4501-5000	65	75	80	90	95

TABLE M505.43(2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME % IN EACH 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR	4	3	2	1.5	1.3

TABLE M505.44 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE- AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES	AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS	BATHROOMS-TOILET ROOMS LAUNDRY ROOMS INDOOR SWIMMING POOLS (4 SPA)	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

2018 ENERGY CODE COMPLIANCE AND OPTIONS

2018 USICC 4.5 ENERGY CREDITS REQUIRED PER TABLE 406.2
 4 - 3A 55+ 4.5 ENERGY CREDITS

FUEL NORMALIZATION CREDITS (TABLE R402.2)

4 (2.0 CREDIT)
 FOR HEATING SYSTEM BASED ON ELECTRIC RESISTANCE WITH A DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM IN ACCORDANCE WITH SECTION R403.11 INCLUDING THE EXCEPTION.

3.4 (1.8 CREDIT)
 DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM ZONAL CONTROL IN HOMES WHERE THE PRIMARY SPACE HEATING SYSTEM IS ZONAL ELECTRIC HEATING, A DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM WITH MIN. HSPH OF 10.0 SHALL BE INSTALLED AND PROVIDE HEATING TO THE LARGEST ZONE OF THE HOUSING UNIT.

TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND THE MIN. EQUIPMENT EFFICIENCY.

3.5 (2.0 CREDIT)
 WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING:
 ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION

OR
 FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S), MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS. IF ONE WATER HEATER IS SERVING MORE THAN ONE DWELLING UNIT, ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED WITH R-8 MIN. PIPE INSULATION.

TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE WATER HEATER EQUIPMENT TYPE AND THE MIN. EQUIPMENT EFFICIENCY AND, FOR SOLAR WATER HEATING SYSTEMS, THE CALCULATION OF THE MIN. ENERGY SAVINGS.



1. Contractor or builder must verify all dimensions before proceeding with construction.

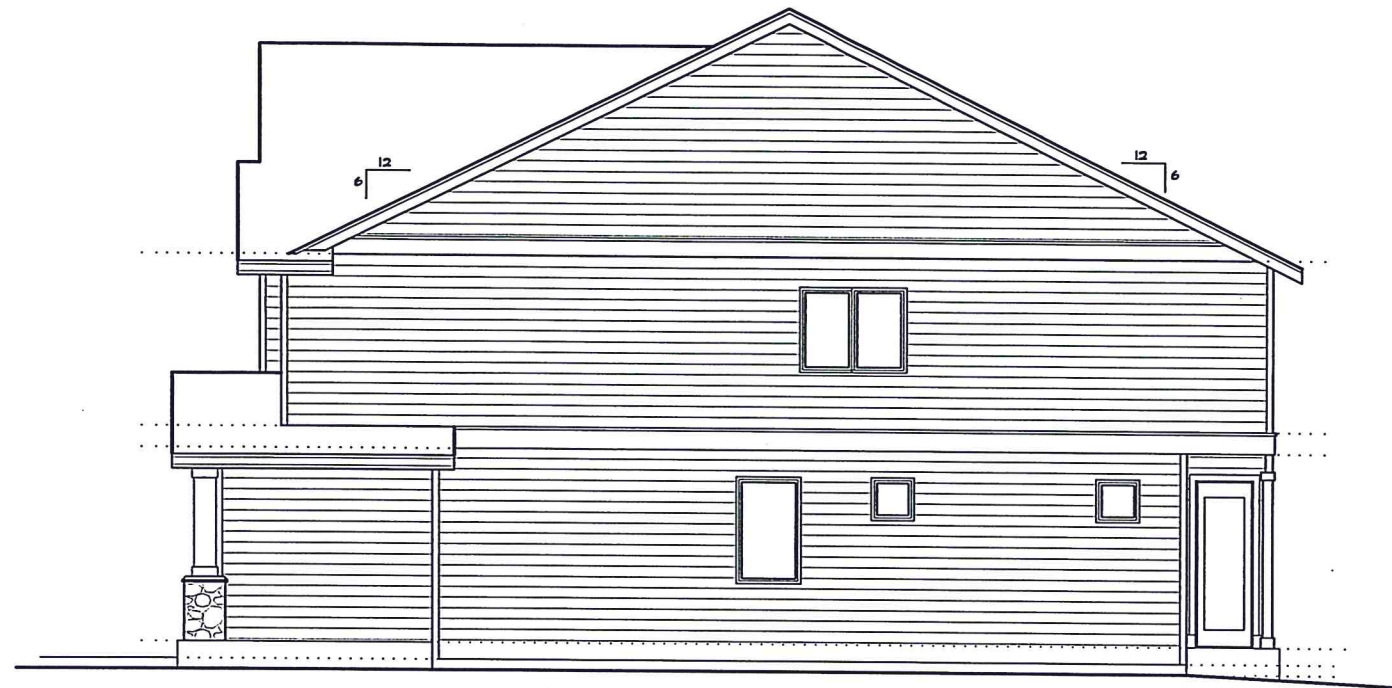
2. This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.

3. Purchaser should have plan reviewed by a licensed builder and structural engineer for compliance to specific site conditions.

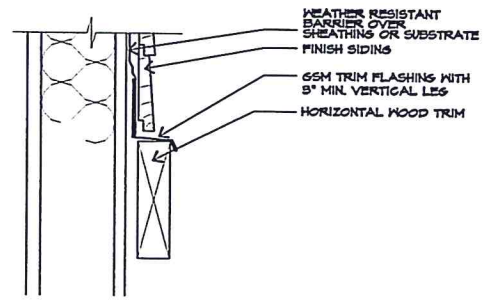
4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No: _____

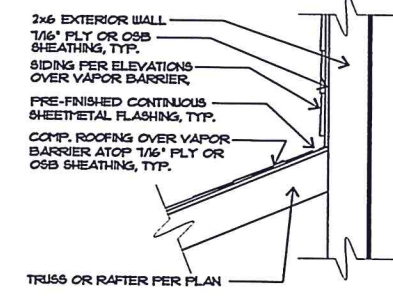
Date: _____



RIGHT ELEVATION "A"
SCALE: 1/4"=1'-0"



HORIZ. TRIM AT SHEATHING/WOOD STUDS
N.T.A.

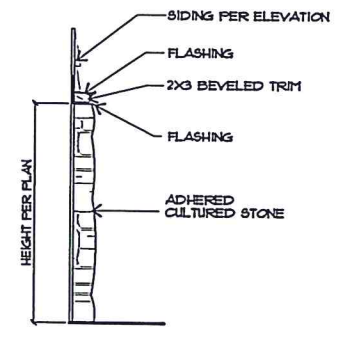


ROOF TO WALL FLASHING DETAIL
N.T.A.

MASONRY VENEER - GENERAL NOTES PER SEC. R103.12

ADHERED MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R103.13 AND THE REQUIREMENTS IN SECTIONS D1 AND D3 OF TMS 402/ACI 530/ASCE 5. ADHERED MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R103.11, ARTICLE 3.3C OF TMS 602/ACI 530/ASCE 6 OR THE MANUFACTURER'S INSTRUCTIONS.

- CLEARANCES - MINIMUM OF 4 INCHES ABOVE THE EARTH, MINIMUM OF 2 INCHES ABOVE PAVED AREAS, OR MINIMUM OF 1/2 INCH ABOVE EXTERIOR WALKING SURFACES THAT ARE SUPPORTED BY THE SAME FOUNDATION THAT SUPPORTS THE EXTERIOR WALL.
- FLASHING AT FOUNDATION - A CORROSION-RESISTANT SCREED OR FLASHING OF A MINIMUM 0.019-INCH OR 26-GAUGE GALVANIZED OR PLASTIC WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/4 INCHES SHALL BE INSTALLED TO EXTEND A MINIMUM OF 1 INCH BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH SECTION R103.4.
- WATER-RESISTIVE BARRIER - A WATER-RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED BY SECTION R103.2 AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R103.6.3. THE WATER-RESISTIVE BARRIER SHALL LAP OVER THE EXTERIOR OF THE ATTACHMENT FLANGE OF THE SCREED OR FLASHING PROVIDED IN ACCORDANCE WITH SECTION R103.12.2.



STONE VENEER
N.T.A.

ROOF DRIP EDGES PER SEC. R092.2.85 PROVIDE DRIP EDGE AT EAVES & GABLES W/ A MIN. 2" OVERLAP



FRONT ELEVATION "A"
SCALE: 1/4"=1'-0"



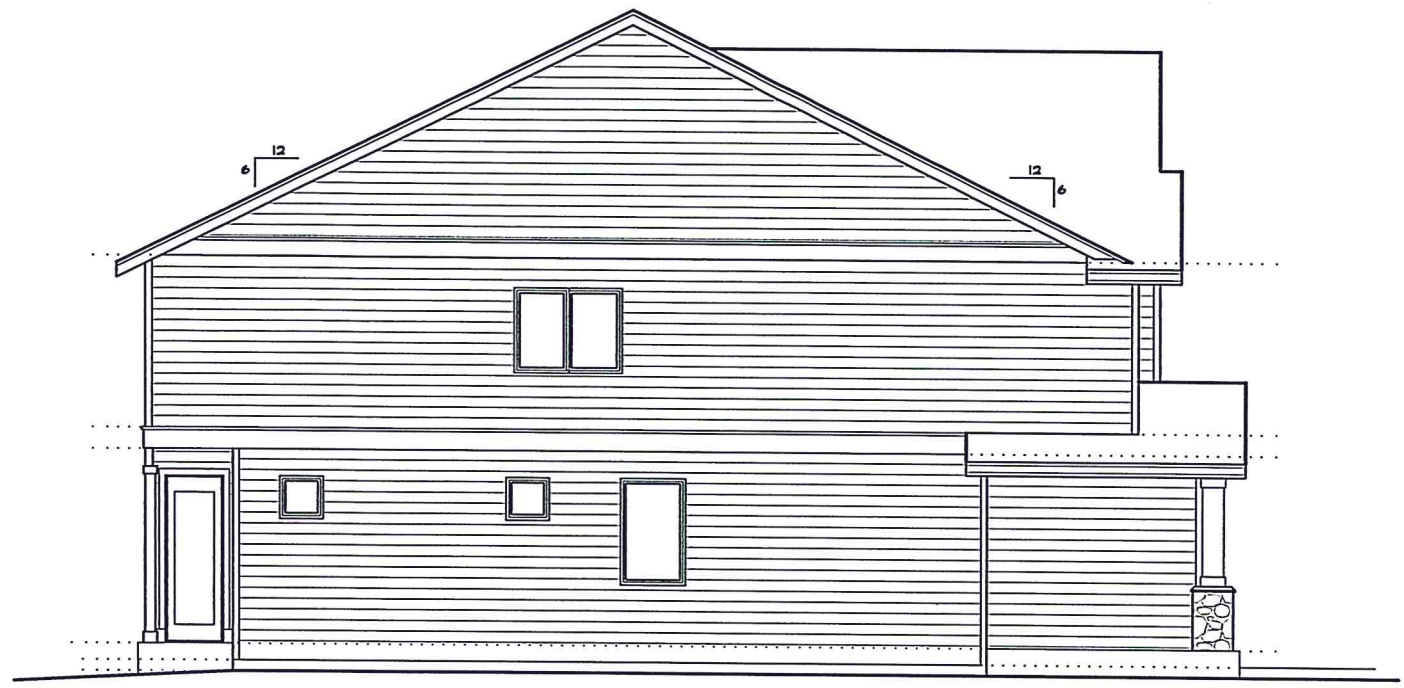
ELEVATION A

1. Contractor or builder must verify all dimensions before proceeding with construction.
2. This plan was designed to be marketed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
3. Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No:
M-1822

Date:
6-14-21

HOUSE NUMBERS TO BE VISIBLE & LEGIBLE WITH CONTRASTING BACKGROUND FROM THE STREET FRONTING THE HOUSE. ADDRESS NUMBER SHALL BE MIN. 4" HIGH & A MIN. STROKE WIDTH OF 1/2" PER SEC. R301.1



LEFT ELEVATION "A"
 SCALE: 1/4"=1'-0"

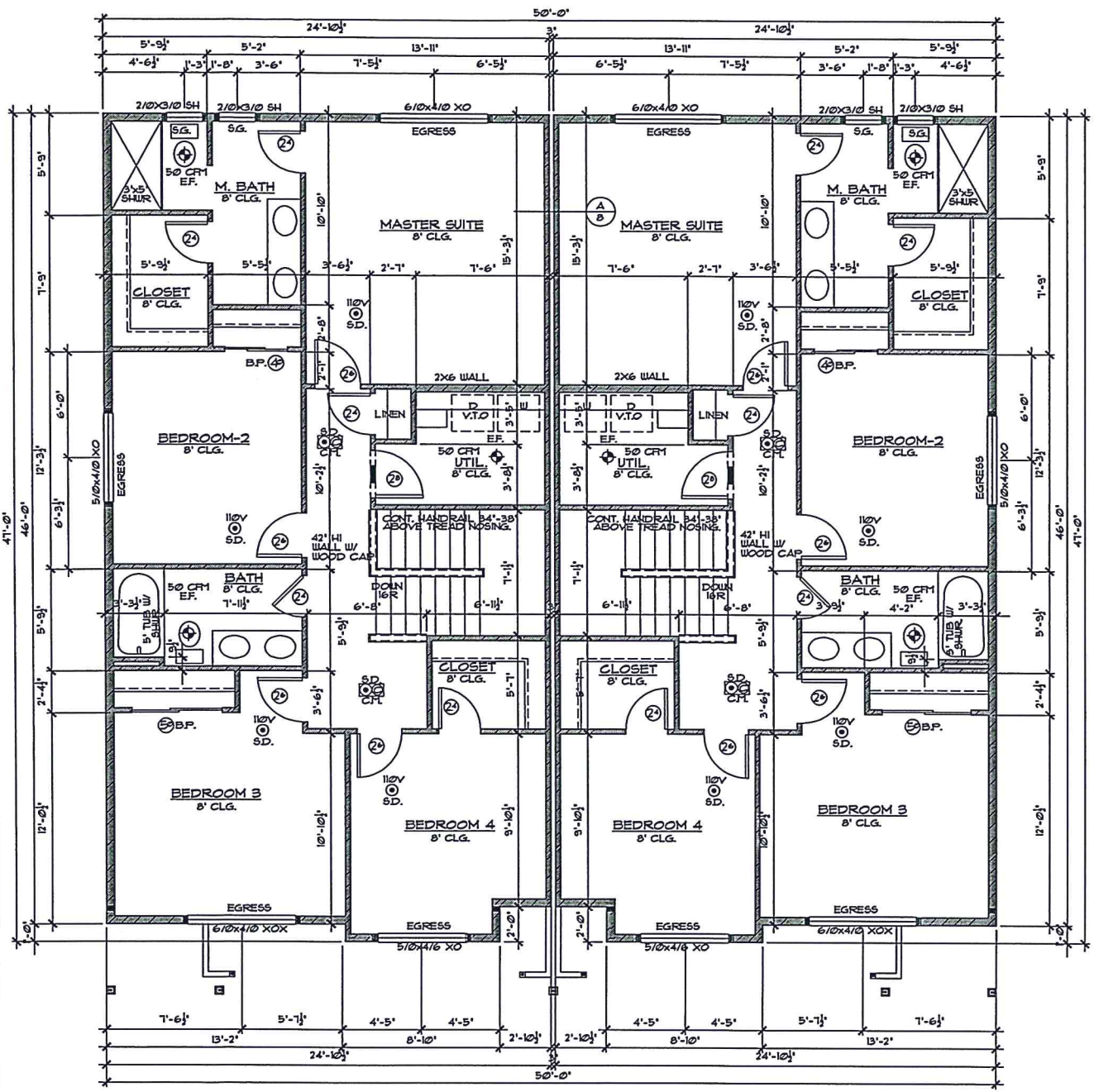


REAR ELEVATION 'A'
 1/4"=1'-0"

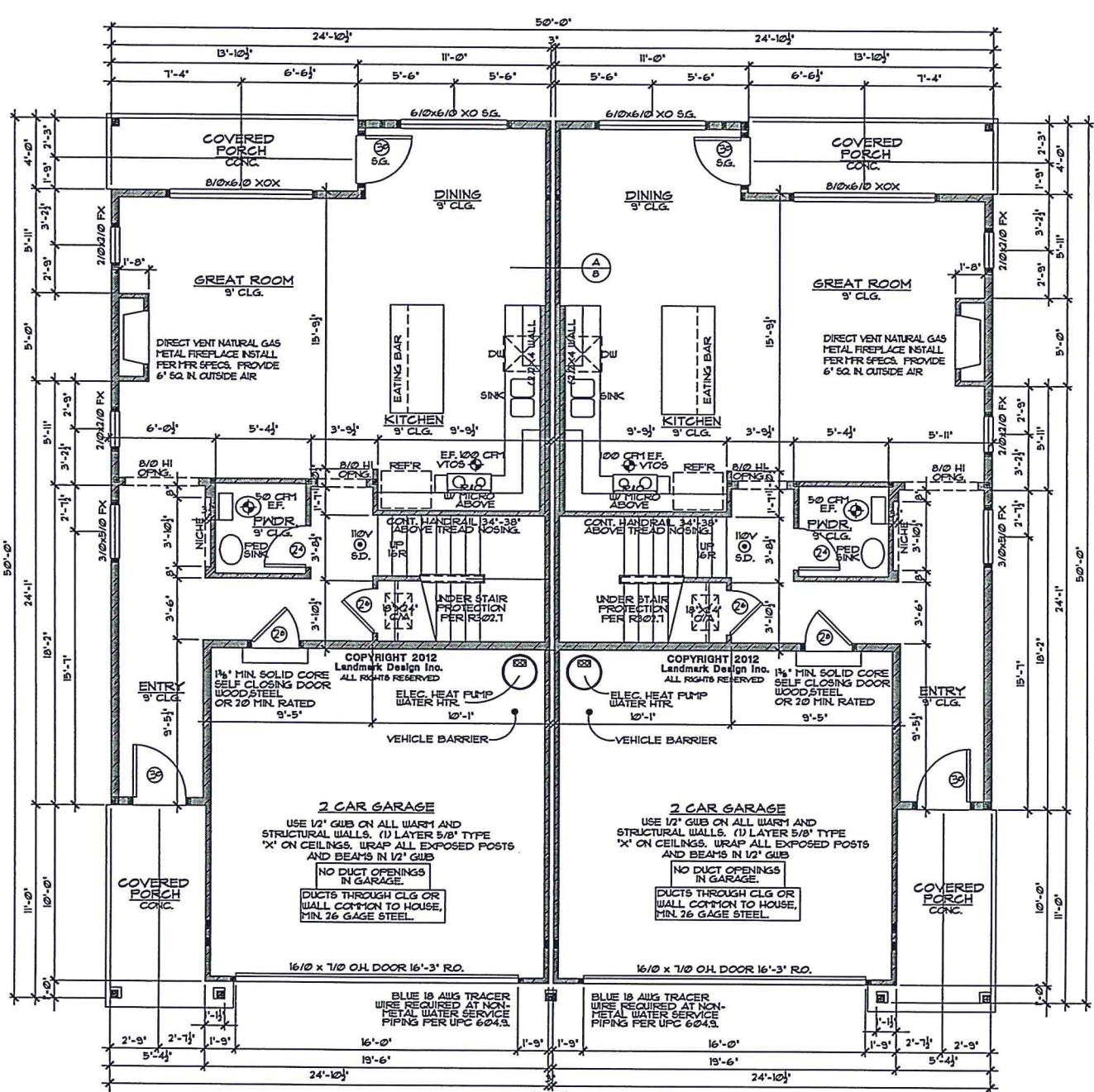
1. Contractor or builder must verify all dimensions before proceeding with construction.
2. This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the house is to be constructed.
3. Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
4. These plans should not be altered by other than a qualified designer, architect or structural engineer.

Plan No:
M-1822
 Date:
6-14-21

ELEVATION A



UPPER FLOOR PLAN 'A'
 1/4"=1'-0"



MAIN FLOOR PLAN 'A'
 1/4"=1'-0"

MAIN FLOOR: 742 SQ. FT.
UPPER FLOOR: 1080 SQ. FT.
TOTAL: 1822 SQ. FT.
GARAGE: 368 SQ. FT.
FRONT PORCH: 60 SQ. FT.
REAR PORCH: 56 SQ. FT.

GENERAL NOTES:

- ALL WORK TO BE IN CONFORMANCE WITH 2018 IRC.
- VENT ALL EXHAUST FANS, DRYER VENTS AND RANGES TO OUTSIDES.
- VENT WATER HEATER PRESSURE RELIEF VALVES TO OUTSIDE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING AND MECHANICAL PENETRATIONS.
- ALL SHOWER WALLS TO BE WATER-PROOF TO MINIMUM 12" ABOVE DRAIN.
- SHOWERHEADS & KITCHEN FAUCET TO BE LIMITED TO MAXIMUM 1.75 GPM FLOW. ALL OTHER LAVATORY FAUCETS TO BE LIMITED TO MAXIMUM 1.0 GPM FLOW.
- ALL GLAZING WITHIN 60" ABOVE DRAIN INLET TO BE SAFETY GLASS.
- ALL GLAZING WITHIN 24" OF DOOR OR WITHIN 18" OF FLOOR TO BE SAFETY GLASS.
- SMOKE ALARMS - TO BE INSTALLED PER SEC R314.3 IN THE FOLLOWING LOCATIONS: IN EACH SLEEPING ROOMS, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE DUELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, AND ALARMS TO BE INSTALLED NOT LESS THAN 3 FT. HORIZONTALLY FROM A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. ALARMS TO BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- SMOKE ALARM-CARBON MONOXIDE COMBO.
- PROVIDE CARBON MONOXIDE ALARMS PER SEC R315. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED ON EACH FLOOR & OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. PER 2018 IRC & WA STATE AMENDMENTS SEC R315.
- INSULATE ALL WATER PIPES TO MINIMUM R-3 PER USEC R403.5.3.
- ALL DUCTS & EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-8 PER USEC R403.5.1. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10 WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
- EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALLS. ALL EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING. PER R303.5.2.
- GAS PIPING IS TO BE PROTECTED PER G2415.1, WHERE PIPING IS INSTALLED THROUGH HOLES OR NOTCHES IN FRAMING MEMBERS AND THE PIPING IS LOCATED LESS THAN 1-1/2 INCHES FROM THE FRAMING MEMBER FACE TO WHICH WALL, CEILING OR FLOOR MEMBERS WILL BE ATTACHED, THE PIPE SHALL BE PROTECTED BY SHIELD PLATES THAT COVER THE WIDTH OF THE PIPE AND THE FRAMING MEMBER AND THAT EXTEND NOT LESS THAN 4 INCHES TO EACH SIDE OF THE FRAMING MEMBER WHERE THE FRAMING MEMBER THAT THE PIPING PASSES THROUGH IS A BOTTOM FLATE, BOTTOM TRACK, TOP FLATE OR TOP TRACK, THE SHIELD PLATES SHALL COVER THE FRAMING MEMBER AND EXTEND NOT LESS THAN 4 INCHES ABOVE THE BOTTOM FRAMING MEMBER AND NOT LESS THAN 4 INCHES BELOW THE TOP FRAMING MEMBER.
- ATTIC & CRAWL ACCESS HATCHES OR DOORS SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- WHOLE HOUSE VENTILATION 24 HR. TIMER, READILY ACCESSIBLE & WITH LABEL AFFIXED TO CONTROL THAT READS "WHOLE HOUSE VENTILATION" (SEE OPERATING INSTRUCTIONS).
- DRYER DUCT SERVICED LENGTH PER SEC M1502.4.5.1. THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35 FEET (10.668m) FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL, WHERE FITTINGS ARE USED, THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH THE TABLE M1502.4.5.1. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT.
- CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM PER 2018 USEC TABLE R402.4.11.

UTILITY ROOM NOTES/MAKE UP AIR:

- PER IRC G2439.1 WHERE THE EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING CONSTRUCTION AND THE EXHAUST DUCT EQUIVALENT LENGTH EXCEEDS 35 FT. THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FT OF THE EXHAUST DUCT CONNECTION PER G2439.1.5.
- INSTALLATIONS EXHAUSTING MORE THAN 200 CFM SHALL BE PROVIDED WITH MAKE UP AIR WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQ. INCHES FOR MAKE UP AIR SHALL BE PROVIDED IN THE CLOSET ENCLOSURE, OR MAKE UP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER G2439.5.
- 100 SQ INCH TRANSFER GRILL

INTERIOR STAIRWAY ILLUMINATION PER SEC E2031.1.3.1

INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF TREADS AND LANDINGS. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS. EXCEPTION: A SWITCH IS NOT REQUIRED WHERE REMOTE, CENTRAL OR AUTOMATIC CONTROL OF LIGHTING IS PROVIDED.

EXTERIOR STAIRWAY ILLUMINATION PER SEC E2031.1.3.2
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTDOOR GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE BOTTOM LANDING OF THE STAIRWAY.

WHOLE HOUSE VENTILATION:

REFER TO SHEET N-2 TABLE 1505.4.3(1) & 1505.4.3(2) FOR FAN SIZING AND RUN TIMES

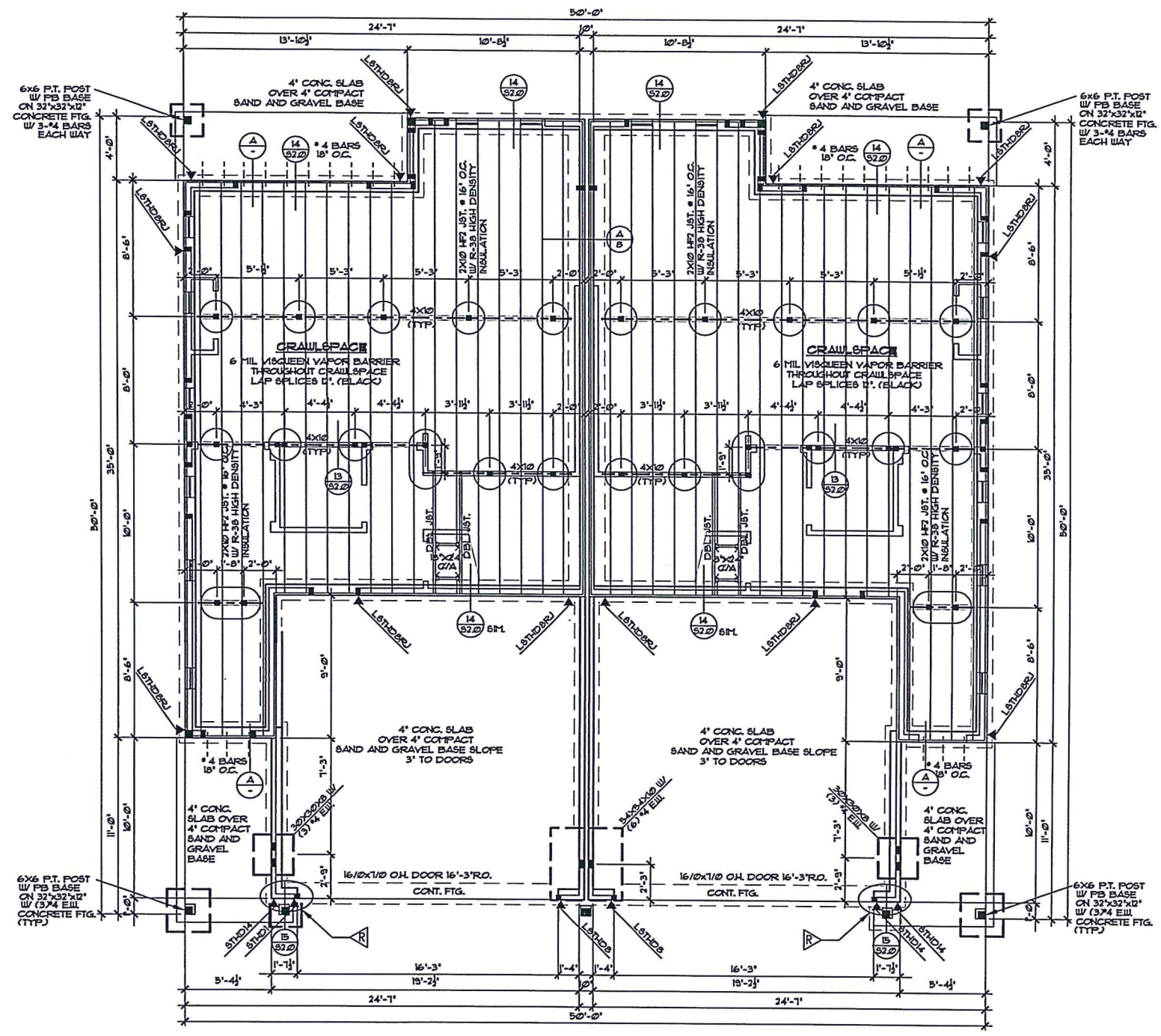
FURNACE TO HAVE A DUCT FOR OUTSIDE AIR. MOTORIZED DAMPER WITH THERM AND CONTROLS ARE TO BE ADDED FOR THE REQUIRED FRESH AIR EXCHANGE.

LANDING AT EXIT DOOR NOT TO BE LOWER THAN 15 INCHES FROM TOP OF THRESHOLD. (R311.3)

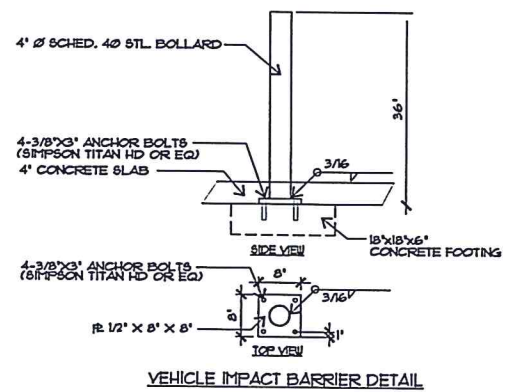
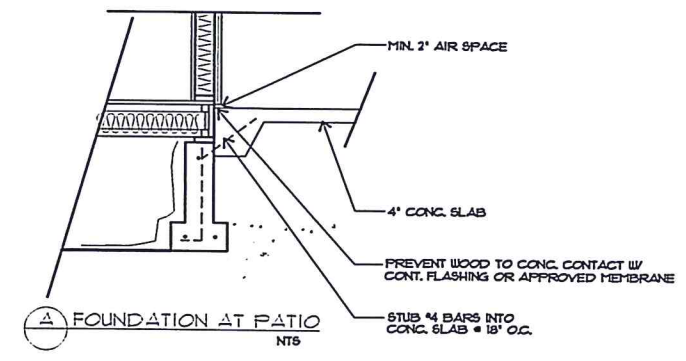
Elevation A

- Contractor or builder must verify all dimensions before proceeding with construction.
- This plan was designed to be marked throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
- Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance in specific site conditions.
- These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No: **L2-1822**
 Date: **6-14-21**



FOUNDATION PLAN 'A'
 1/4" = 1'-0"



FOUNDATION NOTES:

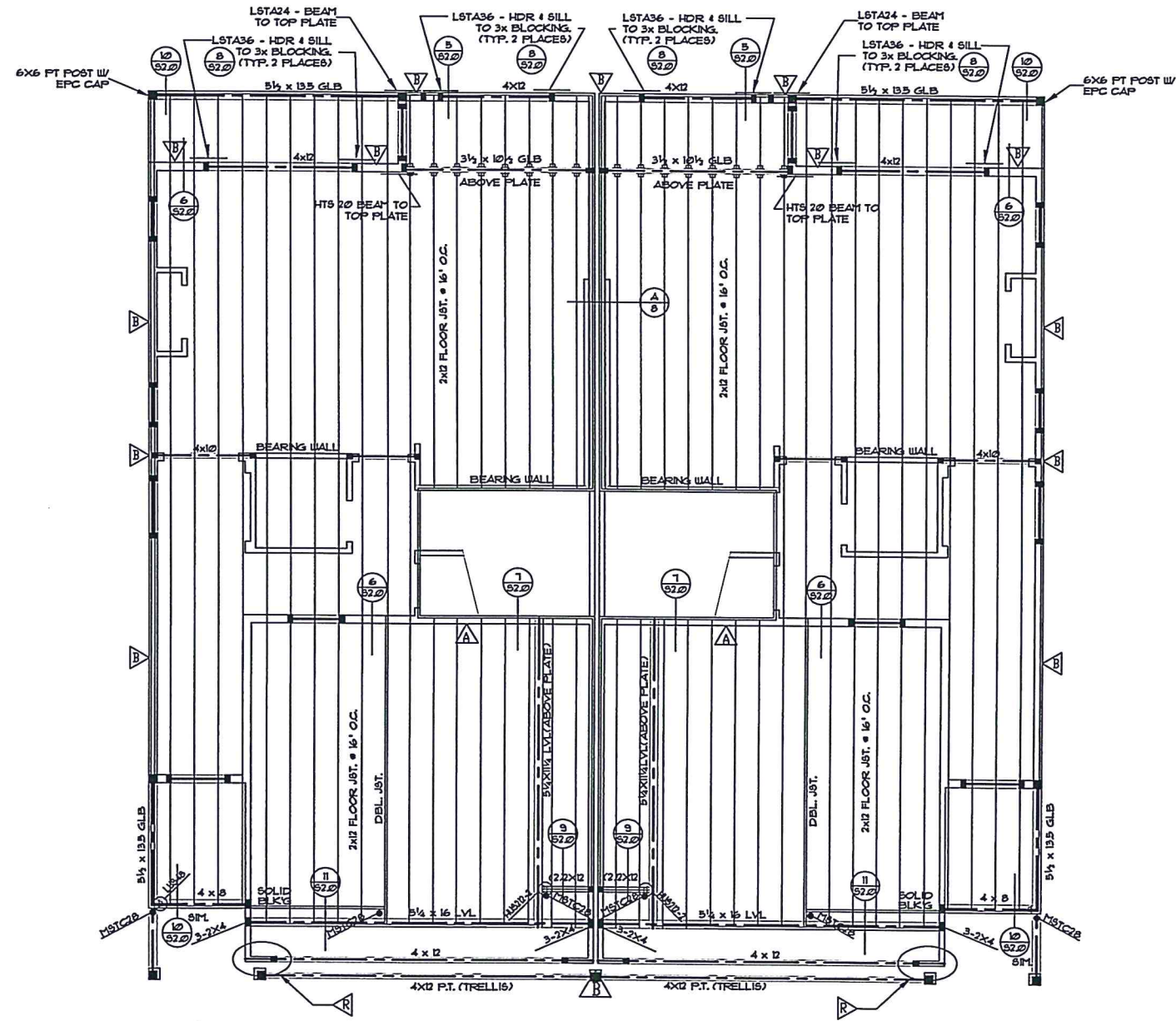
1. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL.
2. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
3. ALL BEAMS TO BE 2x10 DFL #2 ON 4x4 POSTS (4x6 AT SPLICES) ON 24\"/>

1. Contractor or builder must verify all dimensions before proceeding with construction.
 2. This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
 3. Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
 4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

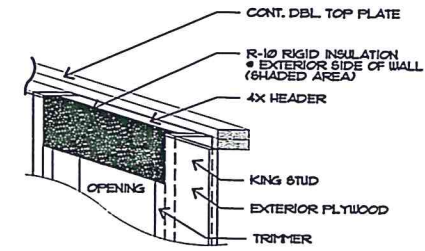
USE 3" x 3" x 1/4" GALVANIZED STEEL SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS

VENTILATION	
CRRAWL SPACE VENTILATION	TOTAL NET FREE AREA
REQ'D 147/500 = 4.35 SQ. FT.	PROVIDE SCREENED VENTS FOR VENTILATION
	8 VENTS REQ'D

Plan No: **L2-1822**
 Date: **6-14-21**



SECOND FLOOR FRAMING PLAN 'A'
 1/4" = 1'-0"



HEADER/INSULATION DETAIL
 NTS

FRAMING NOTES:

1. ALL MULTIPLE JOISTS OR BEAMS MUST BE BOTH GLED AND NAILED W/8D NAILS @ 24" O.C. NAILED TOP & BOTTOM STAGGERED EACH SIDE.
2. ALL HEADERS TO BE 4x8 DF #2, UNLESS NOTED OTHERWISE. HEADERS AT EXTERIOR WALLS & W/RT WALLS TO BE INSULATED W/R-10 RIGID INSULATION.
3. SOLID BLOCK BENEATH ALL POINT LOADS FROM ABOVE.
4. FLOOR JOISTS SHOULD BE SUPPORTED Laterally AT EACH END AND AT EACH SUPPORT BY SOLID BLOCKING OR BY ANOTHER APPROVED METHOD.
5. • MISC 40 STRAPS PER STRUCTURAL UNLESS NOTED OTHERWISE
6. ◁ REFER TO SHEAR WALL SCHEDULE.

1. Contractor or builder must verify all dimensions before proceeding with construction.
2. This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
3. Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

NOTE- FASTENERS FOR TREATED WOOD TO BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICONE, BRONZE OR COPPER.	STUD NOTCHING AND BORING - BEARING OR EXTERIOR WALL NOTCH 25%, BORING 40%. - 60% BORING IF DOUBLED & LESS OR EQUAL SUCCESSIVE STUDS. - NON-BEARING MAXIMUM NOTCH 40%, BORING 60%. - HOLES NO CLOSER THAN 5/8 INCH TO FACE OF STUD.
--	---

Plan No:
L2-1822
 Date:
6-14-21

ROOF VENTILATION CALCULATIONS & REQUIREMENTS

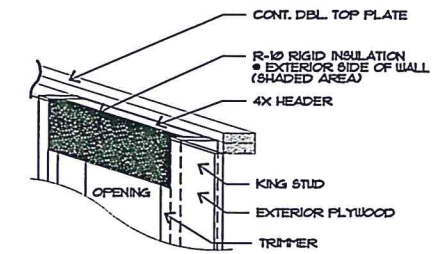
AT LEAST 40% (NOT MORE THAN 50% OF REQUIRED VENTS SHALL BE IN UPPER PORTION OF VENTILATED ROOF SPACE (NO MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT) WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE VENTING.

VENTILATION REQUIRED PER SEC. R202.6.1 - ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16" INCH MINIMUM AND 1/4" INCH MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R202.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

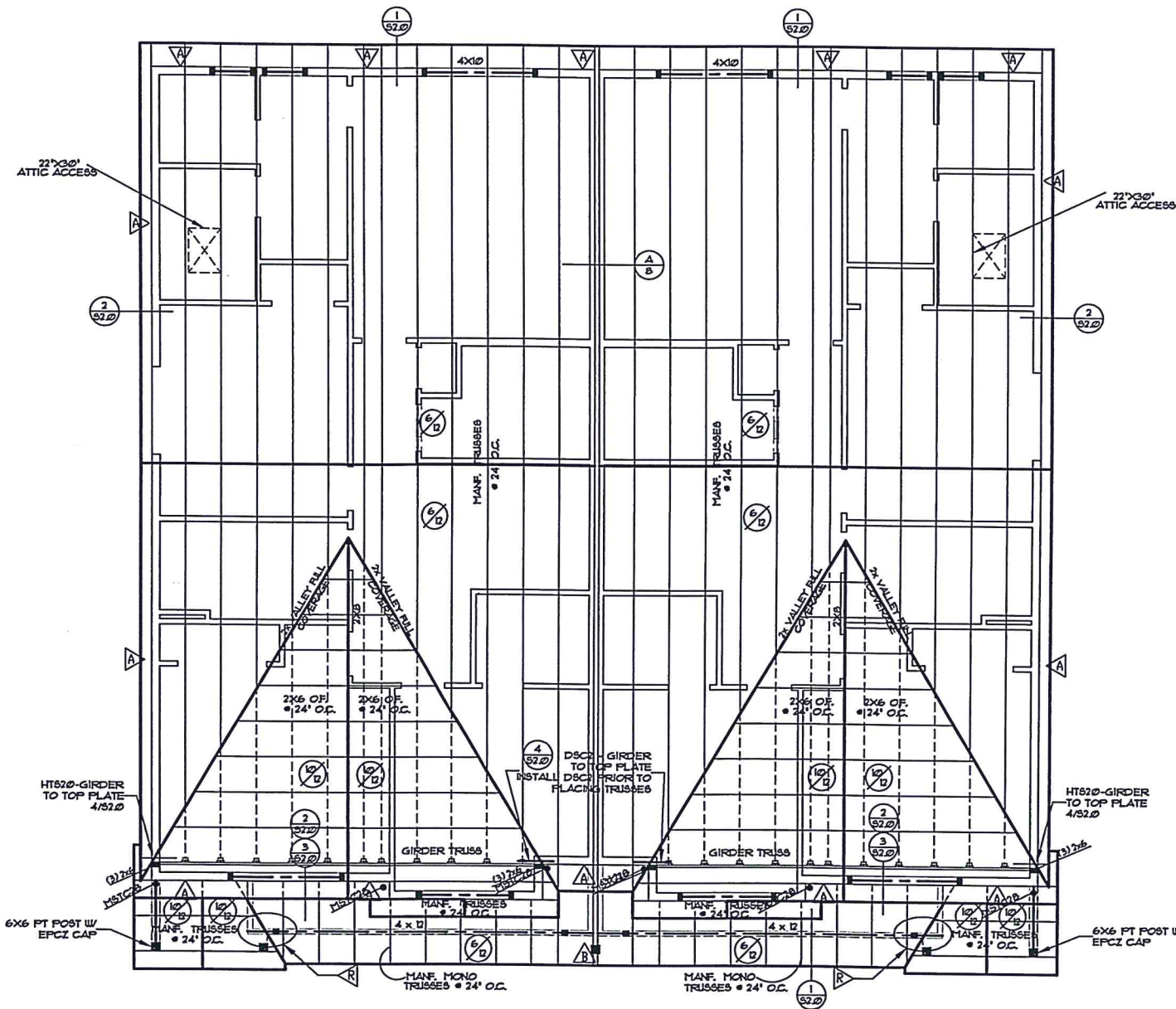
MINIMUM VENT AREA PER SEC. R202.6.2 - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE.

VENT AND INSULATION CLEARANCE PER SEC. R202.6.3 - WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

SEE SHEET N2 FOR ROOF VENTILATION CALCULATIONS AND LOCATIONS



HEADER/INSULATION DETAIL
NT6



ROOF A FRAMING PLAN
1/4"=1'-0"

ROOF OVERFRAME NOTES: IRC SEC R202.3

1. RAFTERS SHALL BE FRAMED TO 2x RIDGE BOARD PER PLAN. RIDGE BOARD SHALL NOT BE LESS IN DEPTH THAN THE CUT END OF THE RAFTER AT ALL VALLEYS AND HIPS THERE SHALL BE A 2x VALLEY OR HIP RAFTER AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER (FULL COVERAGE AT RIDGE, HIPS AND VALLEYS).

ROOF FRAMING NOTES:

- ALL HEADERS TO BE 4x8 DF #2, UNLESS NOTED OTHERWISE. HEADERS AT EXTERIOR WALLS & QUARRY WALLS TO BE INSULATED W/ R-10 RIGID INSULATION.
- ALL OTHER TRUSSES:
 - SHALL CARRY MANUFACTURER'S STAMP.
 - SHALL HAVE DESIGN DETAILS AND SPECIFICATIONS ON SITE FOR FRAME INSPECTION.
 - SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S SPECIFICATIONS PER IRC SEC. R202.11 AND R202.10.3 AS WELL AS THE TRUSS INSTITUTE'S BUILDING COMPONENT SAFETY INFORMATION.
- NO TRUSS SHALL BE FIELD-MODIFIED WITHOUT PRIOR CONSENT OF THE TRUSS ENGINEER AND THE BUILDING DEPARTMENT.
- PROVIDE ATTIC ACCESS AT A MINIMUM OF 22'x30' PER IRC SEC. R202.11. ACCESS HATCHES OR DOORS SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- PROVIDE ATTIC VENTILATION PER IRC SEC. R202.6. ALL FRAMING TO COMPLY WITH IRC SEC R202.
- REFER TO SHEAR WALL SCHEDULE.

MANUFACTURED TRUSSES
MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON SITE AT TIME OF INSPECTION, FOR THE INSPECTOR'S USE AND REFERENCE

NOTE - FASTENERS FOR TREATED WOOD TO BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICONE, BRONZE OR COPPER.

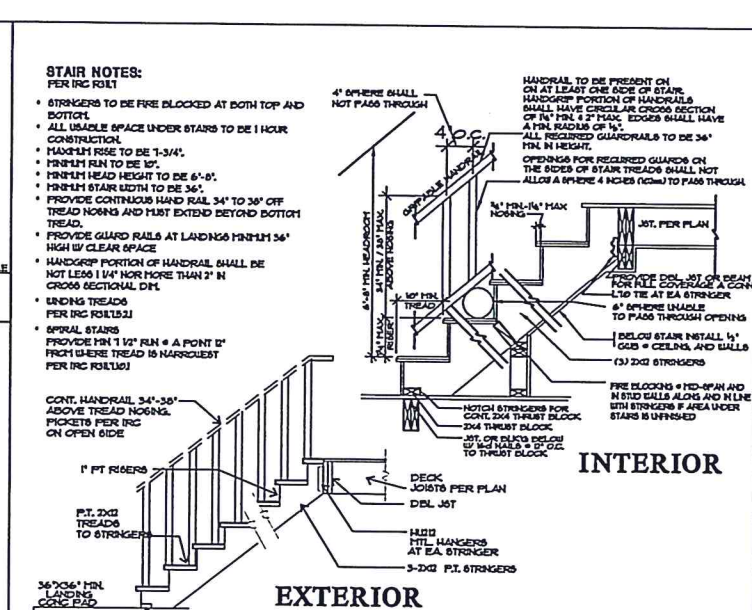
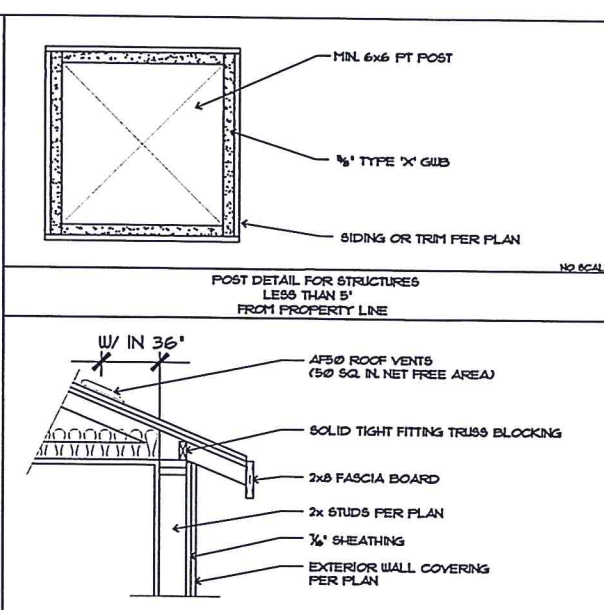
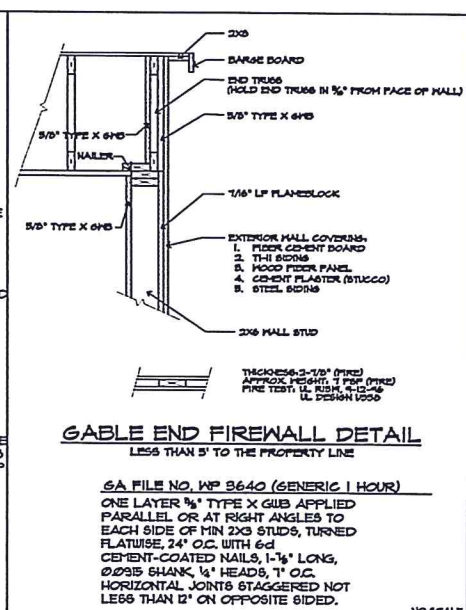
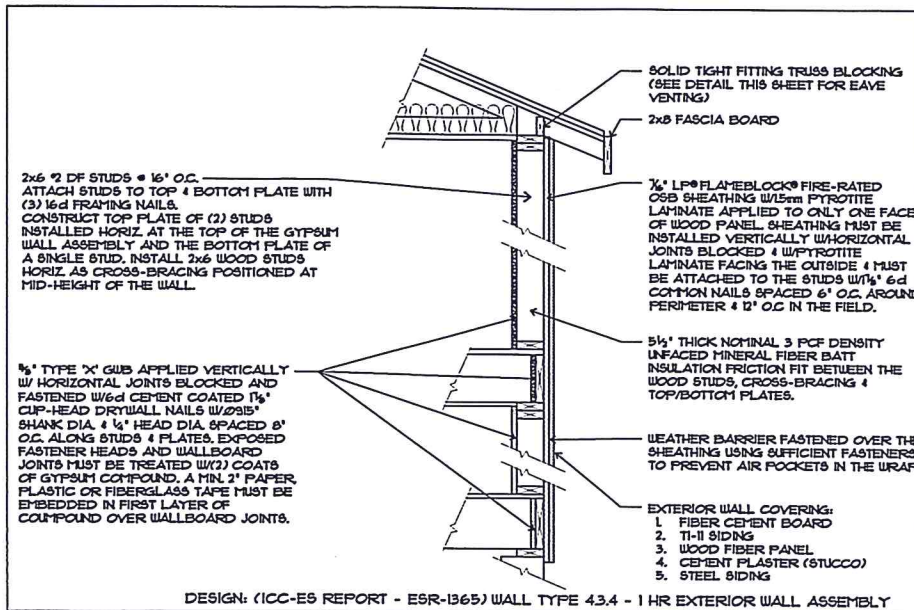
STUD NOTCHING AND BORING

- BEARING OR EXTERIOR WALL NOTCH 25%, BORING 40%.
- 60% BORING IF DOUBLED & LESS OR EQUAL SUCCESSIVE STUDS.
- NON-BEARING MAXIMUM NOTCH 40%, BORING 60%.
- HOLES NO CLOSER THAN 5/8 INCH TO FACE OF STUD.

- Contractor or builder must verify all dimensions before proceeding with construction.
- This plan was designed to be checked throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
- Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
- These plans should not be altered by other than a qualified designer, architect or structural engineer.

Plan No:
L2-1822

Date:
6-14-21

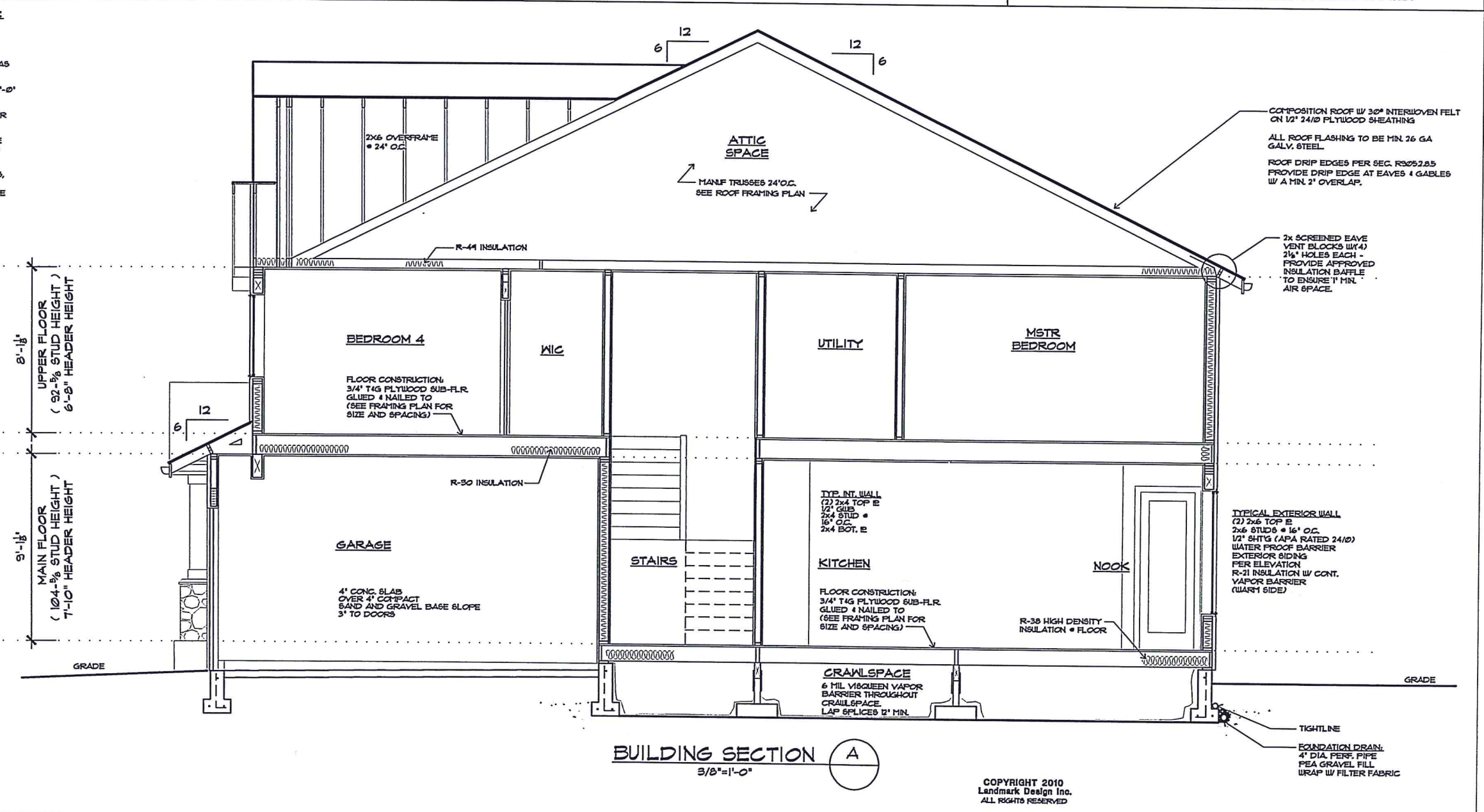


H 1 HOUR FIRE-RESISTIVE DETAILS **J TYPICAL STAIR DETAIL AND NOTES**

FIRE BLOCKING AND DRAFTSTOPPING:
PER SECTION R302.11 & R302.12

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROUS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
A. VERTICALLY AT THE CEILING & FLOOR LEVELS
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0"
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES AT STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SEC. R302.11.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

ATTIC VENTILATION
AT LEAST 40% & NOT MORE THAN 50% OF REQUIRED VENTS SHALL BE IN UPPER PORTION OF VENTILATED ROOF SPACE (NO MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT) WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE VENTING.

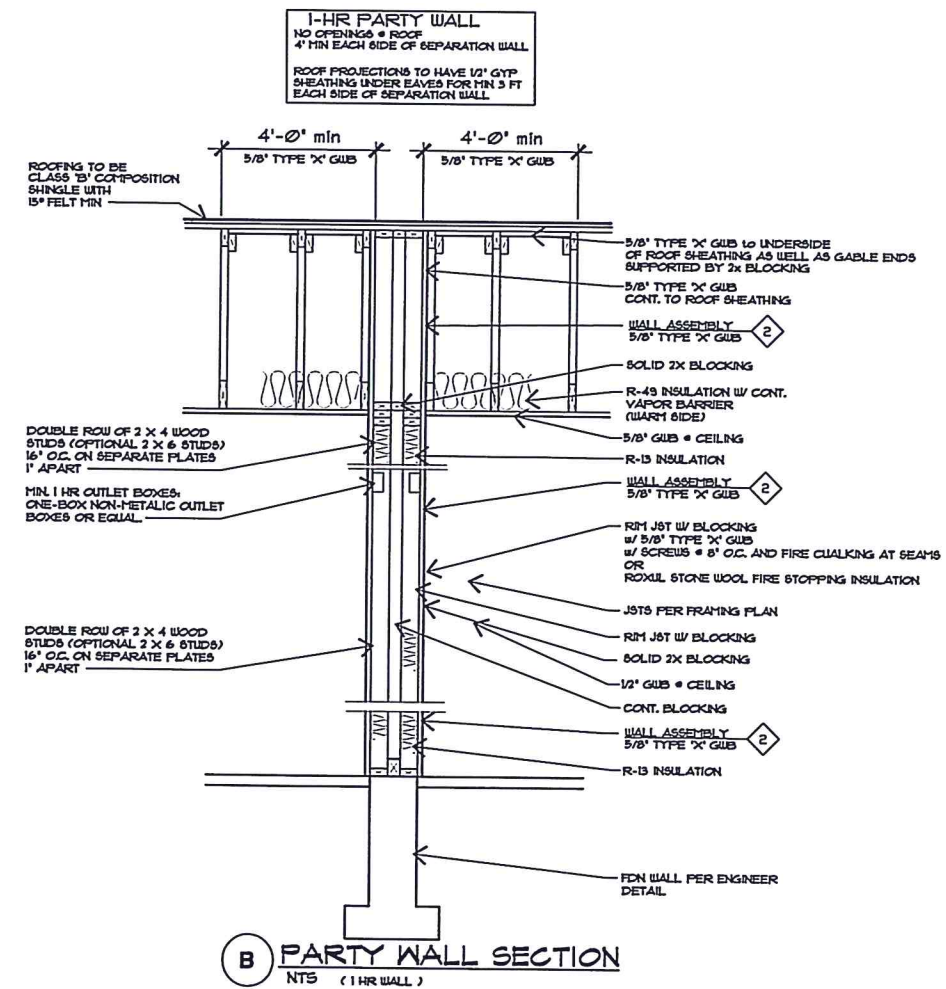
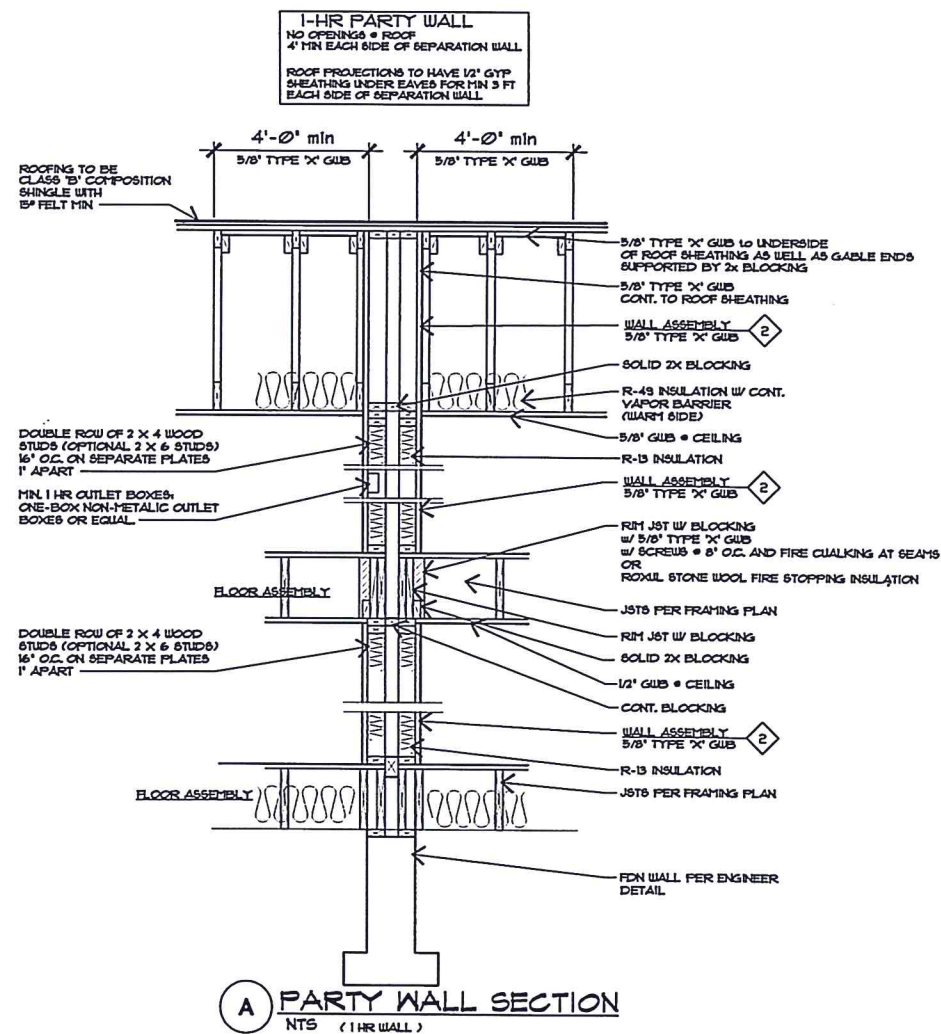


- Contractor or builder must verify all dimensions before proceeding with construction.
- This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
- Purchaser should have plans reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
- These plans should not be altered by other than a qualified designer, architect or structural engineer.

Plan No:
L2-1822
Date:
6-14-21

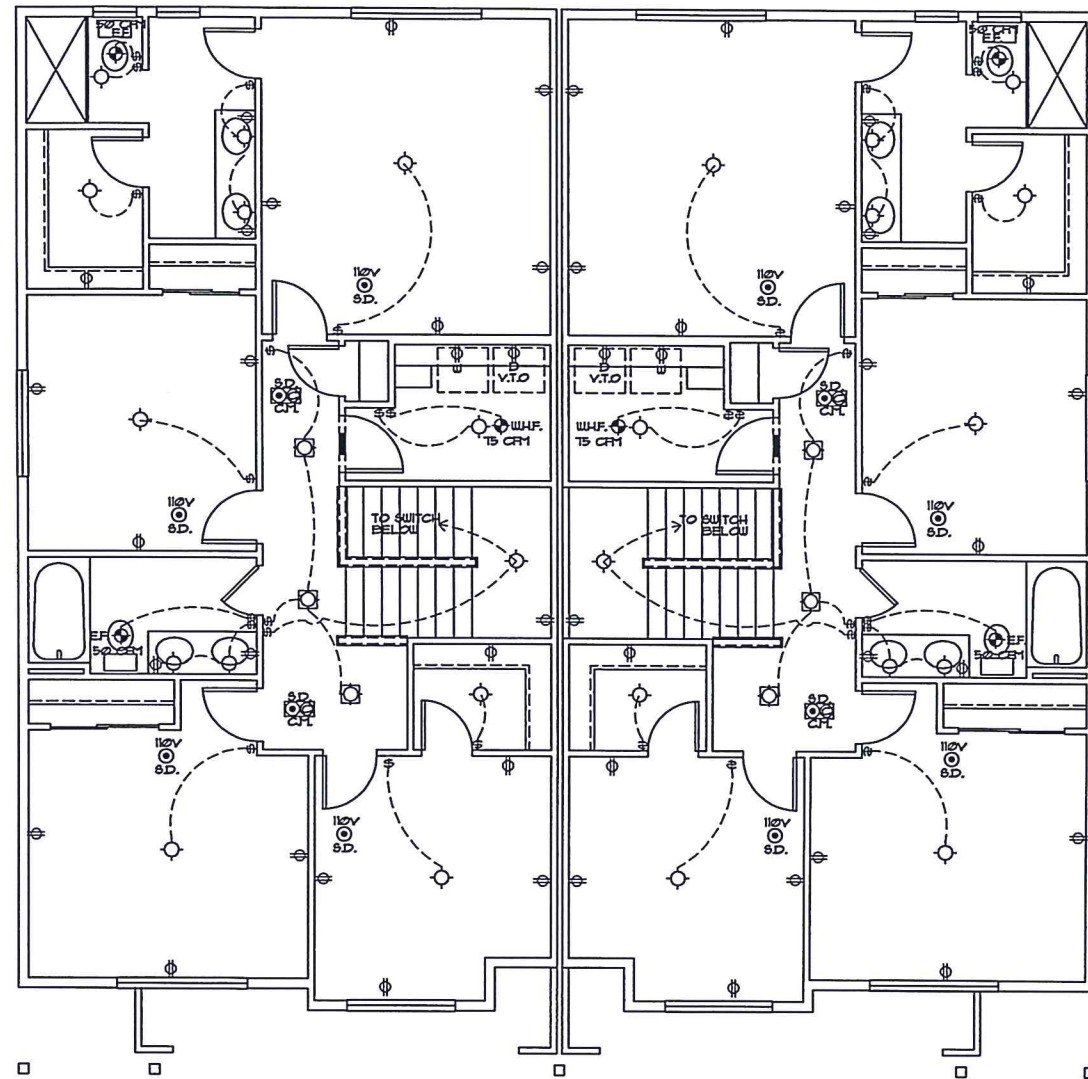


WALL ASSEMBLIES									
NO.	DIAGRAM		FIRE RATING	TEST REPORT #	NO.	DIAGRAM		FIRE RATING	TEST REPORT #
1		<ul style="list-style-type: none"> CONSTRUCTION OF STUD WALL NO OPENINGS NO ROOF PROJECTIONS NO INSULATION NO PARTITION (N.B.) NO LATHING AND FINISH PER CODES 	NON RATED						
2		<ul style="list-style-type: none"> One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1' apart with 6d coated nails, 1 1/2" long, @ 250' shank, 1/4" heads, T o.c. Joints staggered 16" on opposite sides. Horizontal bracing required at mid-height. (LOAD-BEARING) 	1-HR SEPARATION WALL	6A FILE NO UP 903					



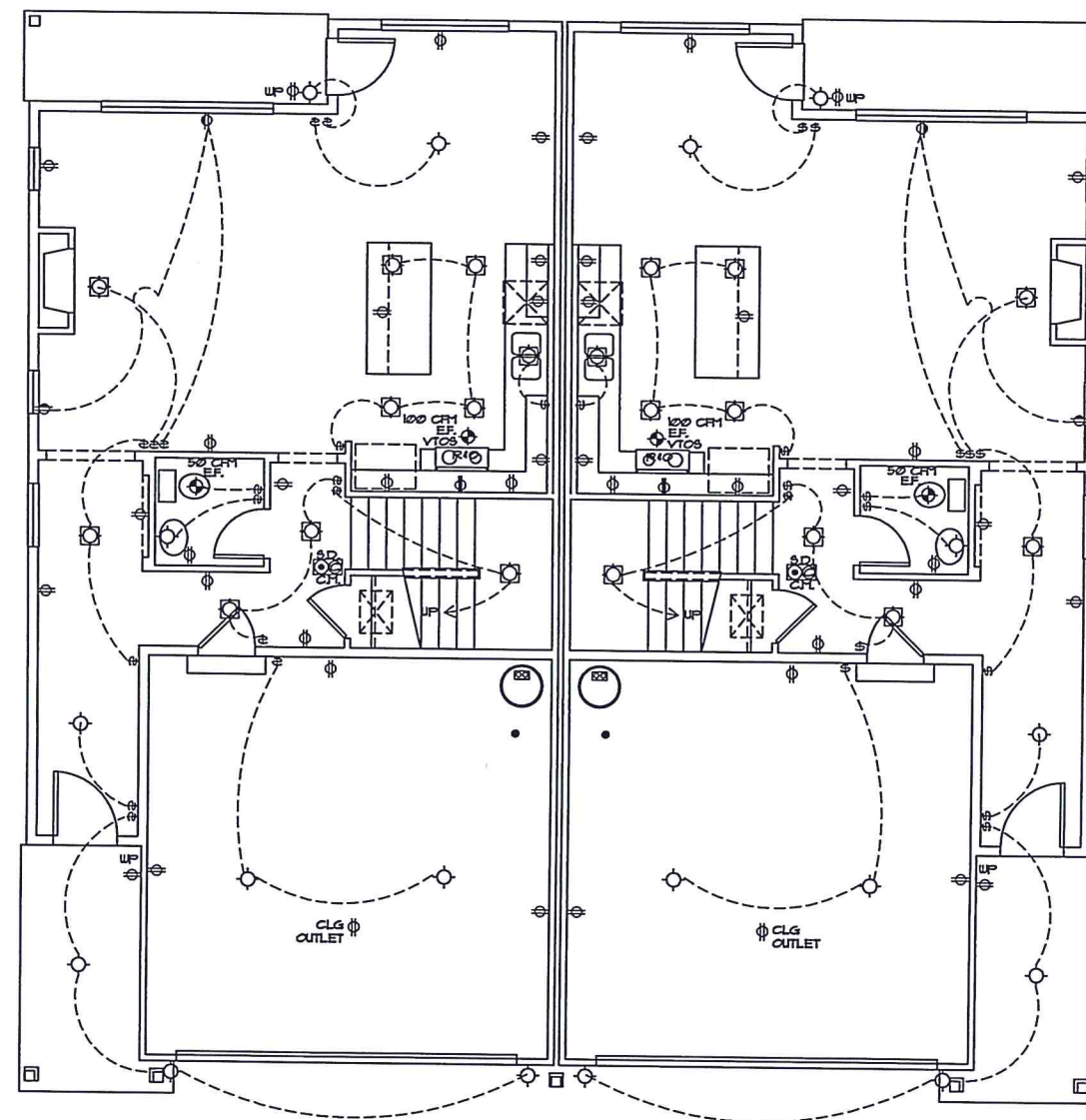
1. Contractor or builder must verify all dimensions before proceeding with construction.
2. This plan was designed to be marketed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
3. Purchaser should have plans reviewed by a Licensed builder and structural engineer for compliance to specific site conditions.
4. These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No:
L2-1822
Date:
6-14-21



UPPER FLOOR ELECTRICAL
 1/4"=1'-0"

COPYRIGHT 2012
 Landmark Design Inc.
 ALL RIGHTS RESERVED



MAIN FLOOR ELECTRICAL
 1/4"=1'-0"

INTERIOR STAIRWAY ILLUMINATION PER SEC E3021.1 ISC
 INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF TREADS AND LANDINGS. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS. EXCEPT AS A SWITCH IS NOT REQUIRED WHERE REMOTE CENTRAL OR AUTOMATIC CONTROL OF LIGHTING IS PROVIDED.

EXTERIOR STAIRWAY ILLUMINATION PER SEC E3021.1 ISC
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTDOOR GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE BOTTOM LANDING OF THE STAIRWAY.

ELECTRICAL KEY	
OVERHEAD	⊙
CAN	⊗
OUTLET	⊕
DUPLEX OUTLET	⊕
220V OUTLET	⊕
COMBO. EXT. FAN (V.T.O.) 4 LIGHT	⊕
COMBO SMOKE ALARM - 2D	⊕
CARBON MON. DET.	⊕
120 V BATTERY BACKUP	⊕
CABLE T.V. JACK	⊕
PHONE	⊕
UNDER COUNTER LIGHTS	⊕ UC
GAS OUTLET	⊕
HOSE BIBB	⊕
EXT. FAN V.T.O.S	⊕

- Contractor or builder must verify all dimensions before proceeding with construction.
- This plan was designed to be installed throughout many municipalities. The purchaser must verify compliance with all local applicable building codes where the home is to be constructed.
- Purchaser should have plan reviewed by a licensed builder and structural engineer for compliance to specific site conditions.
- These plans should not be altered by other than a qualified designer, architect, or structural engineer.

Plan No:
M-1822

Date:
 6-14-21

GENERAL STRUCTURAL NOTES

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION, WITH WASHINGTON STATE AMENDMENTS.

DESIGN LOADS:

ROOF	
LIVE LOAD	25 PSF (SNOW)
DEAD LOAD	15 PSF
FLOOR	
LIVE LOAD	40 PSF (RESIDENTIAL)
DEAD LOAD	60 PSF (DECKS)
DEAD LOAD	10 PSF
WIND	
BASIC WIND SPEED	110 MPH (3 SECOND GUST, ULTIMATE LOAD)
RISK CATEGORY	II, EXPOSURE B, $K_{zt} = 1.0$
SEISMIC	
EQUIVALENT LATERAL FORCE PROCEDURE	
BEARING WALL SYSTEM (LIGHT-FRAMED WALLS)	
SITE CLASS:	D
SEISMIC DESIGN CATEGORY:	D
$S_s = 1.5$ - IBC FIGURE 1613.3(1)	
$S_{ms} = 1.0$, $I_e = 1.0$, $R = 6.5$	
$C_s = 0.154$	

INSPECTIONS:

NO SPECIAL INSPECTIONS ARE REQUIRED. NOTIFY THE BUILDING DEPARTMENT FOR INSPECTIONS REQUIRED BY LOCAL ORDINANCE. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY A SOILS ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL.

FOUNDATIONS:

PLACE FOOTINGS ON NATIVE OR COMPACTED SOIL WITH 1500 PSF BEARING CAPACITY (ASSUMED). BOTTOM OF EXTERIOR FOOTINGS SHALL BE MINIMUM 1'-6" BELOW OUTSIDE FINISHED GRADE. BACKFILL WALLS WITH A WELL DRAINING MATERIAL FREE OF ORGANIC OBJECTS OR DEBRIS.

CONCRETE:

THE SELECTION OF MATERIALS FOR AND THE MIXING AND PLACING OF ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION. MATERIALS SHALL BE PROPORTIONED TO PRODUCE A DENSE, WORKABLE MIX HAVING A MAXIMUM SLUMP OF 4 INCHES WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER. USE MINIMUM $F_c = 3000$ PSI WITH 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE AND A MAXIMUM OF 5.2 GALLONS OF WATER PER 94 LB SACK OF CEMENT. ALL CONCRETE SHALL CONTAIN AN AIR ENTRAINING AGENT. THE AMOUNT OF ENTRAINED AIR SHALL BE $4\frac{1}{2}\%$ $\pm 15\%$ BY VOLUME. MAXIMUM SIZE OF AGGREGATE IS $1\frac{1}{2}$ ". ALL CONCRETE SHALL BE POURED MONOLITHICALLY BETWEEN CONSTRUCTION OR EXPANSION JOINTS UNLESS OTHERWISE SPECIFIED. CONCRETE PURVEYORS/SUPPLIERS DELIVERY OR BATCH TICKET TO BE ON JOB SITE FOR BUILDING INSPECTOR VERIFICATION.

REINFORCING STEEL:

ALL REINFORCING STEEL SHALL BE MINIMUM GRADE 60 ($F_y = 60,000$ PSI) DEFORMED BARS IN ACCORDANCE WITH ASTM SPECIFICATION A-615. LAP ALL SPLICES 32 BAR DIAMETERS OR 1'-6" MINIMUM UNLESS OTHERWISE SHOWN. PROVIDE ELBOW BARS (32 DIA) TO LAP HORIZONTAL STEEL AT CORNERS AND INTERSECTIONS IN FOOTINGS AND WALLS. REINFORCEMENT SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BY APPROVED CHAIRS, SPACERS, OR TIES AND SECURED IN PLACE DURING GROUT OR CONCRETE PLACEMENT.

MINIMUM CONCRETE COVER FOR REINFORCING STEEL:

USE	PROTECTION
SLAB AND WALL BARS:	
INTERIOR FACES	$1\frac{1}{2}$ "
EXPOSED TO WEATHER OR EARTH	$1\frac{1}{2}$ " (5" AND SMALLER) 2" (6" AND LARGER)
FOOTING BARS	3"

TIMBER:

ALL LUMBER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

BEAMS	DFM OR BETTER
POSTS	DF2 OR BETTER
2x FRAMING	HP2 OR BETTER

ALL 2x TIMBER SHALL BE KILN DRIED. ALL GRADES SHALL CONFORM TO "WUPA GRADING RULES FOR WESTERN LUMBER", LATEST EDITION. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED IN ACCORDANCE WITH AUPA U1 RE-TREAT ALL CUT ENDS, NOTCHES, AND DRILLED HOLES IN ACCORDANCE WITH AUPA M4. MAINTAIN MINIMUM 6" CLEAR BETWEEN WOOD AND EXPOSED EARTH. MAINTAIN 8" CLEAR BETWEEN EXPOSED EARTH AND NON-TREATED WOOD AT EXTERIOR FOUNDATION WALLS. ALL NAILS SHALL BE GALVANIZED BOX OR COMMON NAILS. FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL IN ACCORDANCE WITH SECTION IBC 2304.10.5. ALL MINIMUM NAILINGS SHALL BE PER IBC TABLE 2304.10.1 UNO. MACHINE BOLTS TO BE A-307. BOLT HEADS AND NUTS BEARING AGAINST WOOD SHALL BE PROVIDED WITH STANDARD CUT WASHERS. MISCELLANEOUS HANGERS TO BE 'SIMPSON' OR ICC APPROVED EQUAL. ALL HANGERS TO BE FASTENED TO WOOD WITH PROPER NAILS AND ALL HOLES SHALL BE NAILED.

GLUED LAMINATED WOOD MEMBERS:

GLUED LAMINATED WOOD BEAMS (GLB) TO BE IN ACCORDANCE WITH ANSI/AITC STANDARD A1901, AMERICAN NATIONAL STANDARD FOR STRUCTURAL GLUED LAMINATED TIMBER, USE STRESS GRADE COMBINATION 24F-V4 ($F_b = 2,400$ PSI) FOR SIMPLE SPANS AND 24F-V8 FOR CANTILEVER AND CONTINUOUS SPANS. SIMPLE SPANS SHALL BE CAMBERED ON A 3500' RADIUS UNO. GLUE SHALL BE CASEIN WITH MOLD INHIBITOR, UNLESS OTHERWISE SPECIFIED. SEALER SHALL BE APPLIED TO ENDS OF ALL MEMBERS. BOTTOM LAMINATION TO BE FREE OF UNSOUND KNOTS LARGER THAN $\frac{1}{2}$ " DIAMETER. AITC STAMP AND CERTIFICATION REQUIRED.

PREFABRICATED JOISTS:

JOISTS SHALL BE AS NOTED ON THE PLANS AND AS MANUFACTURED BY TRUSS JOIST WEYERHAEUSER OR APPROVED EQUIVALENT. JOISTS TO BE ERRECTED IN ACCORDANCE WITH THE PLANS AND THE MANUFACTURER'S DRAWINGS AND INSTALLATION INSTRUCTIONS. CONSTRUCTION LOADS BEYOND THE DESIGN LOADS ARE NOT PERMITTED. PROVIDE ERECTION BRACING UNTIL SHEATHING MATERIAL HAS BEEN INSTALLED. PROVIDE SOLID BLOCKING AT CONCENTRATED LOADS FROM ABOVE AND WEB STIFFENERS PER MANUFACTURER'S DIRECTIONS. JOIST HANGERS TO BE SIZED AND PROVIDED BY THE MANUFACTURER OR SUPPLIER.

LAMINATED VENEER LUMBER (LVL):

LAMINATED VENEER LUMBER (LVL) TO BE BY TRUSS JOIST WEYERHAEUSER (MICROLAM - $F_b = 2,600$ PSI, $E = 1,900,000$ PSI). MATERIAL SHALL BE DESIGNED & MANUFACTURED TO THE STANDARDS SET FORTH IN NER-481 OR COMC REPORT NO. 08675-R. BEARING LENGTH SHALL NOT BE LESS THAN $1\frac{1}{2}$ ". DO NOT CUT OR NOTCH BEAMS WITHOUT PRIOR APPROVAL OR ENGINEER. HEEL CUTS SHALL NOT OVERHANG INSIDE FACE OF SUPPORTING MEMBER.

BEARING WALL FRAMING:

ALL DOOR AND WINDOW HEADERS NOT CALLED OUT OR OTHERWISE NOTED ON THE PLANS SHALL BE 4x8 DF2 WITH ONE CRIPPLE AND ONE STUD EACH END FOR OPENINGS 5'-0" OR LESS AND TWO CRIPPLES AND ONE STUD FOR OPENINGS MORE THAN 5'-0" WIDE. ALL COLUMNS NOT CALLED OUT ON THE PLANS SHALL BE TWO (2) STUDS. SPIKE LAMINATED COLUMNS TOGETHER WITH 16d @ 12" O.C. STAGGERED. STAGGER SPLICES AT TOP PLATES MINIMUM 48" AND NAIL WITH 16d @ 8" O.C.

SHEAR WALLS:

ALL SHEAR WALL SHEATHING NAILING AND ANCHORS SHALL BE AS DETAILED ON THE DRAWINGS AND NOTED IN THE SHEAR WALL SCHEDULE. USE APA RATED SHEATHING (24/16) WITH A MINIMUM PANEL EDGE NAILING OF 8d @ 6" O.C. UNLESS NOTED OTHERWISE. ALL SHEAR WALL NAILING SHALL BE COMMON WIRE OR GALVANIZED BOX NAILS. FASTENERS IN PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. BLOCK ALL UNSUPPORTED PANEL EDGES. DESIGNATED 3x FRAMING MAY BE (2) 2x MEMBERS FACE-NAILED WITH 16d @ 12" O.C. STAGGERED. ALL HEADERS SHALL HAVE STRAP CONNECTORS TO THE TOP PLATE AT EACH END WHEN THE HEADER INTERRUPTS THE TOP PLATE. USE 'SIMPSON' LSTA24 CONNECTOR UNO.

FLOOR AND ROOF FRAMING:

DIMENSIONAL FRAMING MEMBERS SHALL BE FREE OF SPLITS, CHECKS, AND SHAKES. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE LENGTH AND ALL AROUND ALL OPENINGS IN FLOORS AND ROOFS UNO. PROVIDE SOLID BLOCKING AT RIM JOISTS BELOW CONCENTRATED LOADS FROM ABOVE. APPLY $\frac{1}{4}$ " RATED SHEATHING (40/20) GLUED AND NAILED TO FLOOR FRAMING MEMBERS WITH 8d COMMON OR GALVANIZED BOX NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND 8d COMMON OR GALVANIZED BOX NAILS AT 12" O.C. AT INTERIOR SUPPORTS. APPLY $\frac{1}{4}$ " RATED SHEATHING (24/16) ON ROOF NAILED TO STIFFENERS OR RAFTERS WITH 8d COMMON OR GALVANIZED BOX NAILS AT 6" O.C. AT SUPPORTED EDGES AND 8d COMMON OR GALVANIZED BOX NAILS AT 12" O.C. AT INTERIOR SUPPORTS. LAY SHEATHING PERPENDICULAR TO FRAMING AND STAGGER PANEL EDGES.

FLOOR AND ROOF TRUSSES:

TRUSSES TO BE DESIGNED AND SUPPLIED IN ACCORDANCE WITH ANSI/TPI-1-2014. THE TRUSS CALCULATION PACKAGE SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. THE TRUSS ENGINEER SHALL ASSUME ALL RESPONSIBILITY FOR THE WORK OF ALL SUBORDINATES INVOLVED IN THE PREPARATION OF THE TRUSS LAYOUT PLAN AND TRUSS DESIGN DRAWINGS. EACH TRUSS SHALL BE PLANT FABRICATED AND SHALL BEAR THE QUALITY CONTROL STAMP, MANUFACTURER'S NAME, DESIGN LOAD, AND MAXIMUM SPACING. ALL MECHANICAL CONNECTORS SHALL BE ICC APPROVED. LOADS SHALL BE IN ACCORDANCE WITH THE RECOMMENDED DESIGN LOADS AND IBC CHAPTER 16. MANUFACTURER SHALL PROVIDE ALL TRUSS-TO-TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE BUILDING DEPARTMENT FOR APPROVAL AND MAINTAIN DRAWINGS ON SITE FOR INSPECTION. CONTRACTOR TO VERIFY ALL TRUSS LENGTHS PRIOR TO FABRICATION AND INSTALLATION. TRUSSES SHALL BE ERRECTED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND INDIVIDUAL TRUSS DRAWINGS. NO TRUSS SHALL BE ALTERED WITHOUT PRIOR WRITTEN CONSENT OF THE TRUSS DESIGNER AND ENGINEER OF RECORD.

GENERAL CONSTRUCTION NOTES:

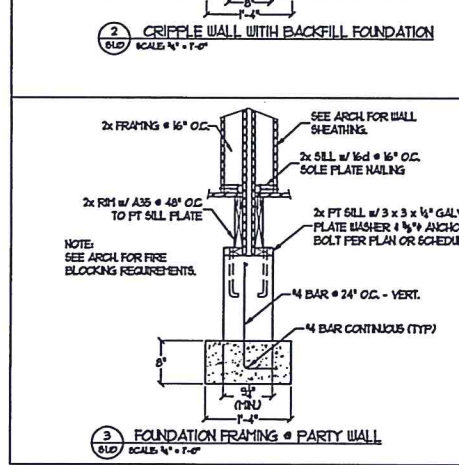
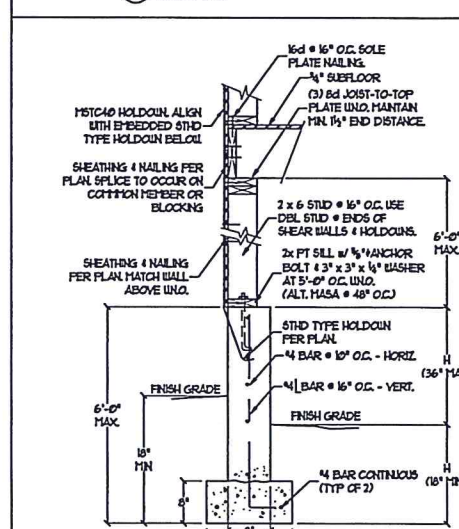
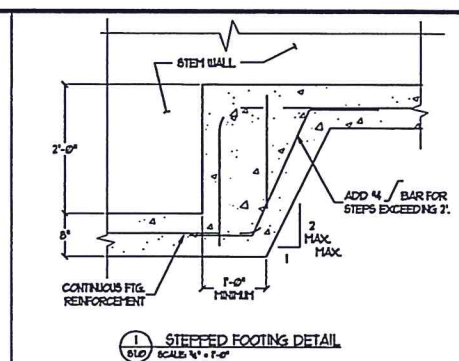
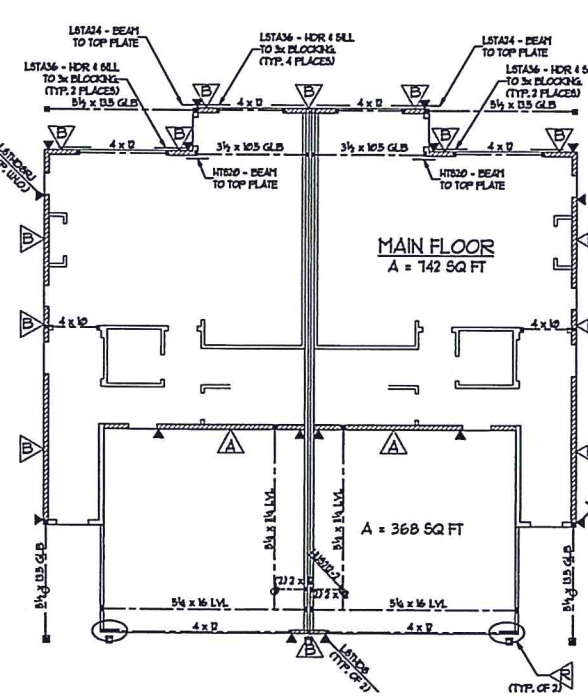
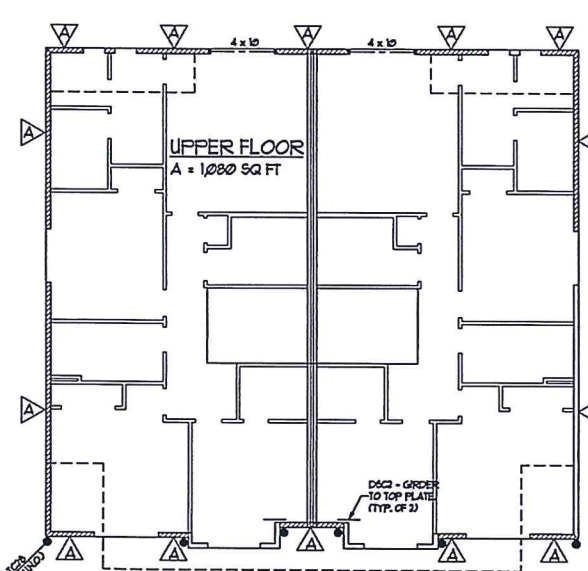
ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, AND SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE SPECIFIED WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL CONDITIONS AT THE JOB SITE INCLUDING BUILDING AND SITE CONDITIONS BEFORE COMMENCING WORK AND BE RESPONSIBLE FOR SAME. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING DEPARTMENT FOR ALL BUILDING DEPARTMENT REQUIRED INSPECTIONS. DO NOT SCALE DRAWINGS. USE ONLY WRITTEN DIMENSIONS. THE DETAILS SHOWN ARE TYPICAL AND SHALL BE USED FOR LIKE OR SIMILAR CONDITIONS NOT SHOWN. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION FROM THE ARCHITECT OR ENGINEER.

SHEAR WALL SCHEDULE

MARK	MINIMUM SHEATHING (1)	SHEATHING NAILING (1)	ANCHOR BOLTS (3)	REMARKS (4, 5)
A	$\frac{1}{2}$ " CDX OR OSB	8d @ 6" O.C.	$\frac{3}{8}$ " @ 60" O.C.	Wall = 230' PLF
B	$\frac{1}{2}$ " CDX OR OSB	8d @ 4" O.C.	$\frac{3}{8}$ " @ 32" O.C.	Wall = 350' PLF
C	$\frac{1}{2}$ " CDX OR OSB	8d @ 3" O.C.	$\frac{3}{8}$ " @ 16" O.C.	Wall = 450' PLF USE 3x STUDS AT ABUTTING PANEL EDGES & STAGGER NAILS
D	SEE DETAIL 12 / 510 FOR CONSTRUCTION			

NOTES

- ALL WALLS DESIGNATED 'A' ARE SHEAR WALLS. EXTERIOR WALLS SHALL BE SHEATHED WITH RATED SHEATHING (24/16) AND NAILED AT ALL PANEL EDGES (BLOCKED) PER SCHEDULE NAILING AT 11" PANELS SHALL BE THROUGH EACH EDGE OF EACH PANEL. NAILING AT INTERMEDIATE FRAMING TO BE AT 12" O.C. NAILING NOT CALLED OUT SHALL BE PER IBC TABLE 2304.10.1. NAILING IN PRESERVATIVE-TREATED LUMBER SHALL BE STAINLESS STEEL OR OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL PER ASTM A153.
- HOLDINGS AND OTHER FRAMING HARDWARE BY SIMPSON STRONG TIE OR ICC APPROVED EQUAL TO BE USED PER PLAN ENDS OF SHEAR WALLS SHALL USE DOUBLE STUDS MINIMUM.
- USE MINIMUM OF TWO (2) BOLTS PER SILL PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 5" FROM EACH END OF EACH PIECE. EMBED BOLTS MINIMUM OF 1" INTO CONCRETE. WASHERS TO BE 3" x 3" x $\frac{1}{4}$ " PER IBC SECTION 2308.3.2 AND OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A53.
- ALLOWABLE LOADS ARE PERMITTED TO BE INCREASED 40% FOR WIND DESIGN IN ACCORDANCE WITH AFIP A SDFIBS TABLE 4.3A.
- DESIGNATED 3x STUDS MAY BE (2) 2x MEMBERS FACE-NAILED WITH 16d @ 12" O.C. STAGGERED.



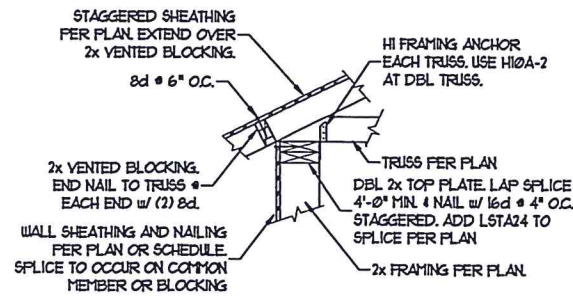
SCALE: NONE
DATE: 06/18/21
ISSUE FOR PERMIT

SEGA Engineers
Structural & Civil Consulting Engineers
22030 SE 202nd Place • Black Diamond, Washington 98010
(206) 880-1017

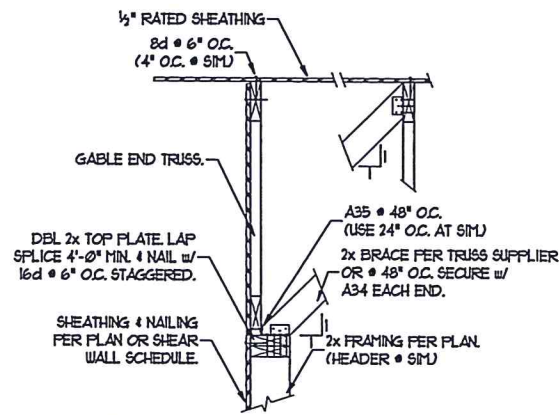
LANDMARK DESIGN, INC.
PLAN M-1822



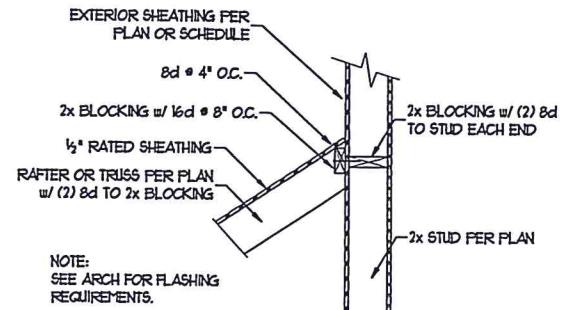
SLO



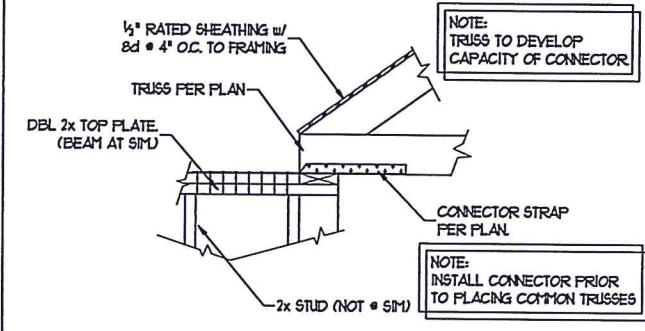
1 TYPICAL ROOF FRAMING CONNECTION
SCALE: 1" = 1'-0"



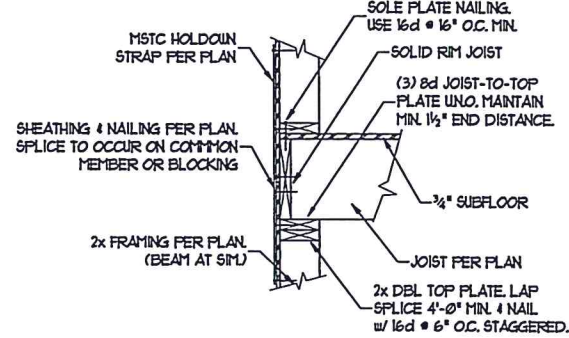
2 ROOF FRAMING @ GABLE END
SCALE: 1" = 1'-0"



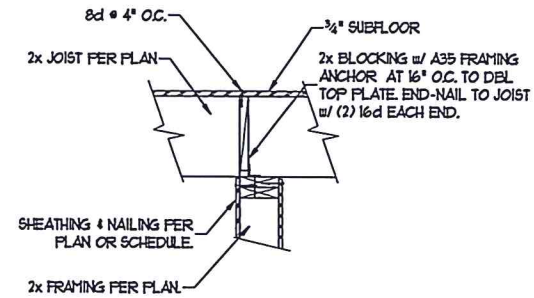
3 LOWER ROOF FRAMING @ SHEAR WALL
SCALE: 1" = 1'-0"



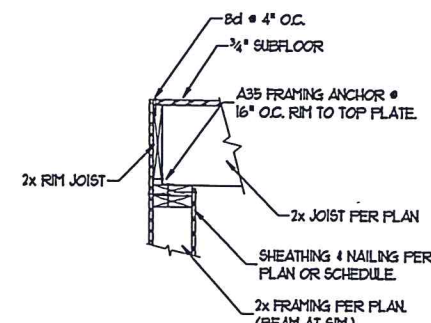
4 DRAG STRUT CONNECTION
SCALE: 1" = 1'-0"



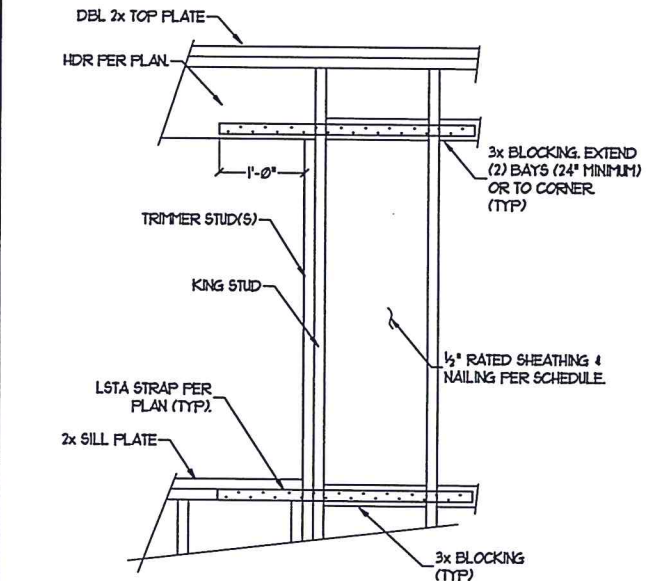
5 TYPICAL FLOOR FRAMING CONNECTION
SCALE: 1" = 1'-0"



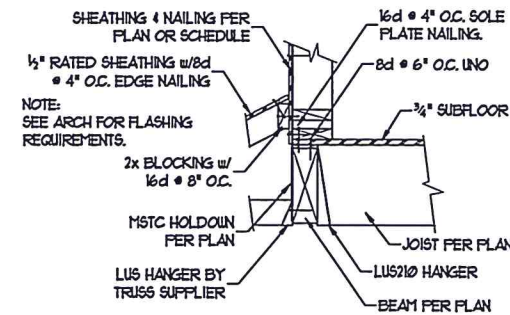
6 FRAMING AT INTERIOR SHEAR WALL
SCALE: 1" = 1'-0"



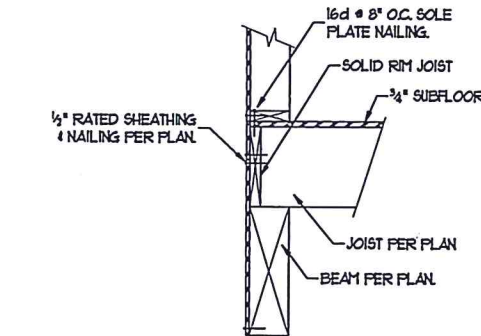
7 FRAMING AT INTERIOR SHEAR WALL
SCALE: 1" = 1'-0"



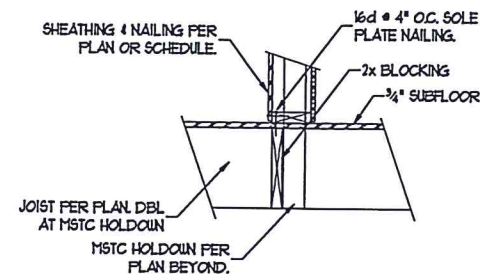
8 SHEAR WALL FORCE TRANSFER DETAIL
SCALE: 1" = 1'-0"



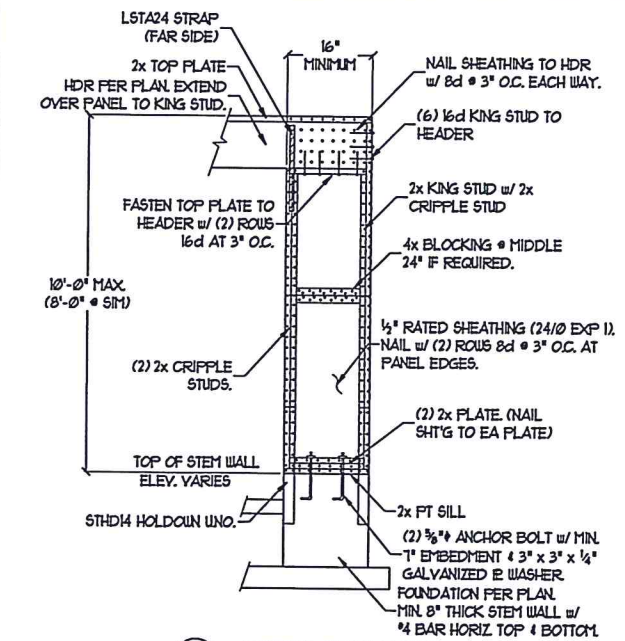
9 SHEAR WALL FRAMING AT FLUSH BEAM
SCALE: 1" = 1'-0"



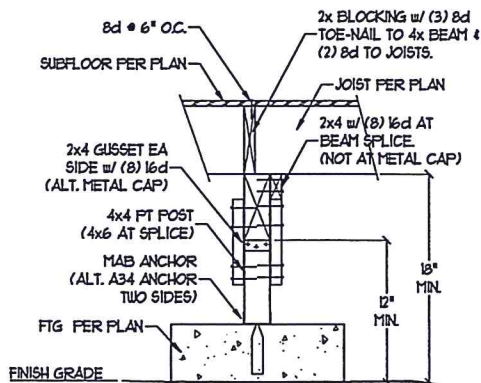
10 SHEAR WALL FRAMING AT BEAM
SCALE: 1" = 1'-0"



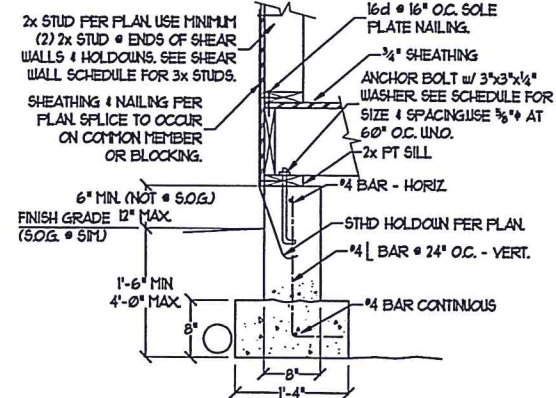
11 FLOOR FRAMING AT SHEAR WALL
SCALE: 1" = 1'-0"



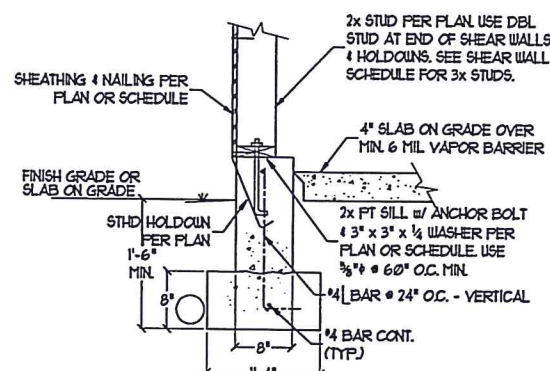
12 PORTAL FRAME PANEL
SCALE: N/A



13 FLOOR FRAMING AT CRAWL SPACE
SCALE: 1" = 1'-0"



14 FOUNDATION AT CRAWL SPACE
SCALE: 1" = 1'-0"



15 FOUNDATION AT SLAB ON GRADE
SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"
DATE: 06/27/21
ISSUE FOR PERMIT

SEGA Engineers
Structural & Civil Consulting Engineers
2809 82 262nd Place • Black Diamond, Washington 98010
(360) 886-1017

LANDMARK DESIGN, INC.
PLAN NO. M-1822



S2.0

STRUCTURAL DETAILS



Washington Avenue Elevation

3/16" = 1'-0"