

Commissioners

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Staff & Contractors

Scott Larson, City Administrator
Margaret O'Harra Buttz, Secretary
Emily Adams, AHBL Planner
JC Hungerford, Parametrix Engineer



City of Orting Planning Commission

AGENDA

**Study Session
October 19, 2020
7 pm Virtual Meeting**

Phone Dial-in - Charges may apply
+1.408.419.1715

To join the meeting on a computer or mobile
phone:

<https://bluejeans.com/488561241?src=calendarLink>

Meeting ID: 769 506 434

1. Call Meeting to Order
2. Flag Salute - Waived
3. Roll Call
4. Meadows 4 Final Plat – Public Hearing
5. Adjourn

The City is utilizing remote attendance for Planning Commissioners and City employees. Please note: OPMA rules regarding provision for the public in a space have been suspended by proclamation of the Governor. The meeting is however, available for the public to listen too by a call-in number. Call in Number information: To Join the meeting call one of the following numbers and use the meeting ID.



Staff Recommendation

Project Name: Meadows at Orting South Final Plat

Applicant/Agent: Copper Ridge LLC/
Mr. Craig Deaver
Principal CES NW Inc

Project Address: 403 Beckett Lane SW
Orting, WA 98360

Site Legal Description: 0519323054

Date of Application: June 18, 2020

Date of Notice of Application: October 19, 2020

Date of Staff Report: October 23, 2020

Date of Public Hearing: November 9, 2020

City Staff Contacts: Emily Adams, AICP City Planner JC Hungerford, PE City Engineer

Requested Approvals: Final Plat Approval

Staff Recommendation: **Approval**

Public Comment Period: The public comment period ended on November 9, 2020 at 1 pm.

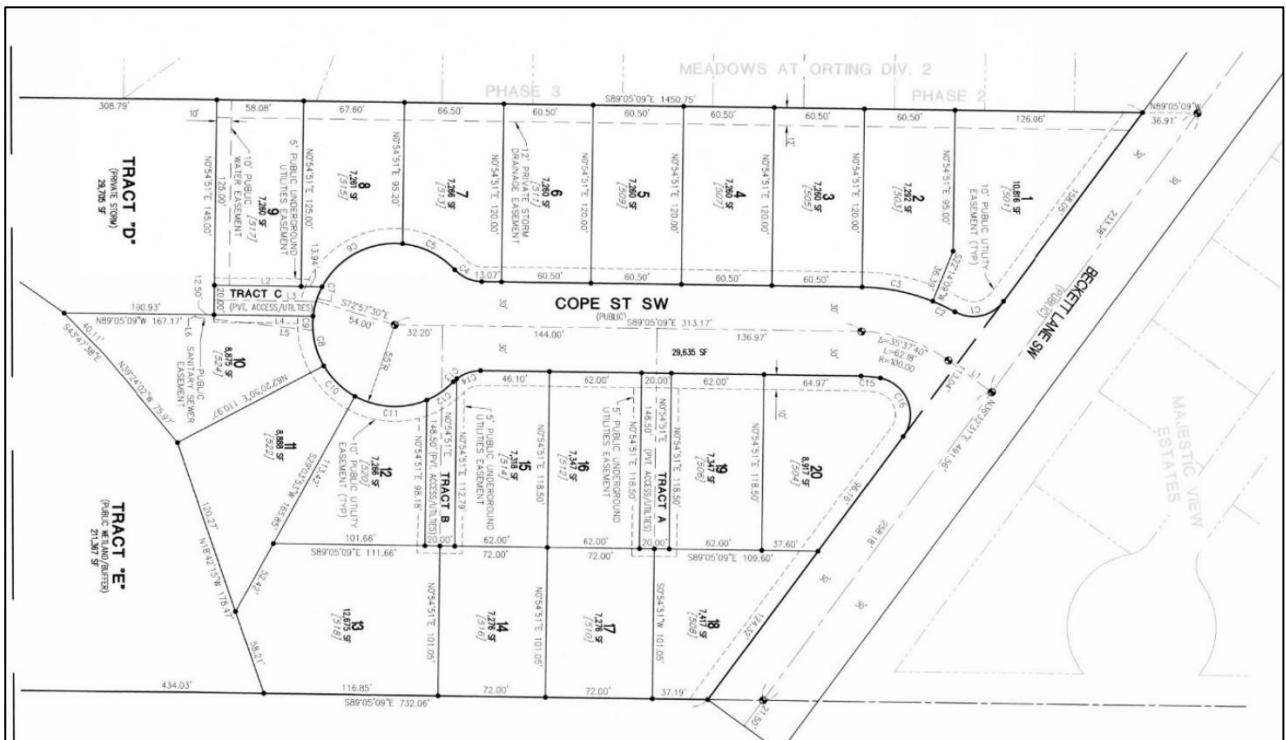
SEPA Determination: The SEPA Responsible Official issued a Determination of Nonsignificance–Mitigated on January 25, 2019 for the Preliminary Plat. No appeal was filed.

Public Notice: Notice of the Final Plat Application and Notice of the Hearing were mailed to property owners within 500 feet of the property, posted on site and at City Hall, and published in the newspaper of record for a minimum of 14 days each.

- Exhibits:**
1. Staff Report
 2. Transmittal;
 3. Final Subdivision Checklist;
 4. Application Cover Sheet;
 5. Application Consent Form;



6. Final Plat;
7. Title Report;
8. Draft Third Amendment for Declaration of CC&Rs;
9. Mailing Labels and Radius Map;
10. Complete Construction Letter;
11. As-builts;
12. Legibility form;
13. Destroyed real property form;
14. Pierce County Final Plat Approval Emails
15. Wetland Buffer and Sign Exhibit
16. SEPA Mitigated Determination of Nonsignificance
17. Hearing Examiner Report to Council (April 30, 2019)



Project Description:

The applicant has requested preliminary plat approval of the above referenced parcel into 20 single-family residential lots, a new public road (Cope St SW), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E).

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Cope St SW) which will access Beckett Lane SW. Lots 13-14, and 17-18 will be accessed by two access tracts (Tracts A and B), respectively. The

stormwater pond and Lot 9 will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban.

Permit History

The City received a preliminary plat and variance request on June 13, 2018 with a notice of complete application issued July 10, 2018. A public hearing was held on April 11, 2019. On April 30, 2019 the Hearing Examiner adopted to recommendations of City Staff including the three conditions of approval (Ex. 14). City Council approved this recommendation made by the Hearing Examiner to approve the preliminary plat and variance on May 29, 2019.

The City issued a Mitigated Determination of Non-Significance on January 4, 2019. The City reissued a revised Mitigated Determination of Non-Significance on January 25, 2019 with nine mitigation measures.

Findings of Fact and Conclusions of Law

1. Authority

Pursuant to OMC 15-4-1, Tables 15-4-1 and 15-4-2, Final Plats are Type IV land use decisions determined by the City Council after an open record hearing. The Planning Commission holds an open record hearing on a final plat and makes a recommendation to the City Council.

2. Review Criteria

OMC 12-6-5 governs the review criteria for approval of final plats. The review criteria are quoted below in italic and applied through the corresponding conclusions of law.

A. Final Plat Approval Criteria

OMC 12-6-5: Criteria for Approval:

- A. Meets Plat Approval Requirements: Meets all general requirements for plat approval as set forth in chapter 8 of this title;

OMC 12-8-1: General Requirements for Approval of Subdivision:

In addition to the criteria for approval applicable to an individual application, all subdivisions must meet the following general requirements in order to be approved:

- A. Land Use Controls: No subdivision may be approved unless written findings of fact are made that the proposed subdivision or short subdivision is in conformity with any applicable zoning ordinance, comprehensive plan or other existing land use controls.

Staff response: As described the preliminary plat Hearing Examiner recommendation (Ex. 14), and as mitigated and as conditioned, the proposed subdivision is in conformity with all applicable zoning requirements, the Orting Comprehensive Plan and other existing land use controls.

- B. Dedications; Generally:

1. An offer of dedication may include a waiver of right of direct access to any street from any property, and if the dedication is accepted, any such waiver is effective. The city may require such waiver as a condition of approval.
2. Roads not dedicated to the public must be clearly marked "private" on the face of the plat.
3. Any dedication, donation or grant as shown on the face of the plat shall be considered to all intents and purposes, as a quitclaim deed to the said donee(s) or grantee(s) for his/her/their use for the purpose intended by the donor(s) or grantor(s).
4. If the plat or short plat is subject to a dedication, the certificate or a separate written instrument shall contain the dedication of all streets and other areas to the public, and individual(s), religious society(ies) or to any corporation, public or private, as shown on the plat or short plat, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. Said certificate or instrument of dedication shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided and recorded as part of the final plat.
5. Every plat and short plat containing a dedication filed for record must be accompanied by a title report confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.
6. Dedication of land to any public body, provision of public improvements to serve the subdivision, and/or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be required as a condition of subdivision approval. No dedication, provision of public improvements or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be allowed that constitutes an unconstitutional taking of private property.

Staff response: The roadway will be dedicated to the City. Access to Lots 13-14, and 17-18 will be accessed by two private access tracts (Tracts A and B), respectively. The

stormwater pond will be private and accessed via Tract C along with Lot 9. All lots and Tracts will be directly accessible from the new private road. A recommended condition of approval will require the applicant to record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.

The applicant provided a title report demonstrating ownership of the property. The plat will contain the signatures of all those with ownership interest in the property.

The applicant will pay impact fees for streets in accordance with the City's adopted transportation improvement program, the City's Comprehensive Plan, and OMC Title 15 Chapter 6.

- C. Dedication of Public Park: The planning commission shall recommend naming of streets and parks within proposed subdivisions. If preliminary plats include dedication of land for public parks with areas greater than required for subdivision approval and the proponents request commemorative names, the planning commission shall consider such requests. The city council shall adopt the names as part of final plat approval.

Staff response: As noted in the preliminary plat findings (Ex. 14), the applicant will pay park impact fees pursuant to OMC Title 15-6-7(B) at the time of building permit. The proposal does not include a public or private park dedication.

- D. Release from Damages: The city shall not as a condition to the approval of any subdivision require a release from damages to be procured from other property owners.

Staff response: No release from damages from other property owners was required or will be required as a condition of approval.

- E. Flood, Inundation or Swamp Conditions: A proposed subdivision may be disapproved because of flood, inundation, or swamp conditions. Construction of protective improvements may be required as a condition of approval, and such improvements shall be noted on the final plat. No plat shall be approved covering any land situated in a floodway as provided in Revised Code of Washington chapter 86.16 without the prior written approval of the state department of ecology.

Staff response: As noted in the preliminary plat findings (Ex. 14), portions of the project site are located within the floodplain. However, the developed portion of the site is outside of the floodplain and not subject to Title 14 OMC Flood Control.

- F. Bonds: In lieu of the completion of the actual construction of any required improvements prior to the approval of a short or final plat, the planning commission or city council may accept a bond, approved as to form by the city attorney, in an amount and with surety and conditions satisfactory to it, or other secure method, providing for and securing to the city the actual construction and installation of such improvements within a period specified by the city and expressed in the bonds. In addition, the city may require the posting of a bond securing to the city the successful operation of improvements for up to two (2) years after final approval. All bonded improvements shall be designed and certified by or under the supervision of a registered civil engineer prior to the acceptance of such improvements.

Staff response: SEPA Mitigation Measures (Ex. 13) required the applicant to post bonds for maintenance of the perimeter landscaping and the wetland delineation fence. The City and applicant may agree to further bond conditions prior to final plat approval. Final plat approval will not be given until all required infrastructure is in place, inspected and approved or the applicant has posted an appropriate bond.

B. Conforms to Preliminary Plat Approval: Conforms to all terms of the preliminary plat approval; and

1. The project shall conform to SEPA Mitigating Conditions as listed in the January 4, 2019 SEPA MDNS.

The reissued SEPA DNS mitigation measures include:

- 1) The project shall conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.
- 2) The applicant shall post a landscape maintenance bond pursuant to OMC 13-5-2(H) and (I) for all perimeter landscaping, landscaping around the proposed storm pond and for all street trees.
- 3) The applicant shall create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plant material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.
- 4) The Stormwater Pond shall be fenced with a six-foot-tall chain link fence.
- 5) The applicant is prohibited from developing more than 30% impervious surfaces based on the gross area of the full plat. A note on the face of the plat shall prohibit any lot from developing more than 30% impervious surface on any given lot.
- 6) The applicant shall install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N.
- 7) The applicant shall install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O).
- 8) The applicant shall post a performance bond to assure that the wetland buffer fence is maintained (SMP 5.07.A.03.P).
- 9) The 8-inch watermain shall be looped with the existing system, likely extending to Grinnell Ave SW. Final design shall be approved by the City Engineer prior to issuance of civil permits.
- 10) The applicant shall redesign the proposed cul-de-sac to shall meet City of Orting Standard Details T-8A, T-8B, and T-8C.

Staff Response: The applicant has performed the SEPA mitigation measures. The CC&Rs cover the SEPA conditions for the plat including the split-rail fence and signing around the wetland buffer (Ex. 15 details sign and fence placement). The CC&Rs also address maintenance of landscaping, street trees, drainage and signage. The stormwater fence has been installed according to the condition. Mitigation measures 1, 9 and 10 have been constructed and accepted by the City Engineer in the certificate of completion letter (Ex. 9).

2. The applicant shall record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.

Staff Response: The applicant has recorded a dedication of streets to the public and waived all claims for damages (Ex. 6, page 1).

3. The applicant shall provide a six-foot, solid wood fence between the perimeter landscaping and the building envelope for Lot 18. The perimeter landscaping shall be open to the Beckett Lane SW right of way.

Staff response: A six-foot fence meeting these requirements will be installed and is noted on the face of the plat as a requirement under "Planning Department" to ensure long term maintenance of the fence.

- C. Meets Other Applicable Requirements: Meets the requirements of Revised Code of Washington chapter 58.17, other applicable State laws, this title, title 9, chapter 4 of this Code, and any other applicable City ordinances which were in effect at the time of preliminary plat approval.

Staff Response: As noted in the preliminary plat findings (Ex. 14), appropriate provisions have been made the public health, safety and general welfare, for open spaces, drainageways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds , and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school. Further the preliminary plat findings demonstrate compliance with all applicable City ordinances in effect at the time of preliminary plat approval including the Shoreline Master Program.

- D. Approval and Inscription: The City Council shall make written findings of fact relating to its decision on the final plat, and if approved, shall suitably inscribe and execute its written approval on the face of the plat.

Recommendation

Based on the Findings of Fact and Conclusions of Law stated above, the Staff recommends the City Council **approve** the proposed final plat.

Reconsideration

Any party with standing may seek reconsideration of a final decision by filing a written request for reconsideration with the City Administrator within five (5) days of the announcement of the final decision.

Appeal

Appeals from the final decision of the city council, board of appeals, or other city board or body involving this title or titles 12 and 13 of this code and for which all other appeals specifically authorized have been timely exhausted, shall be made to Pierce County superior court within twenty one (21) days of the date the decision or action became final. Notice of the appeal and any other pleadings required to be filed with the court shall be served on the city clerk, administrator, and city attorney within the applicable time period (OMC 15-10-6).

CES ♦ NW
INCORPORATED
CIVIL ENGINEERING & SURVEYING

Letter of Transmittal

TO: City of Orting
110 Train Street
Orting, WA 98360

CES Project No. 17171.0
Project Name: Meadows at Orting South
Regarding: Final Subdivision (Plat)
Permit #/Application ID: Not yet assigned
Date: October 5, 2020
Parcel(s): 0519323054

WE ARE PROVIDING:

Quantity	No. of Pages	Dated	Description
1	4	-	Final Subdivision Checklist
1	2	-	Application Cover Sheet & Legal Description
1	1	10.05.2020	Application Consent Form
1	4	10.02.2020	Final Plat Map
1	28	09.28.2020	Title Report
1	3	-	Draft Third Amendment to Declaration of CC&Rs
1	9	06.17.2020	Mailing Labels and Radius Map
1	20	09.21.2020	As-built drawings
1	2	08.27.2020	Pierce County Legibility Form
1	2	08.20.2020	Pierce County Destroyed Real Property Form
1	1	09.03.2020	Pierce County Approval Email

THESE ARE TRANSMITTED:

Enclosed is our submittal for the Meadows at Orting South Final Subdivision (Plat) Application submittal for the City of Orting's review. The project proposes twenty (20) single-family lots. All improvements have been installed and the Certificate of Completion will be provided once the minor construction corrections are made. In addition, Pierce County approval documents are included.

If you have any questions, please do not hesitate to contact me at 253.848.4282.

Thank you,

Craig Deaver
Principal
CDeaver@cesnwinc.com



CITY OF ORTING

Land Use Permit Information

FINAL (SUBDIVISIONS) PLATS

Final Plats are the recorded legal completion of the land subdivision process. They contain the detailed "as-built" documentation of the subdivision after all required public improvements are completed and/or accepted by the City and the final survey and legal descriptions of all parcels and tracts are prepared. Final Plats are described in the Orting Municipal Code (OMC), Chapter 12.6.

Criteria for Approval - The Planning Commission will review final plat applications and recommend approval, approval with conditions, or denial of the application. Final plats may be approved only if all of the following criteria have been met:

1. The application complies with the City's requirements (Section 12.6.5 OMC) and with 58.17 RCW.
2. The proposal is consistent with all terms of the preliminary plat approval.
3. All required public improvements have been completed or accepted by the City.

The applicant has the burden of proving that the proposed subdivision meets all of the criteria described above. Thorough documentation of the proposal's compliance with the criteria will greatly assist in the subdivision consideration process and improve the likelihood of approval. *Applicants are required to attend a pre-application meeting with City staff prior to submitting an application.* The formal subdivision consideration procedure is:

Final Plat Approvals

1. Five (5) copies of the application packet must be submitted, each including:
 - a) A completed application cover sheet.
 - b) Certification of any work required or completed by the City in connection with the checking, computing and correcting of the plat, plan checking, inspecting, and testing of all plat improvements including water lines, sanitary sewer lines, storm water retention and drainage systems, streets, curbs, gutters, and sidewalks.
 - c) A final plat meeting the requirements in "Final Plat Specifications" below.
 - d) "As-built" subdivision improvement drawings, or a subdivision improvements performance security as specified (see g) below:
 - i. One full size (24" by 36") photo mylar or original mylar (City standards not required);
 - ii One reduced (11" by 17") photo mylar slick;
 - iii. One photo negative (8-1/2" by 11");
 - iv. Five sets of full size and half size prints.
 - e) For plats containing dedications, a title report confirming that the title of the lands as described and shown on the plat is in the name of the owners signing the certificate.
 - f) Any offer of dedication may include a waiver of right of direct access to any street from any property.
 - g) Certificate of completion of one of the following alternatives:
 - i. All improvements have been installed in accord with the requirements of these regulations and accepted by the City, or
 - ii. That approved plans are on file with the City for all required improvements and a cash or surety bond has been posted and deposited with the City Clerk.

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- h) Documentation of the following recommendations:
 - i. The City Engineer or his/her designee as to the adequacy of the proposed means of sewage disposal and water supply;
 - ii. The Planning Commission's recommendation as to compliance with all of the terms of preliminary approval of the proposed plat or subdivision;
 - iii. The City Engineer.
- i) A copy of all restrictive covenants proposed to be imposed upon land within the subdivision.
- j) Any other documentation deemed necessary by the City Administrator to show compliance with conditions of the preliminary plat approval.
- k) Mailing labels for all property owners within three hundred feet (500') of the proposed site.

2. The Planning Commission will hold a public hearing and determine if the proposed final plat meets the approval criteria based on staff reports from the City Administrator and City Engineer. Upon that finding, the Planning Commission will recommend approval by the City Council.

3. The City Council will consider the Planning Commission's recommendations and make written findings of fact relating to its decision on the final plat, and if approved, will suitably inscribe and execute its written approval on the face of the plat.

4. A final plat is filed for record.

Any lots in a final plat filed for record will be valid notwithstanding any changes in zoning laws for a period of five years from the date of filing. A subdivision will be governed by the terms of approval of the final plat, and the statutes, ordinances and regulations in effect at the time of approval under RCW 58.17.150(1) and (3) for a period of five (5) years after final plat approval unless the City Council finds that a change in conditions creates a serious threat to the public health or safety in the subdivision.

Submittal Requirements

The final plat shall consist of one or more pages, each eighteen (18) inches by twenty-four (24) inches, clearly and legibly drawn on stable base Mylar polyester film or equivalent approved material. All drawing and lettering shall be in permanent India ink with the lettering as former by standard scribe guides using the point size recommended by the manufacturer and free of all blots and imperfections which might cause the letter or number to be questionable. If ink is used on polyester film base, the ink shall be coated with a suitable substance to assure permanent legibility. The perimeter of the subdivision shall be depicted in heavier lines than appear elsewhere on the plat. The border shall be drawn completely around each sheet, leaving an entirely blank margin of two inches to the left side and one-half inch on all other sides. Each sheet of the final plat shall contain the subdivision name and sheet number, and each sheet containing a drawing shall also contain the scale and a north arrow showing the relation to true north where applicable. All signatures shall be written in permanent India ink. Every final plat shall include an accurate map of the subdivided land based upon a complete review thereof, with the error of closure of the plat computations not exceeding one one-hundredth of one foot. Drawing scale shall be one hundred (100) feet to one (1) inch or larger (preferred scale is fifty (50) feet to one (1) inch). The plat must contain:

1. All section, township, municipal and City lines lying within or adjacent to the subdivision and a vicinity map showing the area with eight hundred (800) feet of the proposed site.
2. The location of all monuments or other evidence used as ties to establish the subdivision's boundaries.
3. The location of all permanent control monuments found and established within the subdivision.
4. The boundary of the subdivision with complete bearings and lineal dimensions.

CITY OF ORTING - Land Use Permit Information

5. The length and bearings of all straight lines; the radii, arc lengths, semi tangents and delta angle of all road centering curves and radii, delta angle and arc length of right-of-way curves, with radial bearings at the beginning and ending of all non-tangent curves.
6. Both the record and measured bearings, angles, and distances when the record bearings or angles or distances differ from measured bearings or angles or distances.
7. The length of each lot line, together with bearings, chord distance for curved lines and other data necessary for the locations of any lot line in the field.
8. The radial courses (labeled "R") for all lots, and all blocks tied to an intersection by bearings and distances.
9. The location, width, centerline, and name or number of all streets or other rights-or-way within and adjoining the subdivision.
10. The width, disposition, and description of all easements with the location shown with broken lines.
11. Numbers assigned to all lots and tracts within the subdivision.
12. Names of any adjacent subdivision(s).
13. Legal description of the land within the subdivision that agrees with the description contained in the title insurance report.
14. All dedications of streets or other areas to the public, an individual or individuals, religious society or societies or to any corporation, public or private. Roads not dedicated to the public must be clearly marked on the face of the plat as "Private." Any dedication, donation, or grant as shown on the face of the plat shall be considered for all intents and purposes as a quitclaim deed to the donee or donees, grantee or grantees of his, her, or their use for the purpose intended by the donors or grantors.
15. Location and disposition of any wells, creeks, drainage courses, drainage ways, septic tanks, drain fields, 100-year floodplain boundary and easements in or within two hundred (200) feet of the proposed subdivision; the location of all trees more than six inches (6") in diameter at a height of four feet (4') above grade with the proposed subdivision, and for one hundred and fifty (150) feet beyond the terminus of all dead end streets (individual trees in stands of five (5) trees or more need not be shown, but the area (drip line) covered by the stand shall be shown); the location of identified hazards or limitations to development as identified by the City of Orting Critical Areas Map; and, the location of any state shorelines and associated wetlands as defined by State law and the City of Orting Shoreline Master Program within the proposed short subdivision.
16. Minimum building setback lines from all lot lines, major or minor watercourses, tops of banks, and native growth protection easements.
17. The purpose of any non-residential lots.
18. The following certificates shall be shown on the final plat. Items listed above (number 1 - 17) shall be signed before the final plat is submitted for review:
 - a) Surveyor - The surveyor shall place his seal and signature on the plat, along with:
 - i.* A statement certifying that the plat was prepared by him, or under his supervision;
 - ii.* A statement certifying that the plat is a true and correct representation of the land surveyed;
 - iii.* A full and correct description of the land to be divided.
 - b) Owner - The following statements or certifications shall be placed upon the final plat by the owner:

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- i.* A statement that the subdivision has been made with the free consent and in accordance with the desires of the owner or owners -- owners of other interests shown on the title report shall certify that they have notice of the subdivision;
 - ii.* If the plat is subject to a dedication a certificate containing the dedication of all streets and other areas, together with a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land from the required construction, drainage, and maintenance of the area -- the certificates shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided.
 - c) City Engineer - A Statement of approval from the City Engineer approving the survey data, the layout of the streets, alleys, and other rights-of-way, design of bridges, and utility systems including storm drainage, water, and sanitary sewer.
 - d) Pierce County Office of Finance - A certification from the Director and Deputy Director of the Office of Finance that all taxes and delinquent assessments for which the property may be liable as of the date of certification have been duly paid, satisfied, or discharged.
 - e) Orting City Clerk - A certification from the City Clerk that all assessments and delinquent assessments for which the property dedicated for public use may be liable as of the date of certification have been duly paid, satisfied, or discharged.
 - f) Date of examination and approval by the County Assessor and Deputy County Assessor.
 - g) Date of examination and approval by the City Council signed by the Mayor and City Clerk.
 - h) Recording certificate signature by the Pierce County Manager of the Division of records and Elections and the Superintendent of Records.
19. Survey Data - In conjunction with the final plat document, the surveyor shall furnish the City Engineer with a full set of survey notes, which shall clearly show:
- a) The ties to each monument established for the plat.
 - b) All necessary controlling reference points or monuments.
 - c) Sufficient data to determine readily the bearing and length of each line which may be in form of computer printout sheets or coordinate sheet.
 - d) The base meridian referred to showing its relation to true north based on Polaris Observation or tie to National Ocean Survey (USC and GS) triangulation system, or other control acceptable to the City Engineer.
 - e) Complete subdivision of the section or sections, or as much thereof as necessary to properly orient the plat within same.
 - f) Corners of adjoining subdivisions or portions thereof, with ties.
 - g) Primary survey control points reference to section corners and monuments.

REQUIRED APPLICATION INFORMATION (All Permits)

If it is necessary to submit applications for more than one permit, just fill out this page once.

Property Owners' Name	Copper Ridge, LLC - Attn: Evan Mann	
Affidavit of Ownership (Attached)		
Address	PO Box 73790 Puyallup, WA 98373	
Phone/Fax	253-820-7835	
Email	evan@soundbuilthomes.com	
Applicant/Agent's Name	CES NW Inc - Attn: Craig Deaver	
Address	429 29 th St NE, Ste D Puyallup, WA 98372	
Phone/Fax	253-848-4282	
Email	cdeaver@cesnwinc.com	
Project Site Address	403 BECKETT LN SW	
Tax Parcel Number(s)	0519323054	
Legal Description (May be on a separate sheet)	See attached.	
Project Name (If Applicable)	Meadows at Orting South	
Permits Needed (Check All that Apply)	<input type="checkbox"/> Short Plat <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance <input type="checkbox"/> Clearing & Grading <input type="checkbox"/> Shoreline Variance <input type="checkbox"/> Planned Development <input type="checkbox"/> Master Plan	<input type="checkbox"/> Boundary Line Adjustment <input checked="" type="checkbox"/> Final Plat <input type="checkbox"/> Rezone <input type="checkbox"/> Critical Area Exception <input type="checkbox"/> Shoreline Development <input type="checkbox"/> Shoreline Conditional Use <input type="checkbox"/> Architectural Design Review <input type="checkbox"/> Binding Site Plan <input type="checkbox"/> Special Use Permit



First American

Schedule C

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

The land in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360
Phone: (360) 893-2219 FAX: (360) 893-6809
www.cityoforting.org

**APPLICATION CONSENT
AFFIDAVIT**

Project Name: Meadows at Orting South

Property Owner Information:

Project Contact

Name: Copper Ridge, LLC Phone: 253-820-7835

Address: PO Box 73790

City/State: Puyallup, WA Zip: 98373

E-mail: evan@soundbuilt homes.com

Property Owner Signature: (required)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.

I hereby grant to the City of Orting or its agents to which this application is made or forwarded, the right to enter the above-described location to inspect the proposed, in-progress, or completed work. I agree to start work only after all necessary permits and approvals have been received.

I hereby authorize the Applicant and / or Agent to act on my behalf in matters related to this application. (Check if Applicable)

Property Owner Signature

10/5/20
Date

Applicant Information (if not the property owner):

Project Contact

Name: _____ Phone: _____

Address: _____

City/State: _____ Zip: _____

E-mail: _____

Agent Information:

Project Contact

Name: _____ Phone: _____

Address: _____

City/State: _____ Zip: _____

E-mail: _____

Authorized Applicant / Agent Signatures: (required if the Applicant/Agent is not the property owner)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.

Authorized Applicant Signature

Date

Authorized Agent Signature

Date

Please identify additional parties that you want to receive email regarding this project.

Craig Deaver

Name

cdeaver@cesnwinc.com

Email

Name

Email

MEADOWS AT ORTING SOUTH

A PORTION OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON

DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED PROPERTY, DEDICATE THESE LOTS TO THE PURCHASERS THEREOF. WE DEDICATE THE ROADS AND EASEMENTS HEREIN TO THE USE OF THE PUBLIC FOREVER AND HEREBY GRANT TO THE PUBLIC THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS OCCASIONED BY THE ORIGINAL GRADING BY THE CITY ORTING AND NECESSARY TO ACCOMPLISH AND MAINTAIN SUCH ORIGINAL GRADE OF SAID STREETS, ALLEYS, AND PUBLIC PLACES. SAID OWNERS, FOR THEMSELVES AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, WAIVE ALL CLAIMS FOR DAMAGES TO THE PROPERTY INCLUDED IN THIS PLAT BY REASON OF ANY CUTS AND FILLS MADE IN STREETS, ALLEYS, AND PUBLIC PLACES, AND FURTHER CERTIFY AND SWEAR THAT SAID LAND IS FREE FROM ALL TAXES AND ASSESSMENTS WHICH HAVE HERETOFORE BEEN LEVIED AND BECOME CHARGEABLE AGAINST SAID PROPERTY, AND FURTHER CERTIFY AND SWEAR THAT THERE ARE NO ENCUMBRANCES EXISTING UPON ANY OF THE LAND UPON WHICH STREETS, ALLEYS, AND PUBLIC PLACES HAVE BEEN DONATED AND DEDICATED TO THE PUBLIC. THIS MAP AND ANY PORTION THEREOF IS RESTRICTED BY LAW AND THIRD AMENDMENT AND SUPPLEMENTAL DECLARATION OF COVENANTS FOR MEADOWS AT ORTING HOMEOWNERS ASSOCIATION, RECORDED UNDER PIERCE COUNTY RECORDING NO. _____

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF WATER MAINS AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C AND LOT 9 SHOWN ON THIS PLAT

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF SANITARY SEWER FACILITIES AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C AND D SHOWN ON THIS PLAT

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF SANITARY SEWER FACILITIES AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C, D AND LOT 10 SHOWN ON THIS PLAT

TRACT D IS A PRIVATE STORM DRAINAGE AND POND TRACT. ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN TRACT D. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH TRACT.

THE 12' PRIVATE STORM DRAINAGE EASEMENT ACROSS LOTS 1-9 IS DEDICATED TO THE HOMEOWNERS ASSOCIATION UPON RECORDING OF THIS PLAT. ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN SAID EASEMENT. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID EASEMENT.

WE DEDICATE TO THE CITY OF ORTING OR ITS SUCCESSOR AGENCY TRACT E WETLAND BUFFER TRACT UPON THE RECORDING OF THIS PLAT. THE CITY OF ORTING OR ITS SUCCESSOR AGENCY SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACT.

EVAN MANN, MANAGER
COPPER RIDGE, LLC
A WASHINGTON LIMITED LIABILITY COMPANY

ACKNOWLEDGEMENT

STATE OF WASHINGTON)
COUNTY OF PIERCE,)ss

ON THIS _____ DAY OF _____, 2020, BEFORE ME PERSONALLY APPEARED EVAN MANN, TO ME KNOWN TO BE THE AUTHORIZED MEMBER OF COPPER RIDGE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY, THAT EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED AND ON OATH STATED THAT HE IS AUTHORIZED TO EXECUTE SAID INSTRUMENT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAT THE DAY AND YEAR FIRST WRITTEN ABOVE.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

RESIDING AT: _____

MY APPOINTMENT EXPIRES: _____

LEGAL DESCRIPTION

PARCEL A AND B ARE TPN 0519323054
(PER FIRST AMERICAN TITLE INSURANCE COMPANY GUARANTEE NO. 3002549 DATED SEPTEMBER 28, 2020)

PARCEL A
THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
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THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

ASSESSOR/TREASURER

I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED.

ASSESSOR/TREASURER, PIERCE COUNTY

DATE

CITY ENGINEER

I HAVE EXAMINED AND APPROVED THE REQUIRED ENGINEERING ASPECTS OF THIS PLAT ON BEHALF OF THE CITY OF ORTING.

CITY ENGINEER

DATE

CITY CLERK/TREASURER

I HEREBY CERTIFY THAT ALL OF ORTING TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE HAVE BEEN FULLY PAID AND DISCHARGED.

CITY CLERK/TREASURER

DATE

PLANNING COMMISSION

EXAMINED AND APPROVED THIS _____ DAY OF _____ 2020 FOR THE CITY OF ORTING

CHAIRPERSON OF PLANNING COMMISSION

DATE

CITY COUNCIL

EXAMINED AND APPROVED THIS _____ DAY OF _____ 2020 FOR THE CITY OF ORTING

CITY MAYOR

DATE

CITY CLERK

EXAMINED AND APPROVED THIS _____ DAY OF _____ 2020 FOR THE CITY OF ORTING

CITY CLERK

DATE

PROTECTIVE COVENANTS

SEE DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201308200433 ON THE 20TH DAY OF AUGUST, 2013, AT 11 MINUTES PAST 2:00 PM., RECORDS OF THE PIERCE COUNTY AUDITOR.

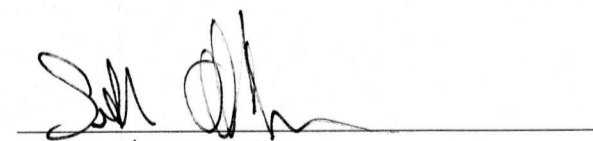
SEE FIRST AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201504160509 ON THIS 16TH DAY OF APRIL, 2015, AT 31 MINUTES PAST 2:00 PM, RECORDS OF THE PIERCE COUNTY AUDITOR.

SEE SECOND AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201701130841 ON THIS 13TH DAY OF JANUARY 2017, AT 50 MINUTES PAST 3:00 PM, RECORDS OF THE PIERCE COUNTY AUDITOR.

SEE THIRD AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER _____ ON THIS _____ DAY OF _____, 2020, AT _____ MINUTES PAST _____ RECORDS OF THE PIERCE COUNTY AUDITOR.

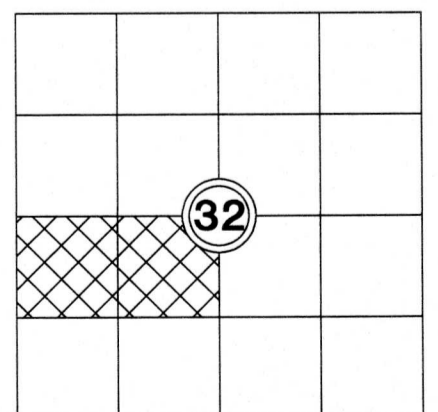
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF MEADOWS AT ORTING SOUTH IS BASED ON AN ACTUAL SURVEY DONE BY ME OR UNDER MY DIRECT SUPERVISION; THAT THE BEARINGS AND DISTANCES ARE SHOWN CORRECTLY; THAT THE PERIMETER MONUMENTS HAVE BEEN SET AND THAT ALL OTHER MONUMENTS AND LOT CORNERS HAVE BEEN SET OR BONDED WITH THE COUNTY AND WILL BE SET PRIOR TO THE RELEASE OF THE BOND; THAT I HAVE COMPLIED WITH ALL STATE AND COUNTY REGULATIONS GOVERNING PLATTING AND THAT IT CONFORMS TO THE APPROVED PRELIMINARY PLAT AND THE CONDITIONS OF APPROVAL THEREOF.


SETH D. O'HARE, PLS
CERT. NO. 38985

PARCEL NUMBER

PARCEL NO. 0519323054
ADDRESS: 403 BECKETT LN. SW.
ORTING, WA. 98360



INDEX: NE 1/4 & NW 1/4 OF THE SW 1/4, SEC. 32, T19N, R5E., W.M.

AUDITOR

FILED FOR RECORD THIS _____ DAY OF _____, 2020, AT _____ MINUTES PAST _____ RECORDS OF PIERCE COUNTY AUDITOR, TACOMA, WASHINGTON.

RECORDING NUMBER _____

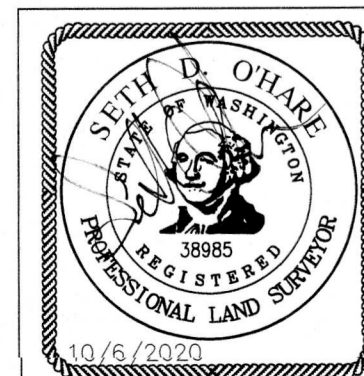
PIERCE COUNTY AUDITOR

FEE

BY _____

INDEX OF SHEETS

- SHEET 1 SIGNATURES, APPROVALS, ACKNOWLEDGEMENT, LEGAL DESCRIPTION, PROTECTIVE COVENANTS
- SHEET 2 SECTION BREAKDOWN, SURVEY NOTES, VICINITY MAP, TITLE EXCEPTIONS
- SHEET 3 MAP, DEVELOPMENT ENGINEERING NOTES, TABLES
- SHEET 4 MAP, ADDRESS TABLE, PLANNING NOTES



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
JOB# 17171

Bus: (253) 848-4282
ceservices@cesnwinc.com

MEADOWS AT ORTING SOUTH

SHEET 2 OF 4

A PORTION OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON

TRACT NOTES

TRACTS A, B AND C ARE DESIGNATED ACCESS AND UTILITIES TRACTS ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH HAVE AN EQUAL AND UNDIVIDED INTEREST IN SAID TRACTS THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACTS.

TRACT D IS A PRIVATE STORM DRAINAGE AND POND TRACT ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH HAVE AN EQUAL AND UNDIVIDED INTEREST IN SAID TRACT THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACT.

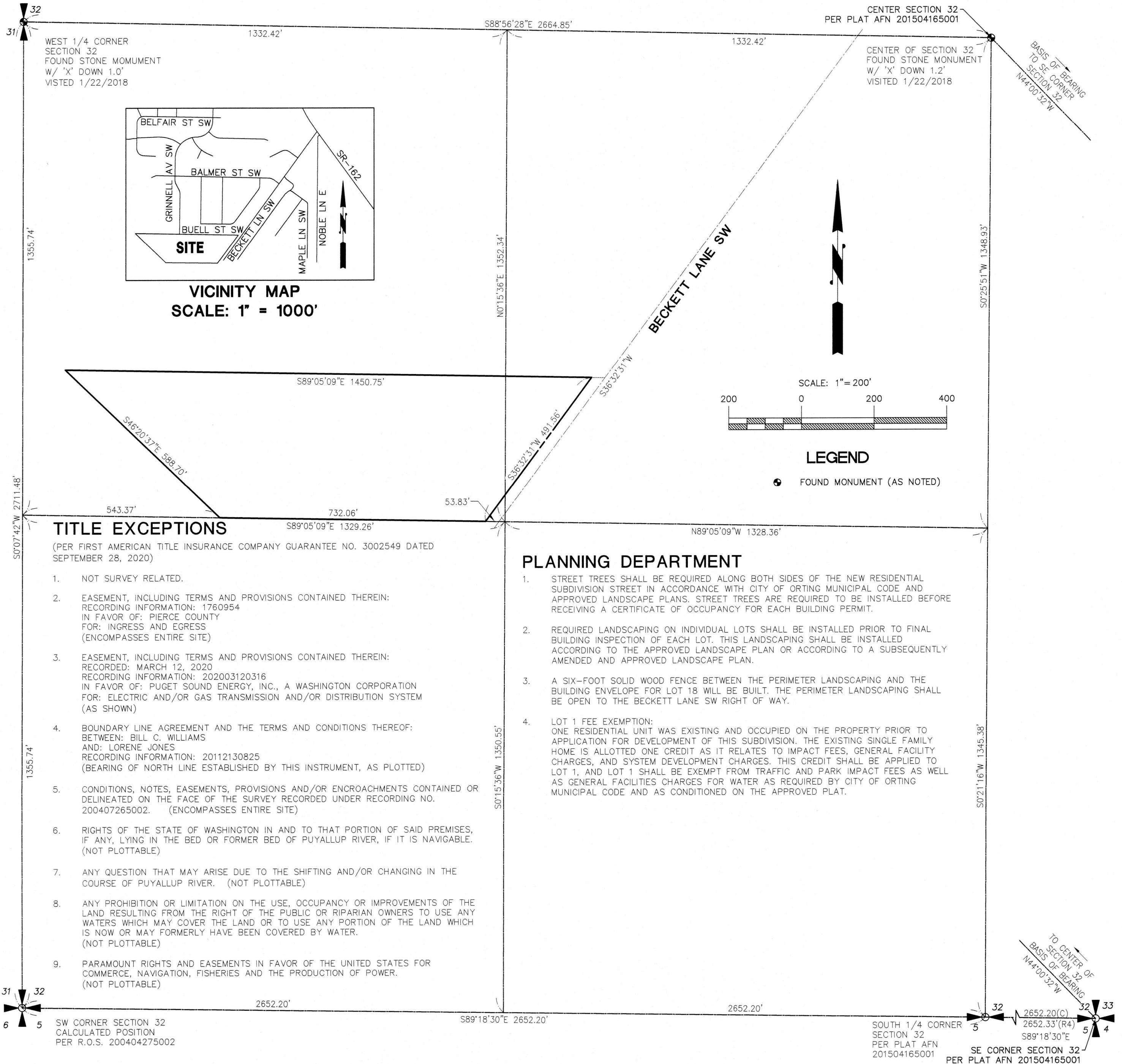
TRACT E IS A PUBLIC WETLAND AND BUFFER TRACT AND IS DEDICATED TO THE CITY OF ORTING OR ITS SUCCESSOR AGENCY FOR PUBLIC DRAINAGE PURPOSES UPON THE RECORDING OF THIS PLAT. THE CITY OF ORTING SHALL BE RESPONSIBLE FOR THE PUBLIC STORM DRAINAGE FACILITIES WITHIN SAID TRACT.

EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND CONVEYED TO THE CITY OF ORTING, PUGET SOUND ENERGY, ANY TELEPHONE COMPANY, ANY CABLE COMPANY, ANY WATER COMPANY, THE U.S. POSTAL SERVICE AND THEIR RESPECTIVE SUCCESSORS AN ASSIGNS, UNDER AND UPON THE EXTERIOR TEN (10) FEET, PARALLEL WITH AND ADJOINING THE PUBLIC STREET FRONTAGE OF ALL LOTS AND TRACTS, IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, MAINTAIN, REPAIR, REPLACE, AND ENLARGE UNDERGROUND PIPES, CONDUITS, CABLES, WIRES, WATER METERS, FIRE HYDRANTS, SANITARY SEWER STRUCTURES, AND PUBLIC AND PRIVATE STORM DRAINAGE STRUCTURES ALONG WITH ALL NECESSARY OR CONVENIENT UNDERGROUND OR GROUND-MOUNTED APPURTENANCES THERETO, FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, TELEPHONE, GAS, CABLE TV SERVICE, SANITARY SEWER, WATER, AND OTHER UTILITY SERVICE AND BOTH PUBLIC AND PRIVATE STORM DRAINAGE, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS, TRACTS, AND SPACES AT ALL TIMES FOR THE PURPOSE HEREIN STATED.

THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION BY THE UTILITY. NO LINES OR WIRES FOR TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE OR CABLE TELEVISION SHALL BE PLACED OR PERMITTED UPON ANY LOT OR TRACT UNLESS THE SAME SHALL BE UNDERGROUND OR IN A CONDUIT ATTACHED TO A BUILDING.

THE 12 FOOT DRAINAGE/MAINTENANCE EASEMENT FOR PERMANENT SWALE ALONG THE REAR 12 FEET OF LOTS 1 THROUGH 9 SHALL REMAIN OPEN AND FREE OF ANY YARD WASTE, DEBRIS, OR STRUCTURES. MAINTENANCE AND UPKEEP OF THE EASEMENT AREA IS TO BE THE RESPONSIBILITY OF THE MEADOWS AT ORTING HOMEOWNERS ASSOCIATION.



BASIS OF BEARING

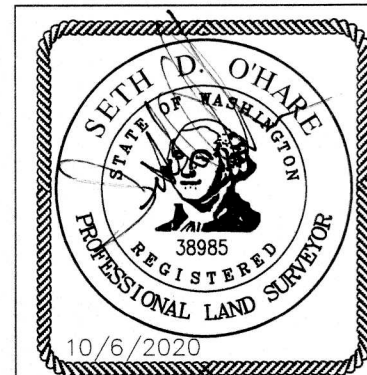
NORTH 44°00'32" WEST FROM THE SOUTHEAST CORNER TO THE CENTER OF SECTION, SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, W.M. PER PLAT RECORDED UNDER PIERCE COUNTY AUDITORS NUMBER 201504165001.

REFERENCES

- MEADOWS AT ORTING DIVISION 2 PHASE 3 PER AFN 201701135001
- MEADOWS AT ORTING DIVISION 2 PHASE 2 PER AFN 201504165001
- MEADOWS AT ORTING DIVISION 2 PHASE 1 PER AFN 201306275004
- MEADOWS AT ORTING PHASE 1 PER AFN 200702165028
- RECORD OF SURVEY PER AFN 200404275002
- DEED PER AFN 201301280881

SURVEY NOTES

- THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE "SURVEY RECORDING ACT", CHAPTER 58.09 RCW AND 332-130 WAC.
- EQUIPMENT USED: FOCUS 30 TOTAL STATION; TRIMBLE RB (GPS)
- METHOD AND DATE OF MONUMENT LOCATION: GPS AND OPTICAL TRAVERSE ON JANUARY 22, 2018.

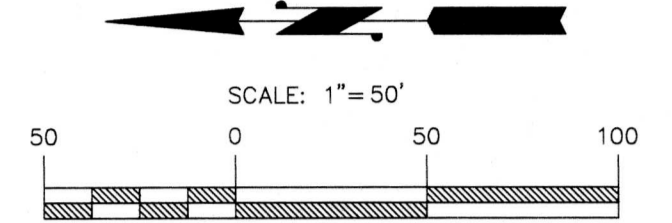


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PUYALLUP, WA 98372 ceservices@cesnwinc.com
JOB# 17171

MEADOWS AT ORTING SOUTH

A PORTION OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON



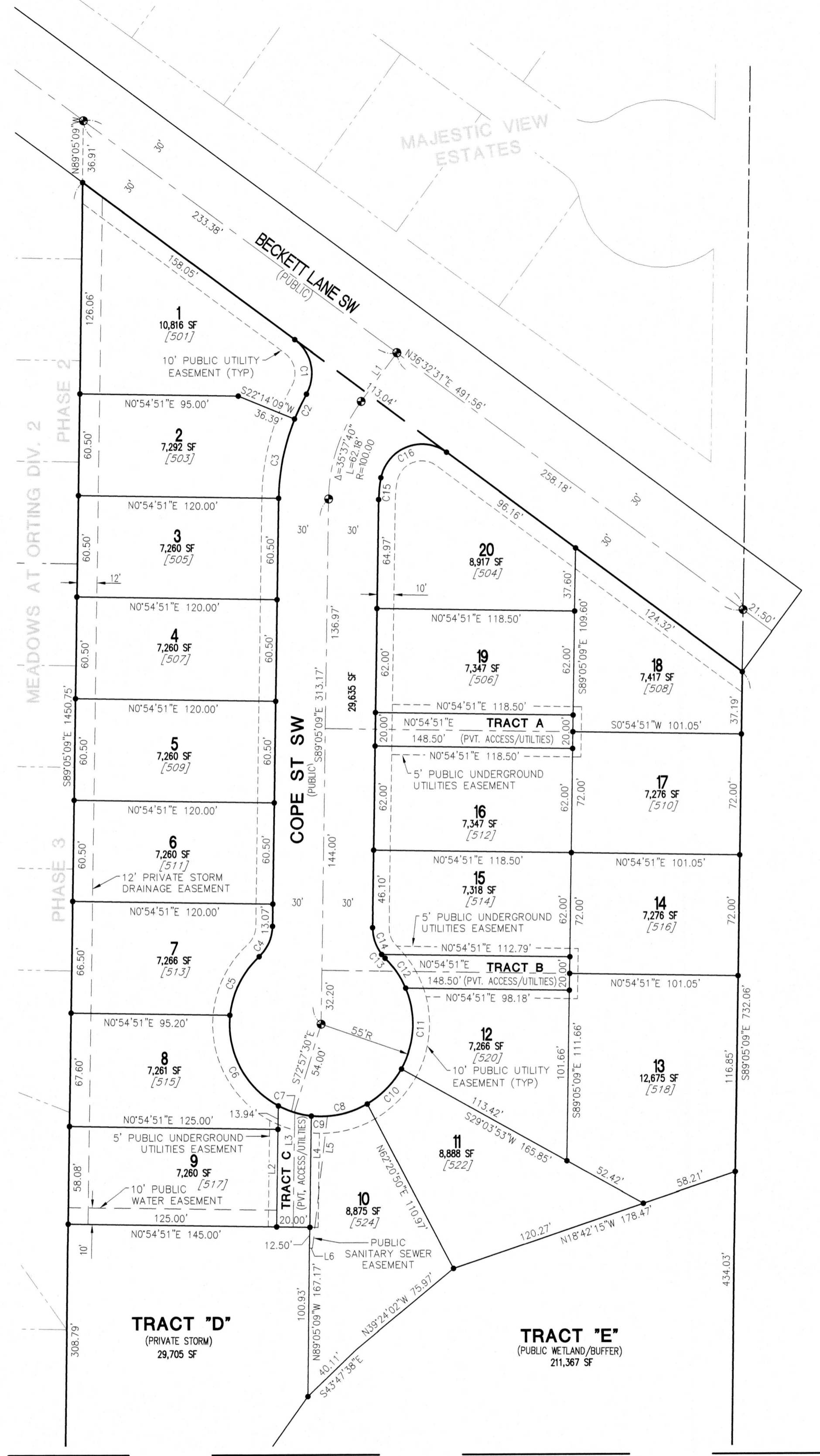
- LEGEND**
- SET PIERCE COUNTY STANDARD MONUMENT "LS 38985"
 - SET REBAR AND CAP "LS 38985"
 - SF SQUARE FOOTAGE OF LOT
 - [501] ADDRESS PROVIDED BY CITY OF ORTING SEE ADDRESS TABLE, SHEET 4 OF 4

Line Table		
Line #	Length	Direction
L1	36.01	S53°27'29"E
L2	58.08	N89°05'09"W
L3	69.14	S89°05'09"E
L4	66.24	S89°05'09"E
L5	79.08	S83°29'06"E
L6	1.80	N0°54'51"E

Curve Table			
Curve #	Length	Radius	Delta
C1	36.20	25.00	82°57'42"
C2	16.49	130.00	7°16'03"
C3	48.38	130.00	21°19'19"
C4	20.32	25.00	46°34'03"
C5	40.03	55.00	41°41'58"
C6	65.11	55.00	67°49'57"
C7	20.95	55.00	21°49'11"
C8	34.82	55.00	36°16'28"
C9	9.53	55.00	9°55'41"
C10	29.56	55.00	30°47'27"
C11	49.87	55.00	51°57'06"
C12	21.85	55.00	22°46'00"
C13	3.09	25.00	7°04'35"
C14	17.23	25.00	39°29'28"
C15	13.03	70.00	10°39'47"
C16	50.16	25.00	114°57'53"

TRACT AREA TABLE	
TRACT	SQUARE FOOTAGE
A	2,370 SF.
B	2,090 SF.
C	1,369 SF

RADIAL BEARING TABLE	
LOT #	BEARING
7/8	N5°46'56"E
8/TRACT C	N62°03'01"W
TRACT C/10	N83°52'12"W
10/11	S59°51'20"W
11/12	S29°03'53"W
12/TRACT B	S22°53'12"E



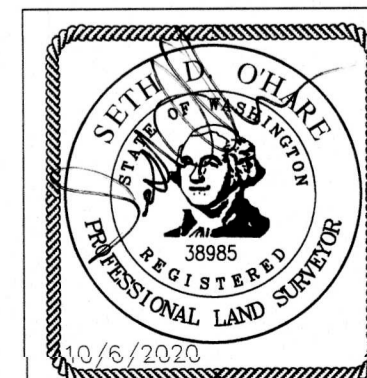
MATCH LINE SEE SHEET 4

DEVELOPMENT ENGINEERING

1. NO DIRECT VEHICULAR ACCESS SHALL BE ALLOWED TO BECKETT LANE SOUTHWEST FROM LOTS 1, 18 AND 20.
2. ALL LOTS MUST ACCESS OFF INTERNAL PLAT ROADS.

BUILDING SETBACKS

- FRONT 25'
- REAR 25'
- SIDE 8'
- SIDE STREET 10'
- CORNER LOT 20'

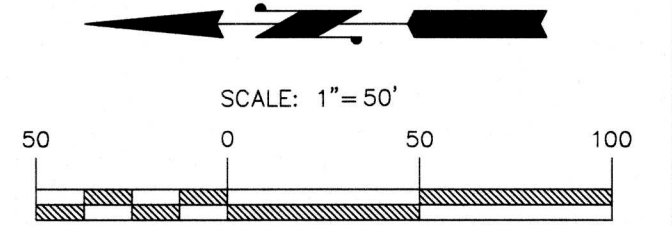


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MEADOWS AT ORTING SOUTH

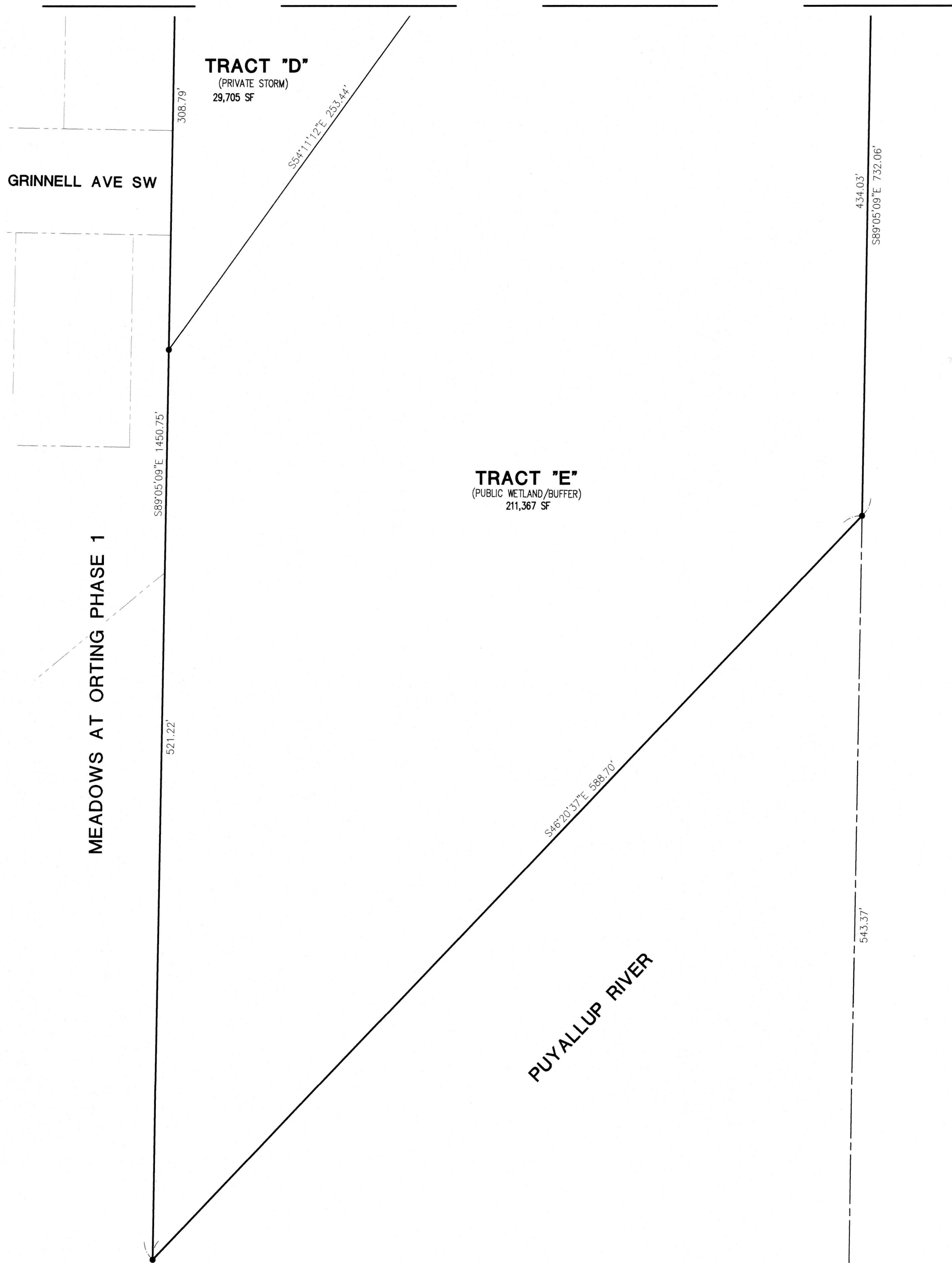
A PORTION OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER
OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH,
RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY,
WASHINGTON



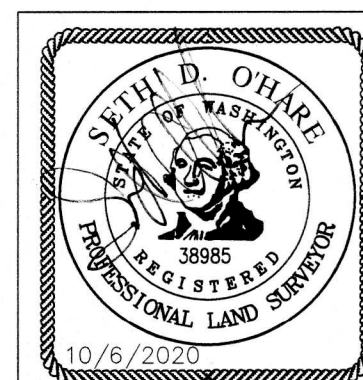
LEGEND

- SET REBAR AND CAP "LS 38985"

MATCH LINE SEE SHEET 3



LOT ADDRESSES	
LOT #	ADDRESS
1	501 COPE STREET SW
2	503 COPE STREET SW
3	505 COPE STREET SW
4	507 COPE STREET SW
5	509 COPE STREET SW
6	511 COPE STREET SW
7	513 COPE STREET SW
8	515 COPE STREET SW
9	517 COPE STREET SW
10	524 COPE STREET SW
11	522 COPE STREET SW
12	520 COPE STREET SW
13	518 COPE STREET SW
14	516 COPE STREET SW
15	514 COPE STREET SW
16	512 COPE STREET SW
17	510 COPE STREET SW
18	508 COPE STREET SW
19	506 COPE STREET SW
20	504 COPE STREET SW



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CIVIL ENGINEERING & SURVEYING

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PUYALLUP, WA 98372

Bus: (253) 848-4282
ceservices@cesnwin.com

JOB# 17171



First American

First American Title Insurance Company

**712 Shaw Road E
Puyallup, WA 98372**

June 5, 2020

Craig Deaver
C.E.S. NW Inc
310 29th Street Northeast, Suite 101
Puyallup, WA 98372

Phone: (253)848-4282

Fax: (253)848-4278

Title Officer:	Bronwyn Shoemaker
Phone:	(253)382-2811
Fax No.:	(866)651-5629
E-Mail:	bshoemaker@firstam.com
Order Number:	3002549

Escrow Number: 3002549

Buyer:

Owner:	ORTING 4
Property:	403 Beckett Lane SW Orting, Washington 98360

Attached please find the following item(s):

Guarantee

Thank You for your confidence and support. We at First American Title Insurance Company maintain the fundamental principle:

Customer First!



First American

Guarantee

Subdivision Guarantee

ISSUED BY

First American Title Insurance Company

GUARANTEE NUMBER

5003353-3002549

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE LIMITS OF LIABILITY AND THE CONDITIONS AND STIPULATIONS OF THIS GUARANTEE,

FIRST AMERICAN TITLE INSURANCE COMPANY

a Nebraska corporation, herein called the Company

GUARANTEES

C.E.S. NW Inc

the Assured named in Schedule A against actual monetary loss or damage not exceeding the liability stated in Schedule A, which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

First American Title Insurance Company

Dennis J. Gilmore, President

Greg L. Smith, Secretary

This jacket was created electronically and constitutes an original document

SCHEDULE OF EXCLUSIONS FROM COVERAGE OF THIS GUARANTEE

1. Except to the extent that specific assurances are provided in Schedule A of this Guarantee, the Company assumes no liability for loss or damage by reason of the following:
 - (a) Defects, liens, encumbrances, adverse claims or other matters against the title, whether or not shown by the public records.
 - (b) (1) Taxes or assessments of any taxing authority that levies taxes or assessments on real property; or, (2) Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not the matters excluded under (1) or (2) are shown by the records of the taxing authority or by the public records.
 - (c) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water, whether or not the matters excluded under (1), (2) or (3) are shown by the public records.
2. Notwithstanding any specific assurances which are provided in Schedule A of this Guarantee, the Company assumes no liability for loss or damage by reason of the following:
 - (a) Defects, liens, encumbrances, adverse claims or other matters affecting the title to any property beyond the lines of the land expressly described in the description set forth in Schedule (A), (C) or in Part 2 of this Guarantee, or title to streets, roads, avenues, lanes, ways or waterways to which such land abuts, or the right to maintain therein vaults, tunnels, ramps or any structure or improvements; or any rights or easements therein, unless such property, rights or easements are expressly and specifically set forth in said description.
 - (b) Defects, liens, encumbrances, adverse claims or other matters, whether or not shown by the public records; (1) which are created, suffered, assumed or agreed to by one or more of the Assureds; (2) which result in no loss to the Assured; or (3) which do not result in the invalidity or potential invalidity of any judicial or non-judicial proceeding which is within the scope and purpose of the assurances provided.
 - (c) The identity of any party shown or referred to in Schedule A.
 - (d) The validity, legal effect or priority of any matter shown or referred to in this Guarantee.

GUARANTEE CONDITIONS AND STIPULATIONS

1. Definition of Terms.

The following terms when used in the Guarantee mean:

- (a) the "Assured": the party or parties named as the Assured in this Guarantee, or on a supplemental writing executed by the Company.
- (b) "land": the land described or referred to in Schedule (A)(C) or in Part 2, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule (A)(C) or in Part 2, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- (c) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- (d) "public records": records established under state statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- (e) "date": the effective date.

2. Notice of Claim to be Given by Assured Claimant.

An Assured shall notify the Company promptly in writing in case knowledge shall come to an Assured hereunder of any claim of title or interest which is adverse to the title to the estate or interest, as stated herein, and which might cause loss or damage for which the Company may be liable by virtue of this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any Assured unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

3. No Duty to Defend or Prosecute.

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

4. Company's Option to Defend or Prosecute Actions; Duty of Assured Claimant to Cooperate.

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 3 above:

- (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in (b), or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured, or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- (b) If the Company elects to exercise its options as stated in Paragraph 4(a) the Company shall have the right to select counsel of its choice (subject to the right of such Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.
- (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, an Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such Assured for this purpose. Whenever requested by the Company, an Assured, at the Company's expense, shall give the Company all

GUARANTEE CONDITIONS AND STIPULATIONS (Continued)

reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.

5. Proof of Loss or Damage.

In addition to and after the notices required under Section 2 of these Conditions and Stipulations have been provided to the Company, a proof of loss or damage signed and sworn to by the Assured shall be furnished to the Company within ninety (90) days after the Assured shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the matters covered by this Guarantee which constitute the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of the Assured to provide the required proof of loss or damage, the Company's obligation to such assured under the Guarantee shall terminate. In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.

6. Options to Pay or Otherwise Settle Claims: Termination of Liability.

In case of a claim under this Guarantee, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Liability or to Purchase the Indebtedness.
The Company shall have the option to pay or settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Guarantee, or to pay the full amount of this Guarantee or, if this Guarantee is issued for the benefit of a holder of a mortgage or a lienholder, the Company shall have the option to purchase the

indebtedness secured by said mortgage or said lien for the amount owing thereon, together with any costs, reasonable attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of purchase.

Such purchase, payment or tender of payment of the full amount of the Guarantee shall terminate all liability of the Company hereunder. In the event after notice of claim has been given to the Company by the Assured the Company offers to purchase said indebtedness, the owner of such indebtedness shall transfer and assign said indebtedness, together with any collateral security, to the Company upon payment of the purchase price.

Upon the exercise by the Company of the option provided for in Paragraph (a) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 4, and the Guarantee shall be surrendered to the Company for cancellation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Assured or With the Assured Claimant.

To pay or otherwise settle with other parties for or in the name of an Assured claimant any claim assured against under this Guarantee, together with any costs, attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.

Upon the exercise by the Company of the option provided for in Paragraph (b) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 4.

7. Determination and Extent of Liability.

This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in this Guarantee and only to the extent herein described, and subject to the Exclusions From Coverage of This Guarantee.

The liability of the Company under this Guarantee to the Assured shall not exceed the least of:

- (a) the amount of liability stated in Schedule A or in Part 2;
(b) the amount of the unpaid principal indebtedness secured by the mortgage of an Assured mortgagee, as limited or provided under Section 6 of these Conditions and Stipulations or as reduced under Section 9 of these Conditions and Stipulations, at the time the loss or damage assured against by this Guarantee occurs, together with interest thereon; or
(c) the difference between the value of the estate or interest covered hereby as stated herein and the value of the estate or interest subject to any defect, lien or encumbrance assured against by this Guarantee.

8. Limitation of Liability.

- (a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures any other matter assured against by this Guarantee in a reasonably diligent manner by

GUARANTEE CONDITIONS AND STIPULATIONS (Continued)

any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.

- (b) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, as stated herein.
- (c) The Company shall not be liable for loss or damage to any Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.

9. Reduction of Liability or Termination of Liability.

All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 4 shall reduce the amount of liability pro tanto.

10. Payment of Loss.

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within thirty (30) days thereafter.

11. Subrogation Upon Payment or Settlement.

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant. The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies. If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

12. Arbitration.

Unless prohibited by applicable law, either the Company or the Assured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision or other obligation. All arbitrable matters when the Amount of Liability is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. The Rules in effect at Date of Guarantee shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permits a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

13. Liability Limited to This Guarantee; Guarantee Entire Contract.

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

14. Notices, Where Sent.

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at **First American Title Insurance Company, Attn: Claims National Intake Center, 1 First American Way, Santa Ana, California 92707 Claims.NIC@firstam.com Phone: 888-632-1642 Fax: 877-804-7606**



First American Title



First American

Schedule A

Subdivision Guarantee

ISSUED BY

First American Title Insurance Company

GUARANTEE NUMBER

3002549

Order No.: 3002549

Liability: \$2,000.00

Fee: \$350.00

Tax: \$34.65

Name of Assured: C.E.S. NW Inc

Date of Guarantee: September 28, 2020

The assurances referred to on the face page hereof are:

1. Title is vested in:

COPPER RIDGE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY
2. That, according to the public records relative to the land described in Schedule C attached hereto (including those records maintained and indexed by name), there are no other documents affecting title to said land or any portion thereof, other than those shown under Record Matters in Schedule B.
3. The following matters are excluded from the coverage of this Guarantee
 - A. Unpatented Mining Claims, reservations or exceptions in patents or in acts authorizing the issuance thereof.
 - B. Water rights, claims or title to water.
 - C. Tax Deeds to the State of Washington.
 - D. Documents pertaining to mineral estates.
4. No guarantee is given nor liability assumed with respect to the validity, legal effect or priority of any matter shown herein.
5. This Guarantee is restricted to the use of the Assured for the purpose of providing title evidence as may be required when subdividing land pursuant to the provisions of Chapter 58.17, R.C.W., and the local regulations and ordinances adopted pursuant to said statute. It is not to be used as a basis for closing any transaction affecting title to said property.
6. Any sketch attached hereto is done so as a courtesy only and is not part of any title commitment, guarantee or policy. It is furnished solely for the purpose of assisting in locating the premises and First American expressly disclaims any liability which may result from reliance made upon it.



First American

Schedule B

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

RECORD MATTERS

1. General Taxes for the year 2020. PAID IN FULL

Tax Account No.: 0519323054

1st Half

Amount Billed: \$ 2,694.57
Amount Paid: \$ 2,694.57
Amount Due: \$ 0.00
Assessed Land Value: \$ 248,600.00
Assessed Improvement Value: \$ 147,100.00

2nd Half

Amount Billed: \$ 2,694.57
Amount Paid: \$ 2,694.57
Amount Due: \$ 0.00
Assessed Land Value: \$ 248,600.00
Assessed Improvement Value: \$ 147,100.00

2. Easement, including terms and provisions contained therein:
Recording Information: [1760954](#)
In Favor of: Pierce County
For: Ingress and egress
3. Easement, including terms and provisions contained therein:
Recorded: March 12, 2020
Recording Information: [202003120316](#)
In Favor Of: Puget Sound Energy, Inc., a Washington corporation
For: Electric and/or gas transmission and/or distribution system
4. Boundary Line Agreement and the terms and conditions thereof:
Between: Bill C. Williams
And: Lorene Jones
Recording Information: [200112130825](#)
- Said agreement also recorded under recording No. [200202280280](#).
5. Conditions, notes, easements, provisions and/or encroachments contained or delineated on the face of the Survey recorded under Recording No. [200407265002](#).
6. Rights of the State of Washington in and to that portion of said premises, if any, lying in the bed or former bed of Puyallup River, if it is navigable.
7. Any question that may arise due to the shifting and/or changing in the course of Puyallup River.

8. Any prohibition or limitation on the use, occupancy or improvements of the land resulting from the right of the public or riparian owners to use any waters which may cover the land or to use any portion of the land which is now or may formerly have been covered by water.
9. Paramount rights and easements in favor of the United States for commerce, navigation, fisheries and the production of power.

Informational Notes, if any



First American

Schedule C

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

The land in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

Salamon Olson & Sophie Olson
Orting Washington
D 3/8

7-10-56

EASEMENT

THIS AGREEMENT made and entered into this 1 day of June,
A. D. 1956, by and between Salamon Olson & Sophie Olson

parties of the first part, and PIERCE COUNTY,
WASHINGTON, a municipal corporation, party of the second part,

WITNESSETH:

THAT for and in consideration of the sum of One

----- Dollars, and of the benefits and advantages to accrue
to us, we, the parties of the first part, do hereby grant unto Pierce County, Wash-
ington, a municipal corporation, party of the second part, a ~~temporary~~ perpetual
easement, ~~granting~~ ----- allowing
ingress and egress over and across the following described property, to-wit:

Section 32 - Twp 19 - Range 5E - that pt of toll outside Orting -
beg stone mon 1/16 sec cor W bdy SW N 0°55' E W 1355.5 ft to a sec cor
E along ctrln sec 2261.5 ft S 35° W 1660 ft S 89° 49' 15" W 1275.72 ft
to beg, and more particularly an easement from the North approach of the
Soldiers' Home Bridge to the right bank of the Puyallup River and from the
Soldiers' Home Road to the left bank of the Puyallup River thence upstream
and downstream along both of said banks of ~~the~~ the Puyallup River which
borders the above described property.
for the purpose of hauling rock or other material or equipment to the river
bank for river bank protection, channel development, maintenance of the
river channel work only.

ACCEPTED
[Signature]
Accepted: [Signature] Sophie Olson
[Signature] Salamon Olson

Chairman, Board of County Commissioners,
Pierce County, Washington
STATE OF WASHINGTON } ss.
COUNTY OF PIERCE }

1760954

I, the undersigned, a Notary Public in and for the said State, do hereby
certify that on this 1st day of June, 1956, personally
appeared before me Salamon Olson and
Sophie Olson to me known to be the individual J
described in and who executed the within instrument and acknowledged that
signed and sealed the same as their free and voluntary act and deed for
the uses and purposes therein mentioned.
IN WITNESS WHEREOF I have hereunto set my hand and affixed my official
seal the day and year in this certificate first above written.

Anton Rauch
Notary Public in and for the State of
Washington, residing at Orting



2
RP184
843

1057



Page: 1

202003120316 ACLARK1 4 PGS
03/12/2020 11:46:22 AM \$106.50
AUDITOR, Pierce County, WASHINGTON

RETURN ADDRESS:
Puget Sound Energy, Inc.
Attn: ROW Department
3130 S. 38th Street
Tacoma, WA 98409
MLH



EASEMENT

ORIGINAL

REFERENCE #:
GRANTOR (Owner): **COPPER RIDGE, LLC**
GRANTEE (PSE): **PUGET SOUND ENERGY, INC.**
SHORT LEGAL: **PTN NW ¼ & NE ¼ SW ¼ 32-19N-05E**
ASSESSOR'S PROPERTY TAX PARCEL: **051932-3-054**

For and in consideration of good and valuable consideration, the receipt and sufficiency of which are acknowledged, **COPPER RIDGE, LLC**, a Washington limited liability company ("Owner" herein), hereby grants and conveys to **PUGET SOUND ENERGY, INC.**, a Washington corporation ("PSE" herein), for the purposes described below, a nonexclusive perpetual easement over, under, along across and through the following described real property (the "Property" herein) in **PIERCE** County, Washington:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

Except as may be otherwise set forth herein PSE's rights shall be exercised upon that portion of the Property ("Easement Area" herein) described as follows:

EASEMENT No. 1: ALL STREETS AND ROAD RIGHTS-OF-WAY (BOTH PRIVATE AND PUBLIC) AS NOW OR HEREAFTER DESIGNED, PLATTED, AND/OR CONSTRUCTED WITHIN THE ABOVE DESCRIBED PROPERTY.

EASEMENT No. 2: A STRIP OF LAND 10 FEET IN WIDTH ACROSS ALL LOTS AND OPEN SPACES LOCATED WITHIN THE ABOVE DESCRIBED PROPERTY BEING PARALLEL TO AND COINCIDENT WITH THE BOUNDARIES OF SAID PRIVATE AND PUBLIC STREETS AND ROAD RIGHTS-OF-WAY.

EASEMENT No. 3 (UNDERGROUND ONLY/NO AIRSPACE): A STRIP OF LAND 5 FEET IN WIDTH ACROSS ALL LOTS ABUTTING PRIVATE ACCESS TRACTS A, B AND C LOCATED WITHIN THE ABOVE DESCRIBED PROPERTY BEING PARALLEL TO AND COINCIDENT WITH THE BOUNDARIES OF SAID PRIVATE ACCESS TRACTS. EXCEPTING FROM EASEMENT NO. 3, EAVES/OVERHANGS FOR RESIDENTIAL STRUCTURES.

UG gas & electric / Job #105093388 10709043 / RW-116072 / Not. 11605664

EXCISE TAX EXEMPT DATE 3/12/20
Pierce County

By  **Auth. Sig.**

1. Purpose. PSE shall have the right to use the Easement Area to construct, operate, maintain, repair, replace, improve, remove, upgrade and extend one or more utility systems for purposes of transmission, distribution and sale of gas and electricity. Such systems may include, but are not limited to:

a. Underground facilities. Conduits, lines, cables, vaults, switches and transformers for electricity; pipes, pipelines, mains, laterals, conduits, regulators, gauges and rectifiers for gas; fiber optic cable and other lines, cables and facilities for communications; semi-buried or ground-mounted facilities and pads, manholes, meters, fixtures, attachments and any and all other facilities or appurtenances necessary or convenient to any or all of the foregoing.

Following the initial construction of all or a portion of its systems, PSE may, from time to time, construct such additional facilities as it may require for such systems. PSE shall have the right of access to the Easement Area over and across the Property to enable PSE to exercise its rights granted in this easement.

2. Easement Area Clearing and Maintenance. PSE shall have the right, but not the obligation to cut, remove and dispose of any and all brush, trees or other vegetation in the Easement Area. PSE shall also have the right, but not the obligation, to control, on a continuing basis and by any prudent and reasonable means, the establishment and growth of brush, trees or other vegetation in the Easement Area.

3. Trees Outside Easement Area. PSE shall have the right to cut, trim remove and dispose of any trees located on the Property outside the Easement Area that could, in PSE's sole judgment, interfere with or create a hazard to PSE's systems. PSE shall, except in the event of an emergency, prior to the exercise of such right, identify such trees and make a reasonable effort to give Owner prior notice that such trees will be cut, trimmed, removed or disposed. Owner shall be entitled to compensation for the actual market value of merchantable timber (if any) cut and removed from the Property by PSE.

4. Restoration. Following initial installation, repair or extension of its facilities, PSE shall, to the extent reasonably practicable, restore landscaping and surfaces and portions of the Property affected by PSE's work to the condition existing immediately prior to such work. PSE shall use good faith efforts to perform its restoration obligations under this paragraph as soon as reasonably possible after the completion of PSE's work.

5. Owner's Use of Easement Area. Owner reserves the right to use the Easement Area for any purpose not inconsistent with the rights herein granted, provided, however, Owner shall not excavate within or otherwise change the grade of the Easement Area or construct or maintain any buildings or structures on the Easement Area and Owner shall do no blasting within 300 feet of PSE's facilities without PSE's prior written consent.

6. Indemnity. PSE agrees to indemnify Owner from and against liability incurred by Owner as a result of the negligence of PSE or its contractors in the exercise of the rights herein granted to PSE, but nothing herein shall require PSE to indemnify Owner for that portion of any such liability attributable to the negligence of Owner or the negligence of others.

7. Termination. The rights herein granted shall continue until such time as PSE terminates such right by written instrument. If terminated any improvements remaining in the Easement Area shall become the property of Owner. No termination shall be deemed to have occurred by PSE's failure to install its systems on the Easement Area.

8. Successors and Assigns. PSE shall have the right to assign, apportion or otherwise transfer any or all of its rights, benefits, privileges and interests arising in and under this easement. Without limiting the generality of the foregoing, the rights and obligations of the parties shall be binding upon their respective successors and assigns.

EXHIBIT "A"

LEGAL DESCRIPTION:

Parcel A:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Beginning at the intersection of the South line of said subdivision and the Westerly Margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence North 35°30'00" East, 60.00 feet;
thence South 89°57'37" West, 1450.75 feet to the Easterly bank of the Puyallup River;
thence South 47°18'24" East along said River Bank, 589.46 feet to the South line of said North half;
thence North 89°57'37" East along said South line, 732.06 feet to the point of beginning.

Parcel B:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Commencing at the intersection of the South line of said subdivision and the Westerly margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet to the true point of beginning;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence South 35°30'00" West, 131.00 feet to the point of beginning.

Situate in the City of Orting, County of Pierce, State of Washington.

DATED this 2TH day of January, 2020.

OWNER: **COPPER RIDGE, LLC**

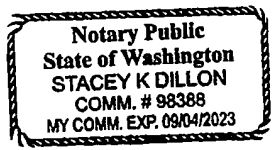
BY: [Signature]

TITLE: manager

STATE OF WASHINGTON)
COUNTY OF Pierce)^{ss}

On this 2TH day of January, 2020, before me, the undersigned, a Notary Public in, and for the State of Washington, duly commissioned and sworn, personally appeared Kurt Wilson (name), to me known to be the person who signed as manager (member/managing member), of **COPPER RIDGE, LLC**, a Washington limited liability company, the LLC that executed the within and foregoing instrument, and acknowledged said instrument to be his/her free and voluntary act and deed and the free and voluntary act and deed of **COPPER RIDGE, LLC**, for the uses and purposes therein mentioned; and on oath stated that he/she was authorized to execute the said instrument on behalf of said limited liability company.

IN WITNESS WHEREOF I have hereunto set my hand and official seal the day and year first above written.



[Signature]
(Signature of Notary)

Stacey K Dillon
(Print or stamp name of Notary)

NOTARY PUBLIC in and for the State of Washington, residing at Orting WA 98360
My Appointment Expires: 09/04/2023

Notary seal, text and all notations must not be placed within 1" margins

Bennett PSE Inc
720 E MAIN
Puyallup WA 98372

Boundary Line Agreement
SW 1/4 of Sec. 32, Twn 19 N, Rge 5 E., W.M.

THIS AGREEMENT by and between L. C. Williams owner
of Parcel # 051932-3-038 hereinafter termed "Grantor", and
Loree Jones owner of Parcel Number
051932-3-035 hereinafter termed "Grantee".

WITNESSETH:

That Grantor, for valuable consideration, the receipt of which is hereby
acknowledged, hereby conveys to the Grantee;

This agreement is to allow an existing fence of containment to be relocated by grantee to
the following described:

That portion of the North half of the Southwest quarter of Section 32, Township 19 North,
Range 5 East, W.M. in Pierce County, Washington, described as follows:

Beginning at the intersection of the South line of said subdivision and the westerly margin
of Beckett Road; thence North 35°30'00" East along said margin 491.56 feet to the True
Point of Beginning of the boundary line for this agreement; thence South 89°57'37" West,
1057.50 feet and the Terminus of the common boundary line.

Grantor agrees to forfeit forever all rights to any land northerly of said described
line.

SIGNED THIS 11 day of Dec, 2001.

L. C. Williams Jr. James R. Vukich
Agent for Loree
Jones

State of Washington)
County of Pierce)ss

On this 11 day of December, 2001, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this 11 day of December, 2001



Marlene Wade
Notary Public in and for the State of Washington
residing at Olympia
My appointment expires: 12-1-02

State of Washington)
County of Pierce)ss

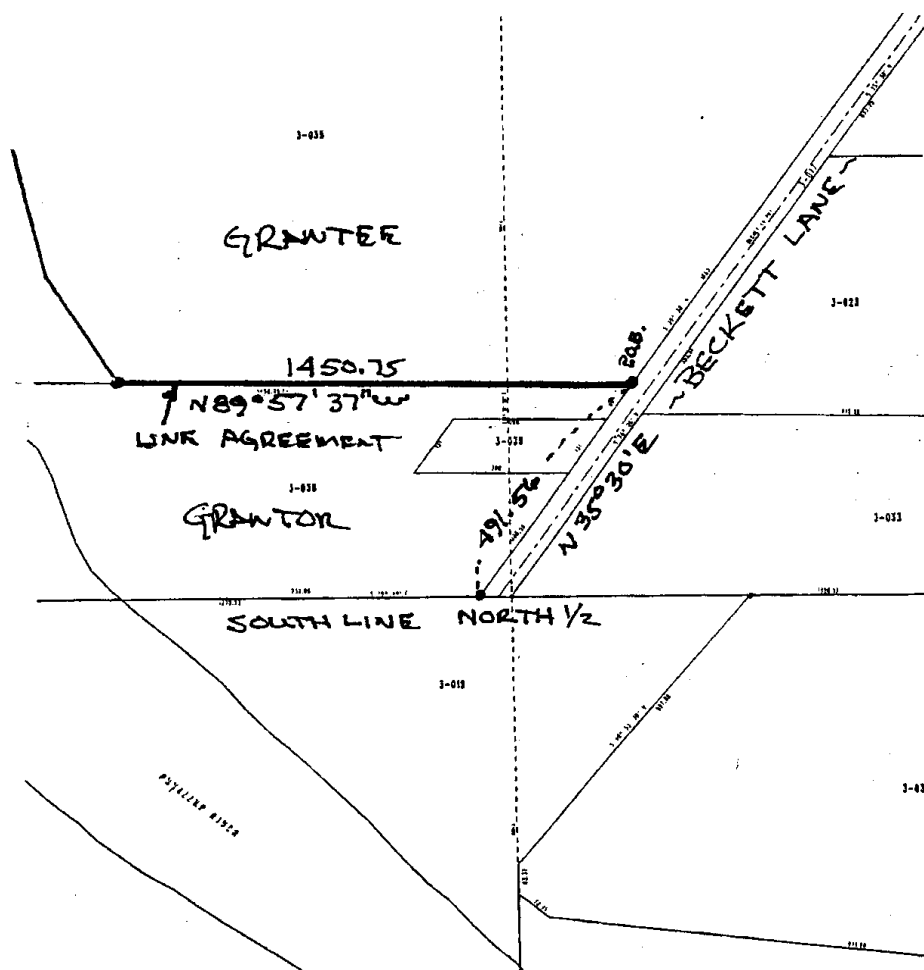
On this 11 day of December, 2001, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared Bill Williams + Jane Vickich to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this 11 day of December, 2001



Marlene Wade
Notary Public in and for the State of Washington
residing at Olympia
My appointment expires: 12-1-02

EXHIBIT



200202280280 2 pg
2-28-2002 09:12am \$10.00
PIERCE COUNTY, WASHINGTON

Bennett RSE
720 E. Main
Puyallup, Wa 98372

Boundary Line Agreement
SW ¼ of Sec. 32, Twn 19 N, Rge 5 E., W.M.

THIS AGREEMENT by and between Bill C. Williams owner
of Parcel # 051932-3-038 hereinafter termed "Grantor", and
Maldine L. Williams
Shen Jones owner of Parcel Number
051932-3-035 hereinafter termed "Grantee".

WITNESSETH:

That Grantor, for valuable consideration, the receipt of which is hereby acknowledged, hereby conveys to the Grantee;

This agreement is to allow an existing fence of containment to be relocated by grantee to the following described:

That portion of the North half of the Southwest quarter of Section 32, Township 19 North, Range 5 East, W.M. in Pierce County, Washington, described as follows:

Beginning at the intersection of the South line of said subdivision and the westerly margin of Beckett Road; thence North 35°30'00" East along said margin 491.56 feet to the True Point of Beginning of the boundary line for this agreement; thence South 89°57'37" West, 1057.50 feet and the Terminus of the common boundary line.

Grantor agrees to forfeit forever all rights to any land northerly of said described line.

SIGNED THIS 12th day of Feb, 2002

Bill C. Williams Maldine L. Williams

notarized
next
page

10-

State of Washington)
)ss
County of)

On this ____ day of _____, 20____, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

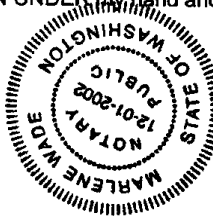
GIVEN UNDER my hand and official seal this ____ day of _____, 20__.

Notary Public in and for the State of Washington
residing at _____
My appointment expires: _____

State of Washington)
)ss
County of Pierce)

On this 12 day of Feb, 2002 before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared Bill Williams & Geraldine Williams to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

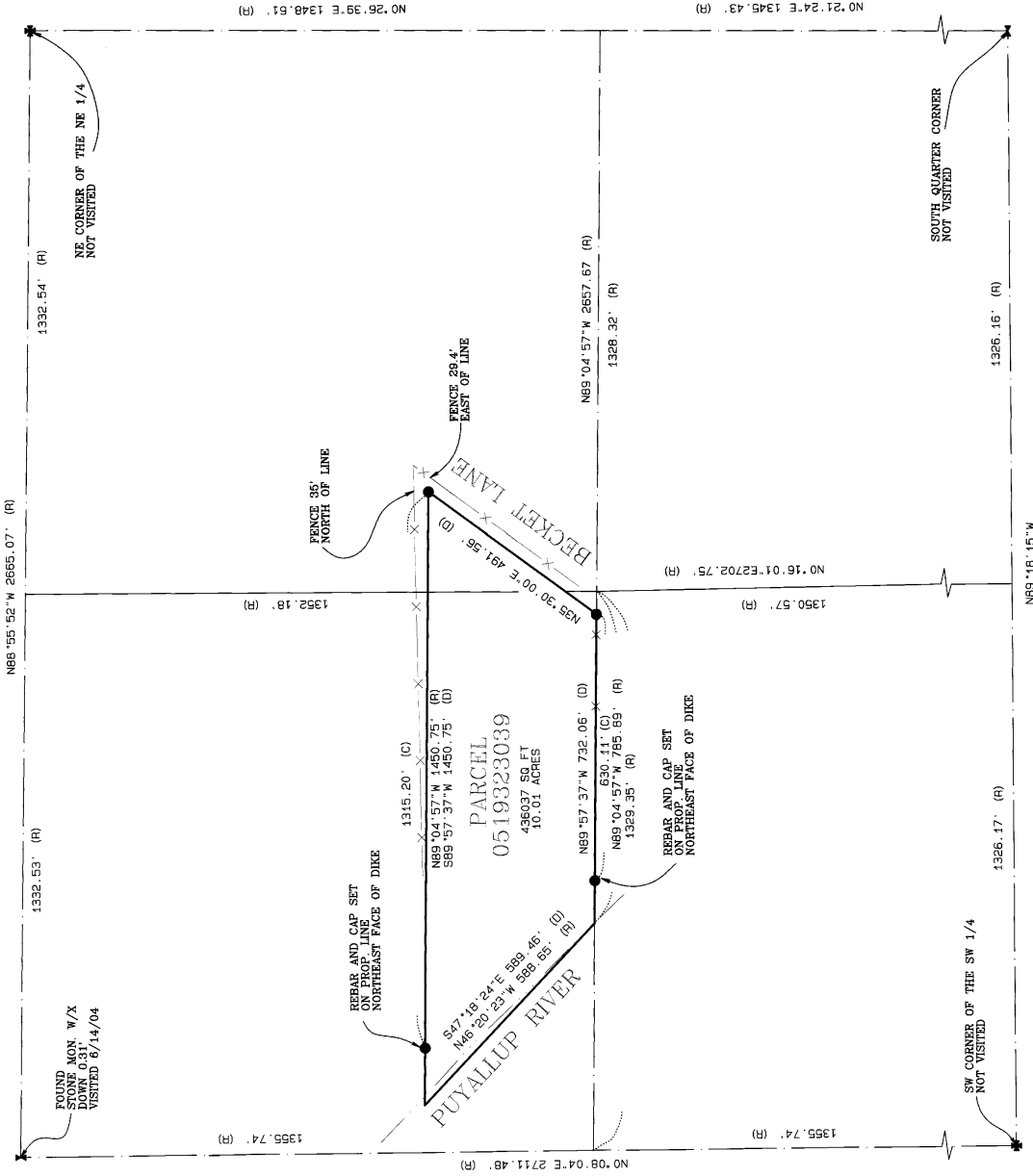
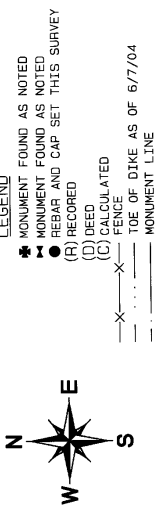
GIVEN UNDER my hand and official seal this 12 day of Feb, 2002.



Marlene Wade

Notary Public in and for the State of Washington
residing at Oelley
My appointment expires: 12-1-02

RECORD OF SURVEY
 LOCATED IN THE NW 1/4 OF THE SE 1/4 OF
 SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN
 PIERCE COUNTY, WASHINGTON



FOUND MON. W/X
DOWN
VISITED 8/14/04

REBAR AND CAP SET
ON PROP. LINE
NORTHEAST FACE OF DIKE

PARCEL
0519323039
436037 SQ. FT.
10.01 ACRES

REBAR AND CAP SET
ON PROP. LINE
NORTHEAST FACE OF DIKE

SW CORNER OF THE SW 1/4
NOT VISITED

SOUTH QUARTER CORNER
NOT VISITED

- LEGEND**
- MONUMENT FOUND AS NOTED
 - REBAR AND CAP SET THIS SURVEY
 - (R) RECORDED
 - (D) DEED
 - (C) CALCULATED
 - FENCE
 - T/OE OF DIKE AS OF 6/7/04
 - MONUMENT LINE

SURVEYORS' NOTES:

1. THIS SURVEY DOES NOT PURPORT TO SHOW EASEMENTS OF RECORD OR THE LOCATION OF UTILITIES - EXCEPT AS SHOWN.
2. THE METHOD OF MONUMENT LOCATION WAS REVERSE. THE METHOD OF MONUMENT LOCATION WAS REVERSE. THE METHOD OF MONUMENT LOCATION WAS REVERSE.
3. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS SET FORTH IN WAC 332-130.
4. AS BASIS OF BEARING: THE NORTH LINE OF THE NW 1/4 OF THE SW 1/4 AS IN R.O.S. 200101055001

THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE SURVEYING CHAPTER 58.09 RCW AND 332-130 WAC.

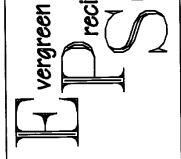
LEGAL DESCRIPTION

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON, BEING THE SOUTH LINE OF SAID SECTION 32, BEING THE WESTERLY BOUNDARY OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD; THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN TO THE WEST BANK OF THE PUYALLUP RIVER; THENCE SOUTH 45°18'24" EAST ALONG SAID RIVER BANK 589.45 FEET TO THE SOUTH LINE OF SAID NORTH HALF; THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE 732.06 FEET TO THE POINT OF BEGINNING IN ORTING, PIERCE COUNTY, WASHINGTON.

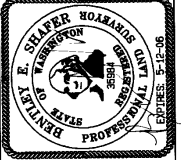
REFERENCE INFO:

R.O.S. 200101055001

GRAPHIC SCALE: 1" = 200'



Evergreen
 precision
 surveying LLC
 P.O. BOX 1121 ORTING, WA 98560 . 360-895-6779
 BentleyShafar@mail.men.com



SURVEYOR'S CERTIFICATE
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE "SURVEY RECORDING ACT" AT THE REQUEST OF BILL WILLIAMS IN JULY OF 2004.
 BENTLEY E. SHAFER
 CERTIFICATE NO. 35984

AUDITOR'S CERTIFICATE 825.00
 FILED FOR RECORD THIS 24TH DAY OF
 SEPTEMBER 2004, AT THE REQUEST
 OF BILL WILLIAMS.
 AUDITOR'S FEE NO. 2004-2-26-52022
 10:36 AM
 Deputy Auditor

RECORD OF SURVEY
 FOR: BILL WILLIAMS
 401 BECKETT LN. SW.
 ORTING WA, 98560
 DATE: 7/09/04
 JOB NO: 00580
 COPYRIGHT 2004. EVERGREEN PRECISION SURVEYING

original

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

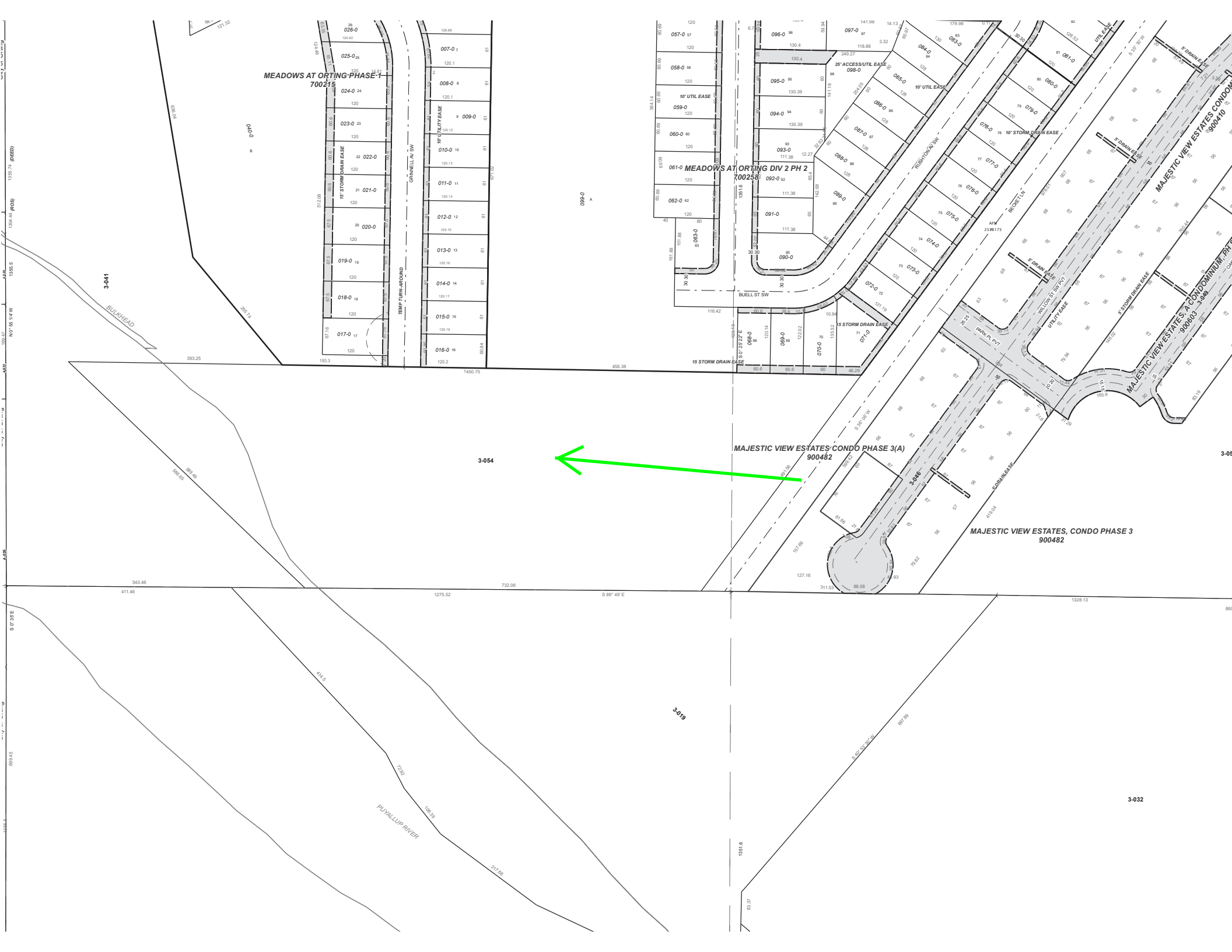
PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

Tax Parcel ID No. 0519323054



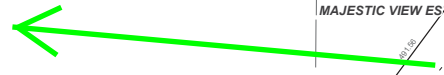
MEADOWS AT ORTING PHASE 1
700215

MEADOWS AT ORTING DIV 2 PH 2
700255

MAJESTIC VIEW ESTATES CONDO PHASE 3(A)
900482

MAJESTIC VIEW ESTATES, CONDO PHASE 3
900482

3-054



3-032

3-041
BULKHEAD

PUYALLUP RIVER

121.32
135.74 (R25)
130.47 (R25)
135.53
135.14 W
135.53
135.14 W
135.53
135.14 W
135.53

543.46
411.46
1275.52
732.06
S 89° 49' E

3-019

1351.6
63.37

3-05

86

3-032



Privacy Notice

Effective: January 1, 2020

Notice Last Updated: January 1, 2020

This Privacy Notice describes how First American Financial Corporation and its subsidiaries and affiliates (together referred to as "First American," "we," "us," or "our") collect, use, store, and share your information. This Privacy Notice applies to information we receive from you offline only, as well as from third parties. For more information about our privacy practices, please visit <https://www.firstam.com/privacy-policy/index.html>. The practices described in this Privacy Notice are subject to applicable laws in the places in which we operate.

What Type Of Information Do We Collect About You? We collect both **personal** and **non-personal information** about and from you. **Personal information** is non-public information that can be used to directly or indirectly identify or contact you. **Non-personal information** is any other type of information.

How Do We Collect Your Information? We collect your **personal** and **non-personal information**: (1) directly from you; (2) automatically when you interact with us; and (3) from third parties, including business parties and affiliates.

How Do We Use Your Information? We may use your personal information in a variety of ways, including but not limited to providing the services you have requested, fulfilling your transactions, comply with relevant laws and our policies, and handling a claim. We may use your **non-personal information** for any purpose.

How Do We Share Your Personal Information? We do not sell your **personal information** to nonaffiliated third parties. We will only share your **personal information**, including to subsidiaries, affiliates, and to unaffiliated third parties: (1) with your consent; (2) in a business transfer; (3) to service providers; and (4) for legal process and protection. If you have any questions about how First American shares your **personal information**, you may contact us at dataprivacy@firstam.com or toll free at 1-866-718-0097.

How Do We Secure Your Personal Information? The security of your **personal information** is important to us. That is why we take commercially reasonable steps to make sure your **personal information** is protected. We use our best efforts to maintain commercially reasonable technical, organizational, and physical safeguards, consistent with applicable law, to protect your **personal information**.

How Long Do We Keep Your Personal Information? We keep your **personal information** for as long as necessary in accordance with the purpose for which it was collected, our business needs, and our legal and regulatory obligations.

Your Choices We provide you the ability to exercise certain controls and choices regarding our collection, use, storage, and sharing of your **personal information**. In accordance with applicable law, your controls and choices. You can learn more about your choices, and exercise these controls and choices, by sending an email to dataprivacy@firstam.com or toll free at 1-866-718-0097.

International Jurisdictions: Our Products are hosted and offered in the United States of America (US), and are subject to US federal, state, and local law. If you are accessing the Products from another country, please be advised that you may be transferring your **personal information** to us in the US, and you consent to that transfer and use of your **personal information** in accordance with this Privacy Notice. You also agree to abide by the applicable laws of applicable US federal, state, and local laws concerning your use of the Products, and your agreements with us.

We may change this Privacy Notice from time to time. Any and all changes to this Privacy Notice will be reflected on this page, and where appropriate provided in person or by another electronic method. **YOUR CONTINUED USE, ACCESS, OR INTERACTION WITH OUR PRODUCTS OR YOUR CONTINUED COMMUNICATIONS WITH US AFTER THIS NOTICE HAS BEEN PROVIDED TO YOU WILL REPRESENT THAT YOU HAVE READ AND UNDERSTOOD THIS PRIVACY NOTICE.**

Contact Us dataprivacy@firstam.com or toll free at 1-866-718-0097.



For California Residents

If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act of 2018 ("CCPA"). All phrases used in this section shall have the same meaning as those phrases are used under California law, including the CCPA.

Right to Know. You have a right to request that we disclose the following information to you: (1) the categories of **personal information** we have collected about or from you; (2) the categories of sources from which the **personal information** was collected; (3) the business or commercial purpose for such collection and/or disclosure of your personal information; (4) the categories of third parties with whom we have shared your **personal information**; and (5) the specific pieces of your **personal information** we have collected. To submit a verified request for this information, go to our online privacy policy at www.firstam.com/privacy-policy to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at www.firstam.com/privacy-policy to submit your request or by calling toll-free at 1-866-718-0097 and submitting written proof of such authorization to dataprivacy@firstam.com.

Right of Deletion. You also have a right to request that we delete the **personal information** we have collected from you. This right is subject to certain exceptions available under the CCPA and other applicable law. To submit a verified request for deletion, go to our online privacy policy at www.firstam.com/privacy-policy to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at www.firstam.com/privacy-policy to submit your request or by calling toll-free at 1-866-718-0097 and submitting written proof of such authorization to dataprivacy@firstam.com.

Verification Process. For either a request to know or delete, we will verify your identity before responding to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the personal information requested, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right to Opt-Out. We do not sell your personal information to third parties, and do not plan to do so in the future.

Right of Non-Discrimination. You have a right to exercise your rights under California law, including under the CCPA, without suffering discrimination. Accordingly, First American will not discriminate against you in any way if you choose to exercise your rights under the CCPA.

Collection Notice. The following is a list of the categories of personal information we may have collected about California residents in the twelve months preceding the date this Privacy Notice was last updated, including the business or commercial purpose for said collection, the categories of sources from which we may have collected the personal information, and the categories of third parties with whom we may have shared the personal information:

Categories of Personal Information Collected	The categories of personal information we have collected include, but may not be limited to: real name; signature; alias; SSN; physical characteristics or description, including protected characteristics under federal or state law; address; telephone number; passport number; driver's license number; state identification card number; IP address; policy number; file number; employment history; bank account number; credit card number; debit card number; financial account numbers; commercial information; internet or other electronic network activity; geolocation data; audio and visual information; professional or employment information; and inferences drawn from the above categories to create a profile about a consumer.
Categories of Sources	Categories of sources from which we've collected personal information include, but may not be limited to: the consumer directly; public records; governmental entities; non-affiliated third parties; social media networks; affiliated third parties
Business Purpose for Collection	The business purposes for which we've collected personal information include, but may not be limited to: completing a transaction for our Products; verifying eligibility for employment; facilitating employment; performing services on behalf of affiliated and non-affiliated third parties; debugging to identify and repair errors that impair existing intended functionality on our Websites, Applications, or Products; protecting against malicious, deceptive, fraudulent, or illegal activity



Categories of Third Parties Shared	The categories of third parties with whom we've shared personal information include, but may not be limited to: advertising networks; internet service providers; data analytics providers; service providers; government entities; operating systems and platforms; social media networks; non-affiliated third parties; affiliated third parties
---	---

Categories of Personal Information We Have Sold In The Past Year. We have not sold any personal information of California residents to any third party in the twelve months preceding the date this Privacy Notice was last updated.

Categories of Personal Information Disclosed For A Business Purpose In The Past Year. The following is a list of the categories of **personal information** of California residents we may have disclosed for a business purpose in the 12 months preceding the date this Privacy Notice was last updated: The categories of personal information we have collected include, but may not be limited to: real name; signature; alias; SSN; physical characteristics or description, including protected characteristics under federal or state law; address; telephone number; passport number; driver's license number; state identification card number; IP address; policy number; file number; employment history; bank account number; credit card number; debit card number; financial account numbers; commercial information; internet or other electronic network activity; geolocation data; audio and visual information; professional or employment information; and inferences drawn from the above categories to create a profile about a consumer.

201710100309

Electronically Recorded

Pierce County, WA KEISENB
10/10/2017 11:52 AM

Pages: 2 Fee: \$75.00

AFTER RECORDING MAIL TO:

Copper Ridge, LLC
P.O. Box 73790
Puyallup, WA 98373

F.A.T.C.O.
2940371

Filed for Record at Request of:
First American Title Insurance Company

Space above this line for Recorders use only

STATUTORY WARRANTY DEED

File No: **4260-2940371 (KV)**

Date: **October 06, 2017**

Grantor(s): **Billy C. Williams and Geraldine L. Williams**
Grantee(s): **Copper Ridge, LLC**
Abbreviated Legal: **NW-SW-32-19-05E, WM, Pierce County**
Additional Legal on page: **1**
Assessor's Tax Parcel No(s): **051932-3054**

THE GRANTOR(S) Billy C. Williams and Geraldine L. Williams, husband and wife for and in consideration of **Ten Dollars and other Good and Valuable Consideration**, in hand paid, conveys, and warrants to **Copper Ridge, LLC, a Washington limited liability company**, the following described real estate, situated in the County of **Pierce**, State of **Washington**.

LEGAL DESCRIPTION: Real property in the County of Pierce, State of Washington, described as follows:

Parcel A:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Beginning at the intersection of the South line of said subdivision and the Westerly Margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence North 35°30'00" East, 60.00 feet;
thence South 89°57'37" West, 1450.75 feet to the Easterly bank of the Puyallup River;
thence South 47°18'24" East along said River Bank, 589.46 feet to the South line of said North half;
thence North 89°57'37" East along said South line, 732.06 feet to the point of beginning.

4447025 EXTX
Electronically Recorded
Pierce County, WA KEISENB
10/10/2017 11:52 AM
Pages: 1 Excise Collected: \$6,230.00
Proc. Fee: \$0.00 Tech Fee: \$5.00

APN: 051932-3054

Statutory Warranty Deed
- continued

File No.: 4260-2940371 (KV)

Parcel B:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Commencing at the intersection of the South line of said subdivision and the Westerly margin of Beckett Road;

thence North 35°30'00" East along said margin, 300.56 feet to the true point of beginning;

thence South 89°57'37" West, 300.00 feet;


thence North 35°30'00" East, 131.00 feet;

thence North 89°57'37" East, 300.00 feet;

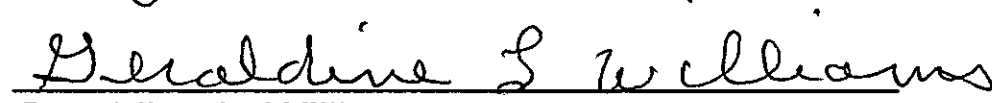
thence South 35°30'00" West, 131.00 feet to the point of beginning.

Situate in the City of Orting, County of Pierce, State of Washington.

Subject To: This conveyance is subject to covenants, conditions, restrictions and easements, if any, affecting title, which may appear in the public record, including those shown on any recorded plat or survey.



Billy C. Williams



Geraldine L. Williams

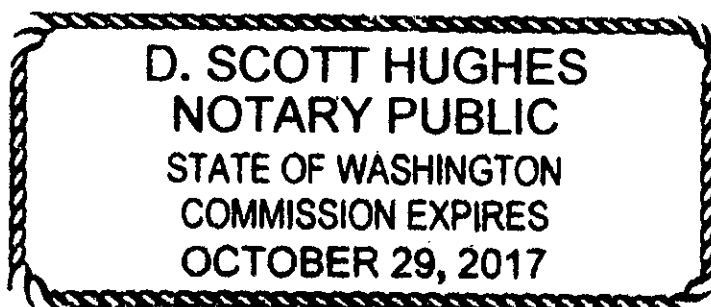
STATE OF Washington)
)-ss
COUNTY OF Pierce)

I certify that I know or have satisfactory evidence that **Billy C. Williams and Geraldine L. Williams**, is/are the person(s) who appeared before me, and said person(s) acknowledged that he/she/they signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in this instrument.

Dated: 10-9-2017



D. Scott Hughes



Notary Public in and for the State of Washington
Residing at: Puyallup
My appointment expires: 10-29-17

When recorded return to:
J&M Management
17404 Meridian E
Suite F PMB 171
Puyallup, Washington 98375

**THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS FOR
MEADOWS AT ORTING HOMEOWNERS ASSOCIATION**

Grantor:	Copper Ridge, LLC, a Washington limited liability company
Grantee:	Plat of Meadows at Orting South; Meadows at Orting Homeowners Association, a Washington nonprofit corporation; The Public
Legal Description:	Lots 1-20, inclusive and Tracts A, B, C, D and E of Meadows at Orting South Pierce County Recording No. <hr/>
Assessor's Tax Parcel/Account Number:	0519323054
Reference No(s). of Related Documents:	201308200433, 201504160509, and 201701130841

**THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS FOR MEADOWS AT
ORTING HOMEOWNERS ASSOCIATION**

This THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR MEADOWS AT ORTING HOMEOWNERS ASSOCIATION (“**Amendment**”) is made by Copper Ridge, LLC a Washington limited liability company (the “**Declarant**”). This Amendment amends the Declaration of Covenants, Conditions, and Restrictions for Meadows at Orting Homeowners Association, recorded under Pierce County recording No. 201308200433; as amended by the First Amendment recorded under Pierce County recording No. 201504160509; and amended by the Second Amendment recorded under Pierce County recording No. 201701130841. (collectively, the “**Declaration**”). All capitalized terms used and not otherwise defined in this Amendment shall have the same meaning as in the Declaration.

Pursuant to Declarant’s authority under Section 9.1 of the Declaration allowing Declarant to subject additional property to the Declaration by recording a Supplemental Declaration describing the additional property, Declarant hereby amends the Declaration as follows:

1. Additional Property Subject to Declaration. The following property is added and made subject to and governed by all provisions of the Declaration and, further, Exhibit A to the Declaration is amended to add the following legal description:

Lots 1-20, inclusive and Tracts A, B, C, D and E of Meadows at Orting South, Pierce County Recording No. _____, Pierce County, Washington.

The undersigned hereby covenants, agrees and declares that all of the Additional Property and Housing Units constructed on the Additional Property are and will be held, sold and conveyed subject to the Declaration, which are made for the purpose of enhancing and protecting the value, desirability and attractiveness of the Properties and the Additional Property for the benefit of all of the Properties, the Additional Property and the owners thereof. The covenants, restrictions, reservations and conditions contained in the Declaration and this Third Amendment shall run with the Properties and Additional Property as easements and equitable servitudes. They shall be binding upon the Properties and Additional Property and each portion thereof, and all persons owning, purchasing, leasing, subleasing or occupying any Lot/Unit on the Properties and the Additional Property, and upon their respective heirs, successors and assigns.

2. Effective Date. This Amendment shall be effective upon recording.

3. Maintenance of Area of Common Responsibility: The following property is added and made subject to Section 7.2 of the Declaration as Common Responsibility: Tracts A, B, C, and D and the 15 foot drainage/maintenance easement for permanent swale along the rear 15 feet of all lots as designated on the recorded plat maps; Tracts A, B and C are also subject to Section 7.2 (j) for the private road and shared access easement. Tract E is dedicated to the City of Orting, the Association is responsible for the split rail fencing and signs around Tract E as Common Responsibility.

4. Maintenance of Community Landscaping, Street Trees, Drainage and Signage. The landscaping and Street Trees on the Lots located along the public rights of way of the Plat (Cope Street SW and Beckett Lane SW) shall be maintained by the Association. Maintenance shall include replacement of vegetation and Street Trees as needed to comply with the City of Orting's requirements applicable to the Plat. The drainage swales in the Public Storm Drainage Easement located on the north 12 feet of Lots 1-9 and the storm pond located in Tract D (along with all pond perimeter fencing) shall be maintained by the Association in a manner which preserves their function, consistent with the City of Orting's requirements applicable to the Plat. The Association shall maintain all community-related signage required by the City of Orting related to the storm water improvements and public wetland, whether or not such signage is located in a Common Area or on a Lot. The Association is granted an easement of access across all Lots to exercise the responsibilities described herein. In the event that the Association delegates its responsibilities described in this paragraph to the Owners of the Lots on which the landscaping, Street Trees, drainage improvements and signage are located, the Association shall supervise and remain responsible for the successful performance of the responsibilities and their completion, to the satisfaction of the City of Orting, which has made the performance of these responsibilities a condition of approval of the plat. The failure of the Associate to discharge its duties in this regard shall entitle the City of Orting to exercise all remedies available to it by law, and the to exercise the remedies described in Section 5.4 of the Declaration using the powers granted by the Declaration to the Association.

5. Correction. By the execution of this document, Copper Ridge LLC ratifies and acknowledges the valid execution of the Second Amendment to the Declaration by Soundbuilt Meadows at Orting, LLC on its behalf. Designation of Soundbuilt Meadows at Orting, LLC, as Declarant, was a scrivener's error and the terms of the Second Amendment are incorporated herein by Declarant Copper Ridge, LLC for ratification and correction.

6. No Other Changes. Except as amended and supplemented above in this Amendment, the Declaration shall remain in full force and effect in accordance with its terms.

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GERALD JOHANNSEN
404 WILLOW ST SW
ORTING WA 98360

9006030020
LEAH TIHISTA
319 OAK ST SW
ORTING WA 98360

9010290390
CLIFFORD TEGGE
407 OAK ST SW
ORTING WA 98360

9010290430
GALE ROBINETTE
406 OAK ST SW
ORTING WA 98360

9004820020
RONALD ANDERSON
PO BOX 406
ORTING WA 98360

9004820050
JERZY CZARNOWSKI
411 WILLOW ST SW
ORTING WA 98360

9004820080
EDWARD SMITH
414 WILLOW ST SW
ORTING WA 98360

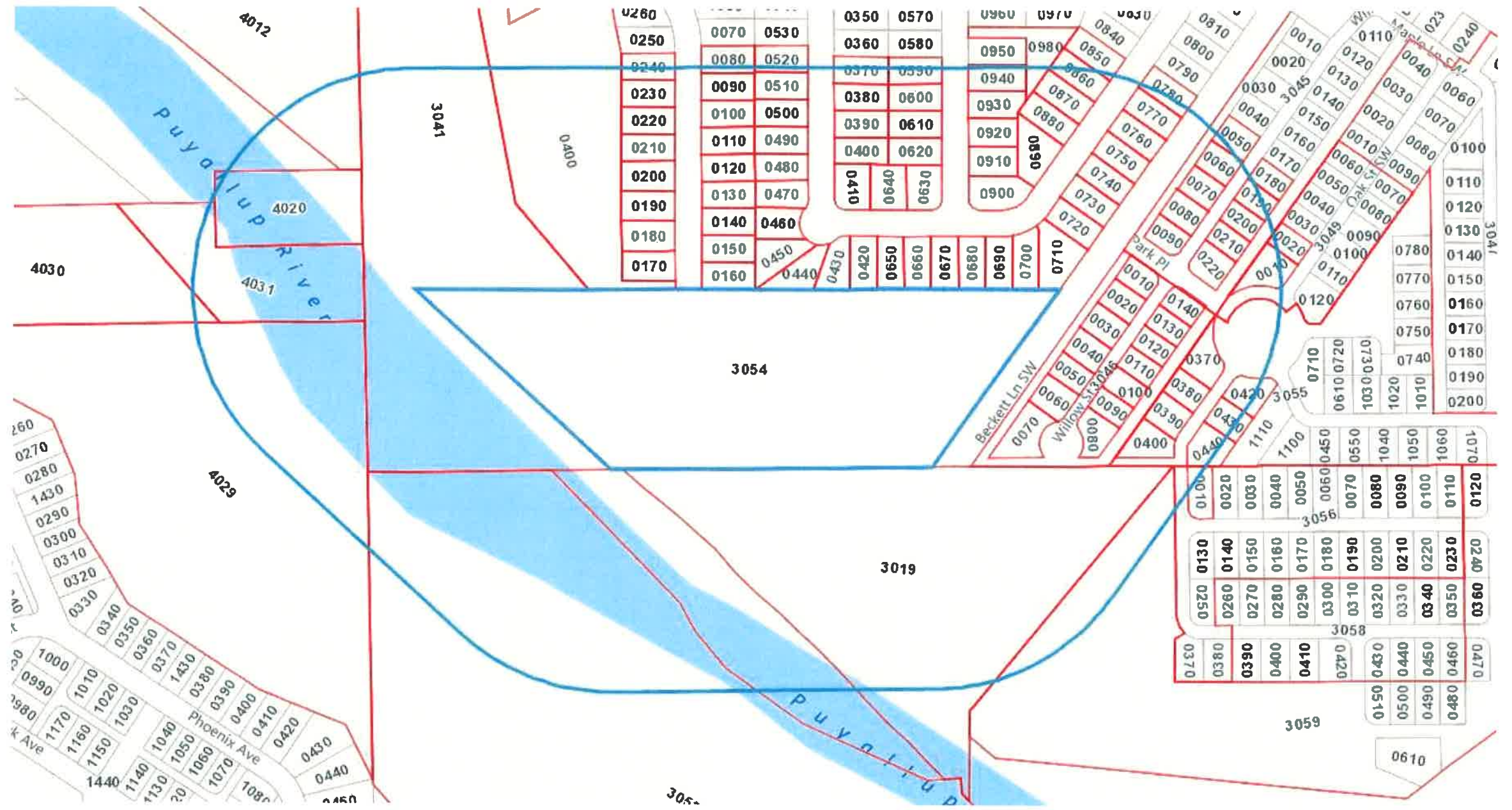
9004820110
KATHY DESHAYES
408 WILLOW ST SW
ORTING WA 98360

9004820140
GARY BRINING
402 WILLOW ST SW
ORTING WA 98360

9010290370
DARRELL JENKINSON
403 OAK ST SW UNIT 37
ORTING WA 98360

9010290400
JILL SWANSON
409 OAK ST
ORTING WA 98360

9010290440
CHARLES COLE
408 OAK ST SW
ORTING WA 98360



October 15, 2020
Parametrix No. 216-1711-020 8008.03

Mr. Greg Reed
Public Works Director
102 Bridge Street S.
Orting, WA 98360

Re: The Meadows South (Meadows Phase 4) in Orting

Dear Mr. Reed:

This letter is to serve as my acceptance of the completion of construction on The Meadows South (Meadows Phase 4) in Orting. I have verified that all punch list items have been completed. The following items remain outstanding prior to final plat:

- Landscape Bond
- Maintenance Bond
- Bill of Sale

Thank you for the opportunity to review this project.

Sincerely,

PARAMETRIX



JC Hungerford, PE

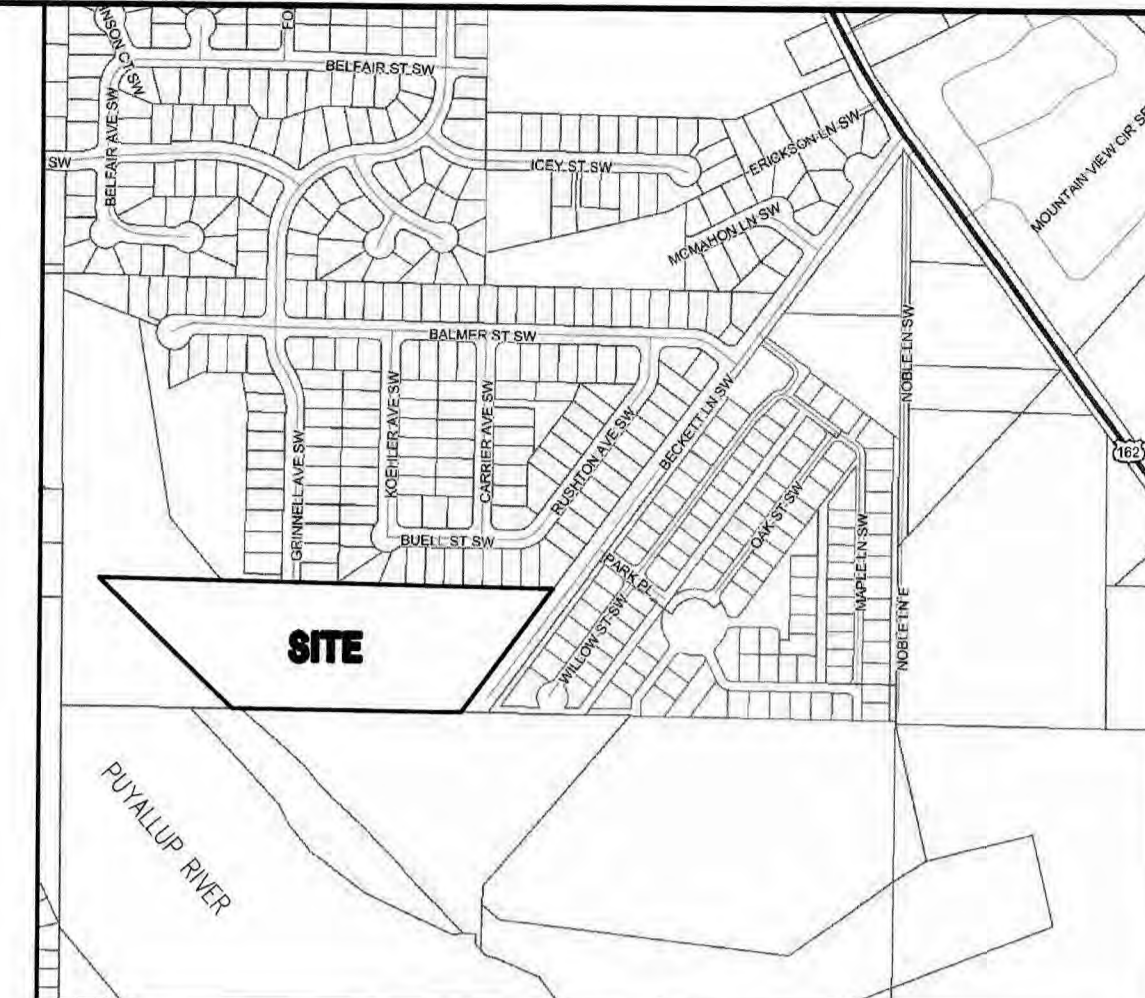
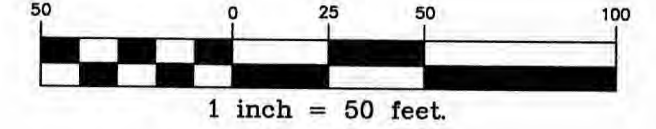
JCH:bjt

cc: Project File



MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	MONUMENT	
	MONUMENT LINE	
	PROPERTY LINE	
	RIGHT OF WAY LINE	
	EASEMENT LINE	
	BUILDING SETBACK LINE	
	CHAIN LINK FENCE	
	WOOD FENCE	
	CURB & GUTTER	
	EDGE OF DIRT ROAD	
	EDGE OF PAVEMENT	
	CONTOURS	
	STREET SIGN	
	STORM DRAIN CATCH BASIN	
	STORM DRAIN MANHOLE	
	STORM DRAIN CLEANOUT	
	STORM DRAIN LINE	
	ROOF DRAIN LINE	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	SANITARY SEWER LINE	
	SANITARY SEWER STUB	
	FIRE HYDRANT	
	WATER VALVE	
	WATER METER	
	WATER BLOW OFF	
	THRUST BLOCKING	
	WATER MAIN	
	SWALE	
	LUMINAIRE	
	POWER/UTILITY POLE	
	GUY WIRE	
	ASPHALT CONCRETE	
	ASPHALT OVERLAY	
	CEMENT CONCRETE	
	WETLAND BUFFER	

SITE STATISTICAL BREAK DOWN

EXISTING ZONING:	RESIDENTIAL-CONSERVATION (RC)
	RESIDENTIAL-URBAN (RU)
GROSS SITE AREA:	436,071 SQ. FT. (10.01 AC.)
-ROAD R.O.W.:	29,635 SQ. FT. (0.68 AC.)
NET AREA:	406,436 SQ. FT. (9.33 AC.)

ACCESS TRACTS A-C	5,828 SQ. FT. (0.13 AC.)
STORM POND TRACT D	29,705 SQ. FT. (0.68 AC.)
WETLAND/BUFFER TRACT E	211,367 SQ. FT. (4.85 AC.)

TOTAL LOTS PROPOSED:	20 LOTS
SMALLEST PROPOSED LOT:	7,260 SF
LARGEST LOT AREA:	12,648 SF
AVERAGE LOT AREA:	7,986 SF

FRONT YARD:	25 FEET
SIDE YARD:	8 FEET
SIDE STREET:	10 FEET
REAR YARD:	25 FEET
CORNER YARD:	20 FEET

MAX. BLDG. HT.:	35 FEET
MAX. COVERAGE:	30% (RU ZONING)

SITE ADDRESS

403 BECKETT LN SW
ORTING, WA 98360

PARCEL NUMBERS

0519323054

OWNER/DEVELOPER

COPPER RIDGE, LLC
PO BOX 73790
PUYALLUP, WA 98373
PHONE (253) 677-9234

SURVEY BY

C.E.S. NW INC
429 - 29TH STREET NE, SUITE D
PUYALLUP, WA 98372
(253) 848-4282

VERTICAL DATUM:

NAVD88 (PER THE WASHINGTON STATE REFERENCE NETWORK)

BASIS OF BEARING:

NAD 83-2011 (EPOCH 2010.00), WASHINGTON SOUTH ZONE

UTILITIES

SEWER:	CITY OF ORTING
WATER:	CITY OF ORTING
CABLE:	COMCAST - CENTURY LINK
TELEPHONE:	COMCAST - CENTURY LINK
REFUSE:	MURREY'S DISPOSAL
GAS:	PUGET SOUND ENERGY
SCHOOL:	ORTING SCHOOL DISTRICT
POWER:	PUGET SOUND ENERGY
FIRE:	ORTING VALLEY FIRE & RESCUE

TRENCH NOTE

IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)B, IT SHALL BE SHORED AND CRIBBED. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR WORKER SAFETY AND CES NW INC. ASSUMES NO RESPONSIBILITY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW.

FILL SPECIFICATION

FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW, ORDINANCE, CODE, REGULATION, RULE, ORDER, OR STANDARD. ONLY EARTH MATERIAL SHALL BE PLACED IN FILLS.

LEGAL DESCRIPTION

(PER FIRST AMERICAN TITLE INSURANCE COMPANY ALTA COMMITMENT NO. 4260-2940371, DATED SEPTEMBER 11, 2017)

PARCEL A

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131 FEET;
THENCE NORTH 89°57'37" EAST, 300 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

SHEET INDEX

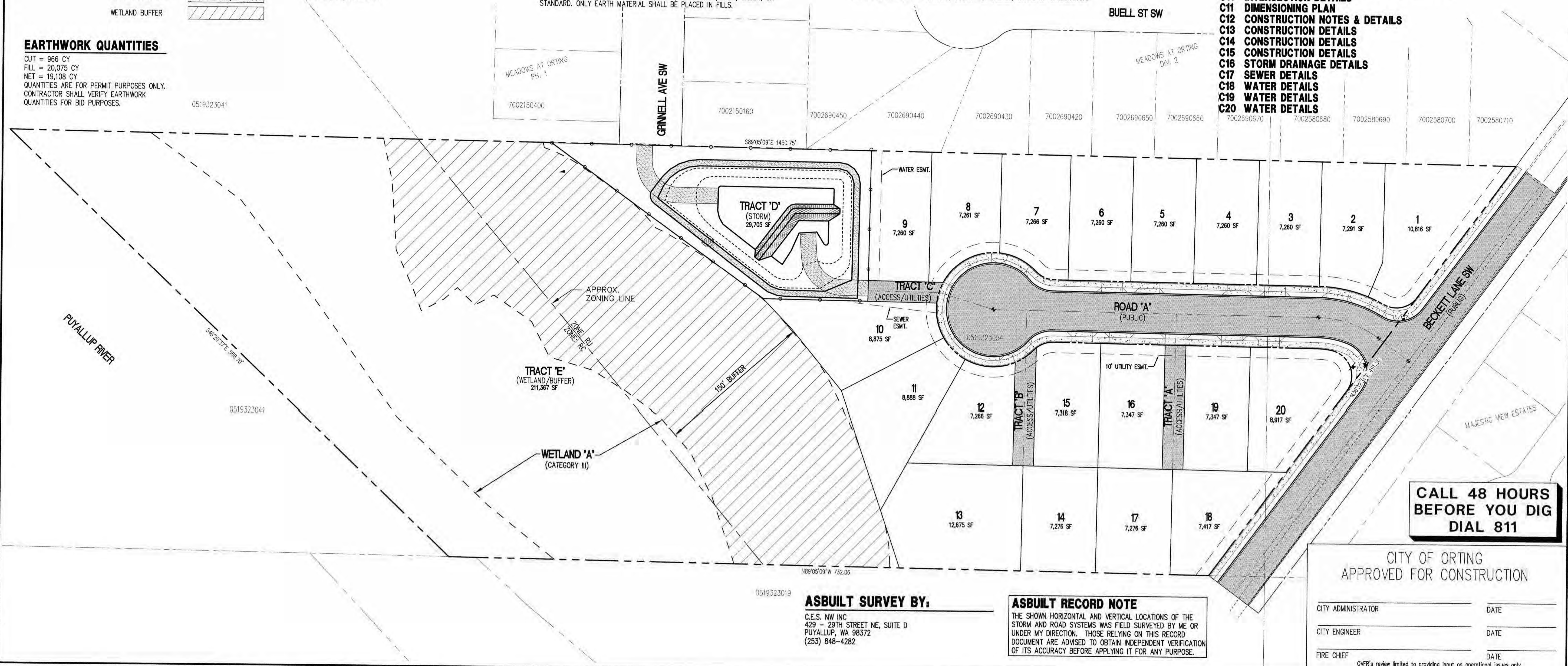
- C1 COVER SHEET
- C2 T.E.S.C. PLAN
- C3 TESC NOTES & DETAILS
- C4 ROAD 'A', TRACT 'D' ROAD & STORM PLAN & PROFILE
- C5 BECKETT LANE SW ROAD & STORM PLAN & PROFILE
- C6 STORM POND PLAN & SECTIONS
- C7 STORM POND DETAILS
- C8 ROAD 'A', TRACTS 'A', 'B', & 'D' WATER & SEWER PLAN & PROFILE
- C9 BECKETT LANE SW WATER PLAN & PROFILE
- C10 INTERSECTION DETAILS
- C11 DIMENSIONING PLAN
- C12 CONSTRUCTION NOTES & DETAILS
- C13 CONSTRUCTION DETAILS
- C14 CONSTRUCTION DETAILS
- C15 CONSTRUCTION DETAILS
- C16 STORM DRAINAGE DETAILS
- C17 SEWER DETAILS
- C18 WATER DETAILS
- C19 WATER DETAILS
- C20 WATER DETAILS

VICINITY MAP

NTS

EARTHWORK QUANTITIES

CUT = 966 CY
FILL = 20,075 CY
NET = 19,108 CY
QUANTITIES ARE FOR PERMIT PURPOSES ONLY.
CONTRACTOR SHALL VERIFY EARTHWORK QUANTITIES FOR BID PURPOSES.



CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

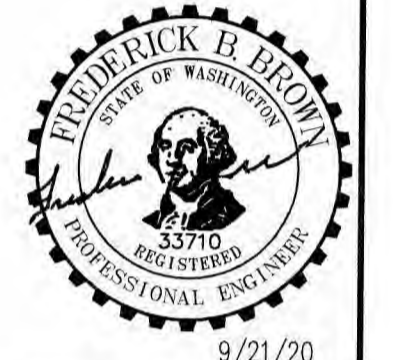
CITY ADMINISTRATOR	DATE
CITY ENGINEER	DATE
FIRE CHIEF	DATE

ASBUILT SURVEY BY:

C.E.S. NW INC
429 - 29TH STREET NE, SUITE D
PUYALLUP, WA 98372
(253) 848-4282

ASBUILT RECORD NOTE

THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4282
Fax: (253) 848-4278
ceservices@cesnwinc.com

MEADOWS AT ORTING SOUTH COVER SHEET
COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373
253-677-9234

Designed: FBB
Drawn: JEH
Checked: CAD
Scale: 1"=50'
Date: 09.21.20
Job No.: 17171
Sheet No.: **C1**
1 of 20 Sheets

Address	Comments	FBB	Int.	12/21/19	Date:

EROSION CONTROL INSPECTION SEQUENCE

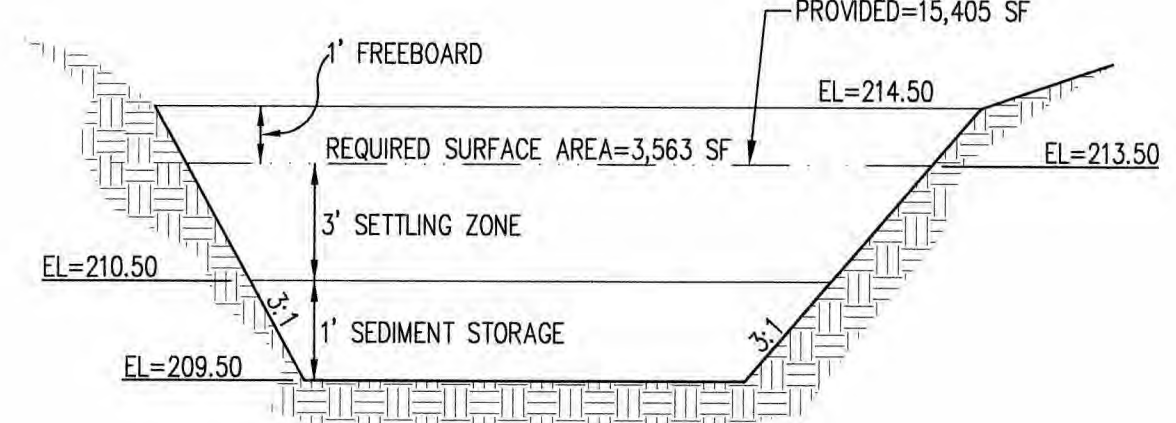
1. THE OWNER'S REPRESENTATIVE SHALL INSPECT ALL EROSION/SEDIMENTATION CONTROL METHODS. THE CONTRACTOR WILL DESIGNATE THE REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE THE NAME AND PHONE NUMBER OF THE REPRESENTATIVE AT THE PRECONSTRUCTION MEETING.
2. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL BE ADEQUATELY TRAINED IN ALL PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.
3. EROSION CONTROL, MAINTENANCE AND INSPECTION SHALL BE DONE PER THE FOLLOWING PROCEDURES:
4. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
5. ALL EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK DURING BOTH THE WET AND DRY SEASONS AND FOLLOWING ANY RUNOFF GENERATING STORM EVENT DURING THE WET SEASON (OCTOBER 31 TO APRIL 30).
6. ALL ESC MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED AS SOON AS PRACTICAL.
7. SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY EMBEDDED. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY. IF THE FILTER FABRIC IS CLOGGED, TORN, OR DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE THIRD OF THE HEIGHT OF THE FENCE. IF CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
8. CONSTRUCTION ENTRANCE PAD SHALL BE INSPECTED FOR PROPER FUNCTIONING. SEDIMENT THAT IS TRACKED OFF SITE SHALL BE SWEEP IMMEDIATELY. ANY QUARRY SPALLS THAT ARE TRACKED OFF SITE SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY. ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION. IF NECESSARY A WHEEL WASH AREA SHALL BE INSTALLED. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCE. IF NECESSARY TEMPORARY FENCING SHALL BE ADDED TO ENSURE VEHICLES USE THE CONSTRUCTION ENTRANCE.
9. CATCH BASIN INSERTS SHALL BE INSPECTED FOR TEARS AND DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM THE INSERTS WHEN IT REACHES A DEPTH OF 12-INCHES. INSERTS SHALL BE REPLACED IF TEARS ARE PRESENT. IF AN INSERT FALLS INTO THE CATCH BASIN IT SHALL BE INSPECTED AND REATTACHED OR REPLACED.
10. CATCH BASIN INLET PROTECTION SHALL BE INSPECTED FOR A CLOGGED CONDITION. REMOVE ROCKS AND REPLACE FILTER MEDIA IF CLOGGING OCCURS.
11. INSPECT TEMPORARY SWALES FOR EROSION BETWEEN DAMS. INSPECT GRASS FOR 100 PERCENT ESTABLISHMENT. RESEED AS NECESSARY. IF SIGNIFICANT EROSION OCCURS PROVIDE RIPRAP ENERGY DISSIPATION MEASURES AS NECESSARY. CHECK SWALE OUTLET FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLE AND REPAIR AS NECESSARY. CHECK THAT CONCENTRATED FLOWS ARE NOT DIRECTED TOWARD SILT FENCE. GRADE AS NECESSARY OR ADD ADDITIONAL TEMPORARY SWALES SO RUNOFF ENTERS THE TEMPORARY SWALE SYSTEM AND IS DIRECTED TO APPROVED OUTLET LOCATION.
12. CHECK DAMS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL DAM HEIGHT. INSPECT FOR EROSION AROUND THE EDGES OF THE DAM AND REPAIR AS NECESSARY.
13. INSPECT THE TEMPORARY SEDIMENT TRAP FOR DEPTH OF SEDIMENT AND DAMAGE TO SIDE SLOPES. BUILT UP SEDIMENT SHALL BE REMOVED FROM TEMPORARY SEDIMENT TRAP WHEN IT REACHES ONE FOOT IN DEPTH. DAMAGE TO SIDE SLOPES SHALL BE REPAIRED. THE STAFF GAUGE SHALL BE INSPECTED FOR PLUMB CONDITION AND VISIBLE MARKINGS. REPAIR OR REPLACE STAFF GAUGE AS NECESSARY.
14. INSPECT OUTLET ENERGY DISSIPATER, RIPRAP, FOR PROPER FUNCTION. REMOVE SEDIMENTS AND ADD ADDITIONAL ROCK AS NECESSARY.
15. INSPECT GRAVEL FILTER BERM FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF THE HEIGHT OF THE BERM. INSPECT FOR EROSION AROUND THE EDGES AND REPAIR AS NECESSARY.
16. INSPECT TEMPORARY AND PERMANENT SEEDING AND PLANTING FOR BARE SPOTS, WASHOUTS AND HEALTH GROWTH. RESEED ANY AREA THAT FAILS TO ESTABLISH AT LEAST 80 PERCENT COVER, OR PROVIDE ALTERNATIVE STABILIZATION, SUCH AS MULCHING OR PLASTIC SHEETING, PER THE EROSION CONTROL NOTES. CHECK IRRIGATION DURING DRY SEASON TO ENSURE NO RUNOFF IS CREATED.
17. MULCHING SHALL BE INSPECTED TO VERIFY THAT THE PROPER THICKNESS IS MAINTAINED AND EROSION IS NOT OCCURRING. ADD ADDITIONAL MULCH TO MAINTAIN PROPER THICKNESS. FIX DRAINAGE PROBLEMS CONTRIBUTING TO EROSION AND REMULCH OR PROTECT WITH AN EROSION NET/BLANKET.
18. PLASTIC SHEETING SHALL BE INSPECTED FOR TEARS, OPEN SEAMS, DISLODGED ENDS, AND DETERIORATION DUE TO ULTRAVIOLET RADIATION. TORN AND DETERIORATED SHEETS SHALL BE REPLACED. OPEN SEAMS SHALL BE REPAIRED. DISLODGED ENDS SHALL BE SECURED.
19. ADDITIONAL EROSION CONTROL FACILITIES SHALL BE PROVIDED AS WARRANTED. IF NECESSARY, THE ENGINEER SHALL INSTRUCT THE CONTRACTOR TO PROVIDE ADDITIONAL FACILITIES AS WARRANTED DURING FIELD INSPECTIONS.

MEADOWS AT ORTING SOUTH

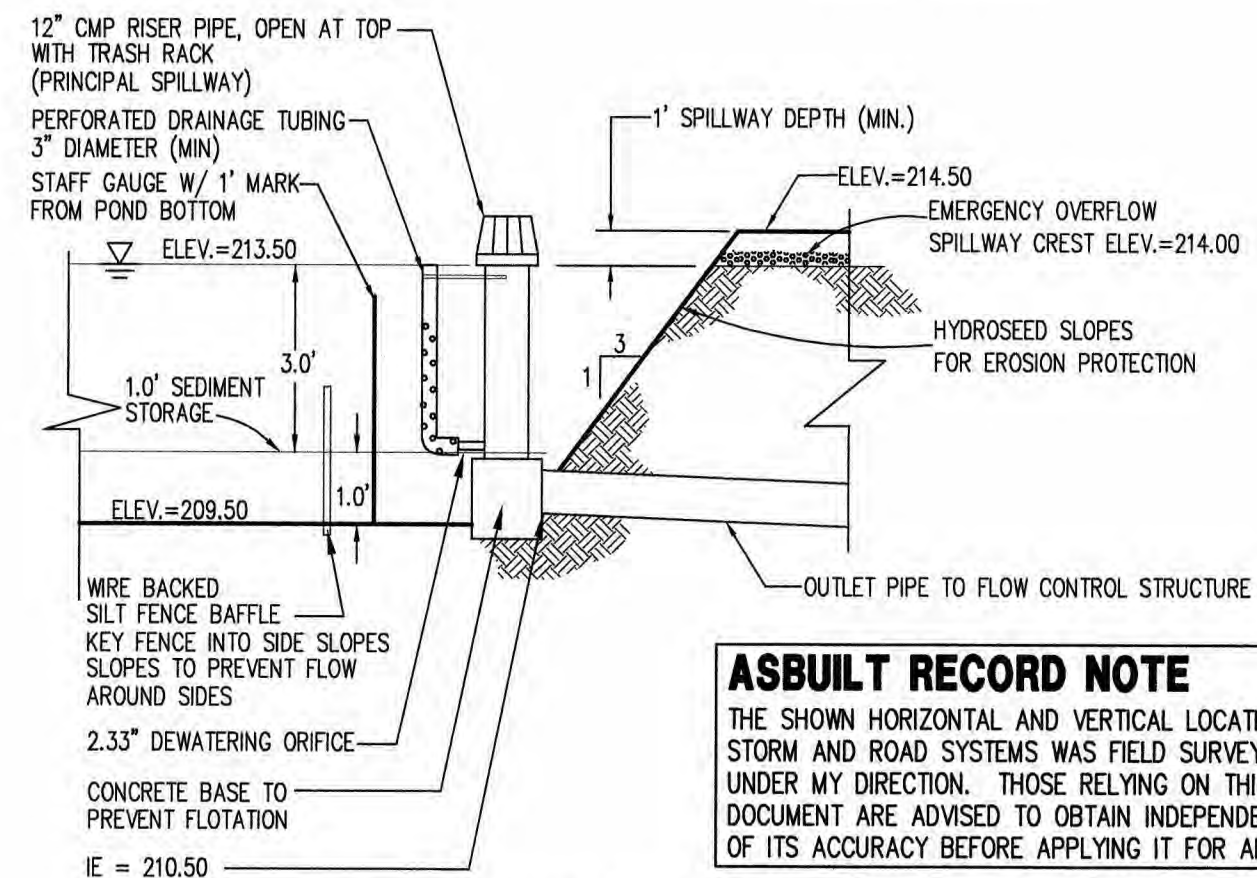
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S1E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

TREE PROTECTION NOTES

- A. A TREE PROTECTION AREA SHALL BE DESIGNED TO PROTECT EACH TREE OR TREE STAND DURING SITE DEVELOPMENT AND CONSTRUCTION.
- (1) THE TREE PROTECTION AREAS SHALL CONFORM TO THE APPROVED TREE CONSERVATION PLAN; AND
 - (2) ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE AND/OR INSTALLED PRIOR TO GRADING, CLEARING OR OTHER VEGETATION REMOVAL.
- B. TREE PROTECTION AREAS MAY VARY WIDELY IN SHAPE, BUT MUST EXTEND A MINIMUM OF 5 FEET BEYOND THE EXISTING TREE CANOPY AREA ALONG THE OUTER EDGE OF THE TREE STAND, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT.
- C. TREE PROTECTION AREAS SHALL BE IDENTIFIED AND CLEARLY LABELED ON ALL APPLICABLE SITE DEVELOPMENT, PLATS, AND CONSTRUCTION DRAWINGS, SUBMITTED TO THE DEPARTMENT.
- D. TEMPORARY CONSTRUCTION FENCING AT LEAST 30 INCHES TALL SHALL BE ERECTED ALONG THE OUTER EDGE AND COMPLETELY SURROUNDING THE TREE PROTECTION AREA PRIOR TO ANY SITE CLEARING GRADING. THE FENCING SHALL BE POSTED WITH SIGNAGE CLEARLY IDENTIFYING THE TREE PROTECTION AREA. THE FENCING SHALL REMAIN IN PLACE THROUGH SITE DEVELOPMENT AND CONSTRUCTION.
- E. NO CLEARING, GRADING, FILLING, OR OTHER DEVELOPMENT ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION AREA, EXCEPT WHERE APPROVED IN ADVANCE BY THE PLANNING AND LAND SERVICES DEPARTMENT AND NOTED IN THE TREE CONSERVATION PLAN.
- F. NO VEHICLES, CONSTRUCTION MATERIALS, FUEL, OR OTHER MATERIALS SHALL BE PLACED IN TREE PROTECTION AREAS. MOVEMENT OF ANY VEHICLES WITHIN TREE PROTECTION AREAS SHALL BE PROHIBITED.
- G. NO NAILS, ROPE, CABLE, SIGNS, OR FENCING SHALL BE ATTACHED TO ANY TREE PROPOSED FOR RETENTION, UNLESS TREE TAGGING HAS BEEN AUTHORIZED.
- H. IF THE GRADE LEVEL AROUND A TREE IS TO BE RAISED, A DRY ROCK WALL OR ROCK WELL SHALL BE CONSTRUCTED AROUND THE TREE. THE DIAMETER OF THIS WALL OR WELL MUST BE AT LEAST EQUAL TO THE DIAMETER OF THE TREE PLUS AN ADDITIONAL 5 FEET.



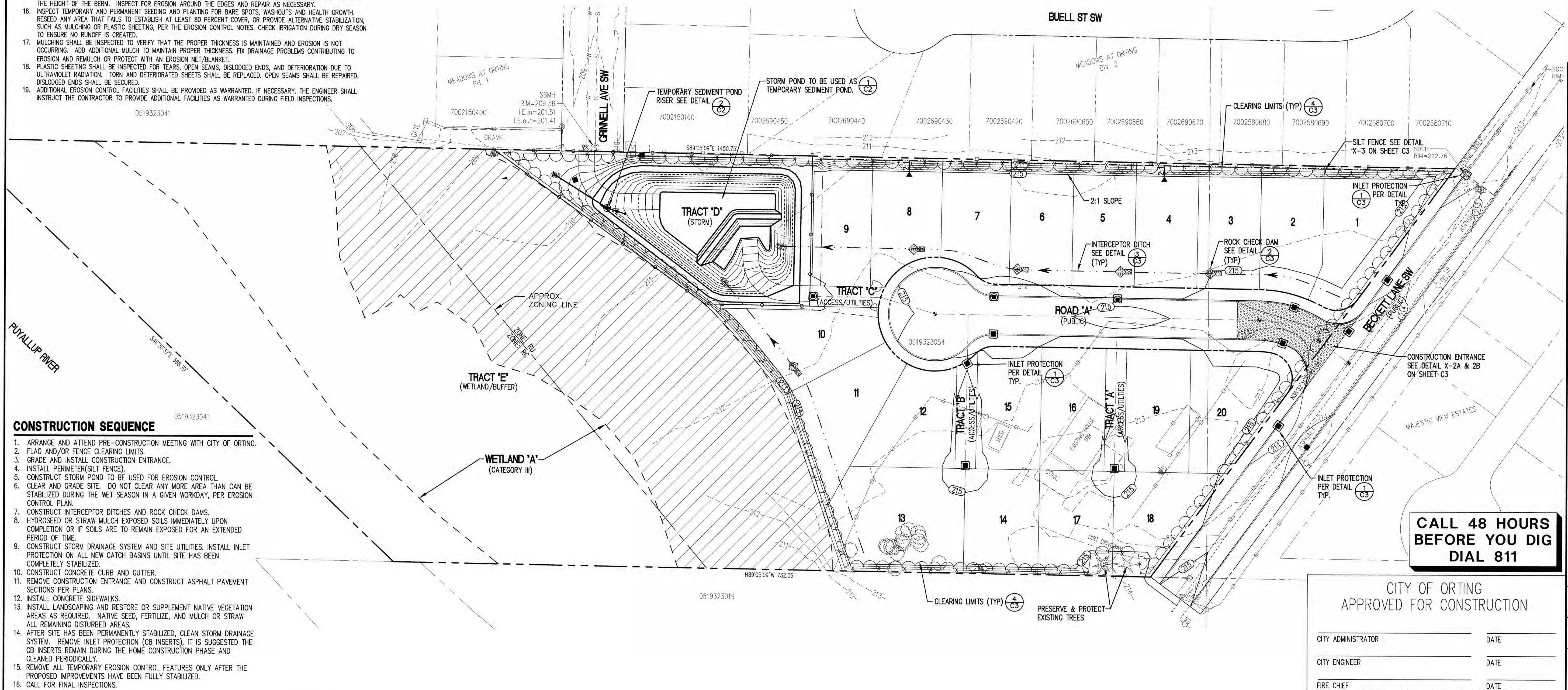
1 SEDIMENT POND TYPICAL SECTION
NTS



2 SEDIMENT POND RISER DETAIL
NTS

ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.

NOTE: SEDIMENT MUST BE REMOVED FROM POND WHEN IT REACHES 1 FOOT IN DEPTH.



CONSTRUCTION SEQUENCE

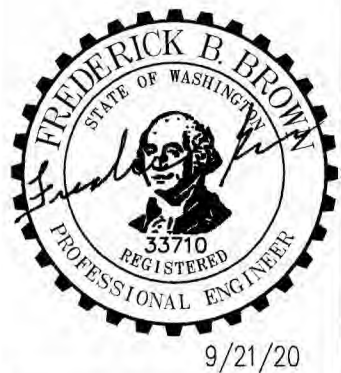
1. ARRANGE AND ATTEND PRE-CONSTRUCTION MEETING WITH CITY OF ORTING.
2. FLAG AND/OR FENCE CLEARING LIMITS.
3. GRADE AND INSTALL CONSTRUCTION ENTRANCE.
4. INSTALL PERIMETER (SILT FENCE).
5. CONSTRUCT STORM POND TO BE USED FOR EROSION CONTROL.
6. CLEAR AND GRADE SITE. DO NOT CLEAR ANY MORE AREA THAN CAN BE STABILIZED DURING THE WET SEASON IN A GIVEN WORKDAY, PER EROSION CONTROL PLAN.
7. CONSTRUCT INTERCEPTOR DITCHES AND ROCK CHECK DAMS.
8. HYDROSEED OR STRAW MULCH EXPOSED SOILS IMMEDIATELY UPON COMPLETION OR IF SOILS ARE TO REMAIN EXPOSED FOR AN EXTENDED PERIOD OF TIME.
9. CONSTRUCT STORM DRAINAGE SYSTEM AND SITE UTILITIES. INSTALL INLET PROTECTION ON ALL NEW CATCH BASINS UNTIL SITE HAS BEEN COMPLETELY STABILIZED.
10. CONSTRUCT CONCRETE CURB AND GUTTER.
11. REMOVE CONSTRUCTION ENTRANCE AND CONSTRUCT ASPHALT PAVEMENT SECTIONS PER PLANS.
12. INSTALL CONCRETE SIDEWALKS.
13. INSTALL LANDSCAPING AND RESTORE OR SUPPLEMENT NATIVE VEGETATION AREAS AS REQUIRED. NATIVE SEED, FERTILIZE, AND MULCH OR STRAW ALL REMAINING DISTURBED AREAS.
14. AFTER SITE HAS BEEN PERMANENTLY STABILIZED, CLEAN STORM DRAINAGE SYSTEM. REMOVE INLET PROTECTION (CB INSERTS), IT IS SUGGESTED THE CB INSERTS REMAIN DURING THE HOME CONSTRUCTION PHASE AND CLEANED PERIODICALLY.
15. REMOVE ALL TEMPORARY EROSION CONTROL FEATURES ONLY AFTER THE PROPOSED IMPROVEMENTS HAVE BEEN FULLY STABILIZED.
16. CALL FOR FINAL INSPECTIONS.

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR	DATE
CITY ENGINEER	DATE
FIRE CHIEF	DATE

CALL 48 HOURS BEFORE YOU DIG DIAL 811

No.	ADDRESS	COMMENTS	Revision:	Date:
				12/27/19
				FBB
				Int.



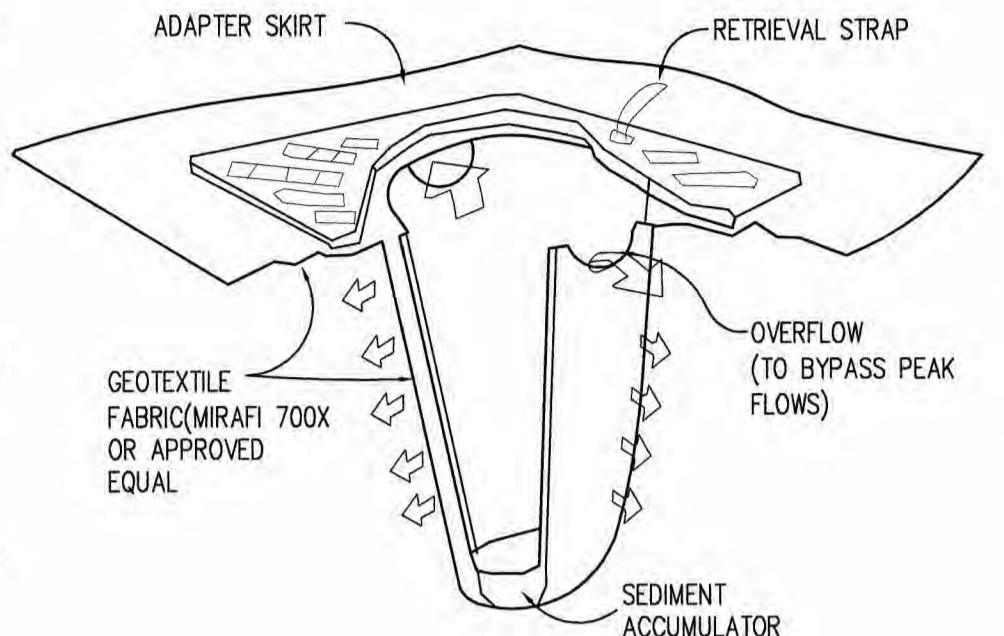
C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
P.O. BOX 73790, PUYALLUP, WA 98373
Phone: (253) 848-4282
Fax: (253) 848-4278
cesnw@cesnwinc.com

MEADOWS AT ORTING SOUTH T.E.S.C. PLAN
Project: MEADOWS AT ORTING SOUTH T.E.S.C. PLAN
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD
Scale: 1"=50'
Date: 09.21.20
Job No.: 17171
Sheet No.: **C2**
2 of 20 Sheets

GRADING, EROSION AND SEDIMENTATION CONTROL NOTES

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK ON THE PROJECT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.



PROVIDE CB INSERT "STREAMGUARD FOR SEDIMENT" OR APPROVED EQUAL. MANUFACTURER'S NAME: FOSS ENVIRONMENTAL. ADDRESS: 200 SW MICHIGAN STREET SEATTLE, WA 98106. TELEPHONE: FOR INFORMATION: (800) 909-3677

1 CB SEDIMENT PROTECTION NTS

MULCHING NOTES

- MULCH MATERIALS USED SHALL BE STRAW AND SHALL BE APPLIED AT THE RATE OF 1.5 TO 2.5 TONS/ACRE MIN 2" THICK.
- MULCHES SHALL BE APPLIED IN ALL AREAS WITH EXPOSED SLOPES GREATER THAN 2:1.
- MULCHING SHALL BE USED IMMEDIATELY AFTER SEEDING OR IN AREAS WHICH CANNOT BE SEEDING BECAUSE OF THE SEASON.
- ALL AREAS NEEDING MULCH SHALL BE COVERED BY NOVEMBER FIRST (1).

STRAW/HAY BALE BARRIER NOTES

- BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ADJUTING ONE ANOTHER.
- ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH BINDINGS ORIENTED AROUND THE SIDES RATHER THAN THE TOPS AND BOTTOMS OF THE BALES. THIS WILL PREVENT RAPID DEGRADATION OF THE BINDINGS.
- THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE LENGTH AND WIDTH OF THE PROPOSED BARRIER TO A DEPTH OF AT LEAST 4 INCHES. AFTER THE BALES ARE STAKED AND CRACKS BETWEEN BALES CHIMED WITH EXTRA STRAW AS NECESSARY, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
- EACH BALE SHALL BE ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARDS THE PREVIOUSLY LAID BALE IN ORDER TO FORCE THE BALES TOGETHER.

INLET PROTECTION NOTES

- PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, SO THAT THE OPEN ENDS FACE OUTWARD, NOT UPWARD. THE ENDS OF ADJACENT BLOCKS SHALL ABUT. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF BLOCKS THAT ARE 4 INCHES, AND 12 INCHES WIDE. THE ROW OF BLOCKS SHALL BE AT LEAST 12 INCHES BUT NO GREATER THAN 24 INCHES HIGH.
- PLACE WIRE MESH OVER THE OUTSIDE VERTICAL FACE (OPEN END) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE BLOCKS. USE HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS.
- PILE STONE AGAINST THE WIRE MESH TO THE TOP OF THE BLOCKS. USE 3/4- TO 3- INCH GRAVEL.
- PLACE WIRE MESH OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. USE HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, OVERLAP THE STRIPS. PLACE FILTER FABRIC OVER WIRE MESH.
- PLACE 3/4 INCH GRAVEL OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. EXTEND THE STONE BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY FROM THE INLET AND CLEANED OR REPLACED.

TEMPORARY DIKE AND SWALE NOTES

- SEED AND MULCH SHALL BE APPLIED WITHIN 5 DAYS OF DIKE CONSTRUCTION (SEE VEGETATION).
- THE UPSLOPE SIDE OF THE DIKE SHALL PROVIDE POSITIVE DRAINAGE TO THE DIKE OUTLET.
- NO EROSION SHALL OCCUR AT THE DIKE OUTLET. PROVIDE ENERGY DISSIPATION MEASURES AS NECESSARY.
- SEDIMENT LADEN RUNOFF MUST BE RELEASED THROUGH A SEDIMENT TRAPPING FACILITY SUCH AS A POND, TRAP, OR SILT FENCE AS APPROPRIATE TO DRAINAGE AREA SIZE.

TEMPORARY GRAVEL OUTLET NOTES

- GRAVEL SHALL BE 5/8 INCH MINUS WASHED ROCK. A LAYER OF FILTER FABRIC SHALL BE EMBEDDED IN THE GRAVEL.
- MINIMUM LENGTH IN FEET OF THE GRAVEL OUTLET STRUCTURE SHALL BE EQUAL TO SIX (6) TIMES THE NUMBER OF ACRES OF CONTRIBUTING DRAINAGE AREA.
- THE INVERT OF THE GRAVEL OUTLET SHALL NOT BE LESS THAN 6 INCHES LOWER THAN THE MINIMUM ELEVATION OF THE TOP OF THE DIKE.
- WATER SHALL BE DISCHARGED FROM THE GRAVEL OUTLET ONTO AN ALREADY STABILIZED AREA OR INTO A STABLE WATERCOURSE.
- THE GRAVEL OUTLET STRUCTURE SHALL BE INSPECTED BY THE CONTRACTOR OR DESIGNEE AND REPAIRED AFTER EACH RAINFALL-PRODUCING RAIN. THE GRAVEL MUST BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SEDIMENT ACCUMULATION IN THE GRAVEL.

MEADOWS AT ORTING SOUTH

SOD NOTES

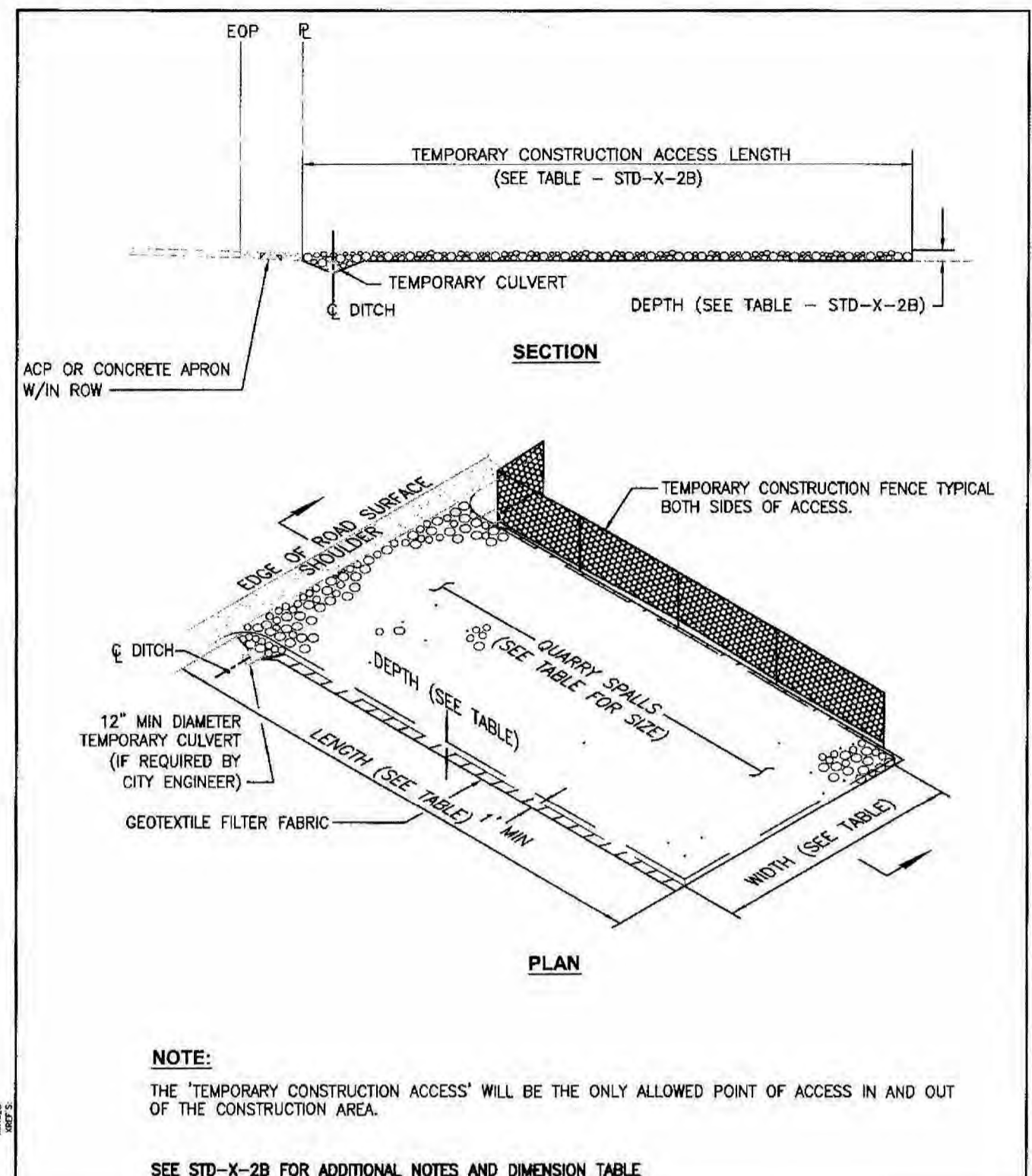
- SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4- INCH AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED BY THE END OF A 3 FOOT SECTION.
- SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

PLASTIC COVERING NOTES

- PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 6 MILS AND SHALL MEET THE REQUIREMENTS OF THE STATE STANDARD SPECIFICATIONS SECTION 9-14.5.
- COVERING SHALL BE INSTALLED AND MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10-FOOT GRID SPACING IN ALL DIRECTIONS. ALL SEAMS SHALL BE TAPED OR WEIGHTED DOWN FULL LENGTH AND THERE SHALL BE A LEAST A 12 INCH OVERLAP OF ALL SEAMS.
- CLEAR PLASTIC COVERING SHALL BE INSTALLED IMMEDIATELY ON AREAS SEEDING BETWEEN NOVEMBER 1 AND MARCH 31 AND REMAIN UNTIL VEGETATION IS FIRMLY ESTABLISHED.
- WHEN THE COVERING IS USED ON UN-SEEDING SLOPES, IT SHALL BE KEPT IN PLACE UNTIL THE NEXT SEEDING PERIOD.
- PLASTIC COVERING SHEETS SHALL BE BURIED TWO FEET AT THE TOP OF SLOPES IN ORDER TO PREVENT SURFACE WATER FLOW BENEATH SHEETS.
- PROPER MAINTENANCE INCLUDES REGULAR CHECKS FOR RIPS AND DISLOADED ENDS.

CHECK DAM NOTES

- THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
- ROCK CHECK DAMS SHALL BE CONSTRUCTED OF 2 TO 4 INCH DIAMETER QUARRY SPALLS. THE QUARRY SPALLS MUST BE PLACED BY HAND OR MECHANICAL PLACEMENT (NO DUMPING OF SPALLS TO FORM DAM) TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
- LOG CHECK DAMS SHALL BE CONSTRUCTED OF 4 TO 6 INCH DIAMETER LOGS. THE LOGS SHALL BE EMBEDDED INTO THE SOIL AT LEAST 18 INCHES.
- IN THE CASE OF GRASS-LINED DITCHES AND SWALES, CHECK DAMS SHALL BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMS SHALL BE SEEDING AND MULCHED IMMEDIATELY AFTER DAM REMOVAL.
- CHECK DAMS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL DAM HEIGHT OR BEFORE.



CITY OF ORTING
TEMPORARY CONSTRUCTION ACCESS
SCALE: NO SCALE
APPROVAL DATE:
DRAWING NO. X-2A
FILE NAME: STD-X-2A

DESCRIPTION	TEMPORARY CONSTRUCTION ENTRANCE CRITERIA FOR TESC, GRADE & FILL, SITE WORK & BUILDING CONSTRUCTION				CATEGORY
	TYPE 1	TYPE 2	TYPE 3	TYPE 4	
SITE SIZE IN ACRES	<1.0	1.0 to 3.0	3.0 to 6.0	>6.0	SITE SIZE CRITERIA
VOLUME OF CUT & FILL (CY)	<2,500	<20,000	<100,000	>100,000	
MINIMUM WIDTH IN FEET	15	24	24	30	GEOMETRY & DIMENSIONS OF ENTRANCE
MIN DEPTH OF SPALLS (INCHES)	6	12	12	18	
MIN LENGTH OF SPALL ENTRANCE	50	75	100	150	ENTRANCE
MIN RETURN ROAD SET (FT)	0	30	35	40	
DEPTH OF ACP APPROACH IN ROW	3	4	6	6	MATERIAL SPECIFICATIONS FOR ENTRANCE
TYPE OF ACP FOR APPROACHES	CLASS "B"	CLASS "B"	CLASS "B"	CLASS "B"	
CONCRETE APPROACH THICKNESS	6	6	7	7	RIGHT-OF-WAY
TYPE OF CONCRETE CEMENT	6 SACK-1 1/2	6 SACK-1 1/2	6 SACK-1 1/2	6 SACK-1 1/2	
28 DAY OF STRENGTH OF CONC	4,000 lb	4,000 lb	4,000 lb	4,000 lb	RIGHT-OF-WAY
CONC CEMENT REINFORCEMENT	#4@12"EW	#5@12"EW	#5@12"EW	#5@12"EW	
GEOTEXTILE REQUIRED	YES	YES	YES	YES	RIGHT-OF-WAY
SIZE OF QUARRY SPALLS	2" - 4"	4" - 6"	4" - 6"	4" - 6"	

PURPOSE:
THE PURPOSE OF CONSTRUCTION ENTRANCES IS TO REDUCE THE AMOUNT OF SEDIMENT TRACKED OFF-SITE BY CONSTRUCTION VEHICLES, PROTECTION OF THE CITY'S STORM DRAINAGE SYSTEM FROM UN-DUE AMOUNTS OF SEDIMENT AND PROTECTION OF THE CITY'S STREETS AND ROADS. AN ACP OR CONCRETE APPROACH WITHIN THE LIMITS OF THE RIGHT-OF-WAY PROTECTS THE CITY STREET AND REDUCES THE POTENTIAL OF ROCKS GETTING ONTO THE STREETS.

NOTES:
1. ACP WILL BE USED WITHIN THE RIGHT-OF-WAY WHERE THE STREET IS WITHOUT CURB & GUTTER.
2. FOR ACCESS OFF IMPROVED STREETS, PROVIDE CONCRETE DRIVEWAY IN ROW AS SPECIFIED IN THE TABLE.
3. CURB CUTS SHALL MEET THE SAME MATERIAL REQUIREMENTS AS CONCRETE DRIVEWAY APPROACHES.
4. FOR ACP APPROACHES, EDGE OF ROAD SHALL BE SAW CUT, EDGE TRACKED AND JOINT SEALED WITH AR4000.

DESIGN AND INSTALLATION SPECIFICATIONS:
1. SEE PAGE 1 OF THIS CITY STANDARD (DETAIL _____) FOR LAYOUT OF ENTRANCE.
2. GEOTEXTILE SHALL BE PLACED UNDER THE SPALLS TO PREVENT FINE SEDIMENTS FROM PUMPING UP INTO THE ROCK PAD. THE FABRIC SHALL CONFORM TO WSDOT STANDARD SPECIFICATION 9-33, TABLE 3 FOR SOIL STABILIZATION FABRIC.
3. FENCING SHALL BE INSTALLED AS NECESSARY TO RESTRICT TRAFFIC TO THE CONSTRUCTION ENTRANCE.
4. LOCATION OF CONSTRUCTION ENTRANCE SHALL BE APPROVED BY THE CITY ENGINEER. TYPE 1 AND 2 SITES WILL GENERALLY BE ALLOWED ONLY ONE ENTRANCE.
5. TRUCK ROUTES FOR TYPE 2, 3, AND 4 SITES SHALL BE SUBMITTED WITH THE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.
6. PERMITTEE SHALL POST PERFORMANCE BOND FOR TYPE 2, 3, AND 4 SITES.

MAINTENANCE STANDARDS:
1. QUARRY SPALLS SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, ALTERNATIVE/ADDITIONAL MEASURES SHALL BE REQUIRED WHICH MAY INCLUDE STREET SWEEPING, INCREASING DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH.
3. ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP IN THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
4. DIRT TRACKED ONTO THE STREETS SHALL BE REMOVED BY SWEEPERS. WATER TRUCKS MAY BE USED AS A SECONDARY MEASURE TO COMPLETE THE CLEANING IF NECESSARY.

CITY OF ORTING
TEMPORARY CONSTRUCTION ACCESS NOTES
SCALE: NO SCALE
APPROVAL DATE:
DRAWING NO. X-2B
FILE NAME: STD-X-2B

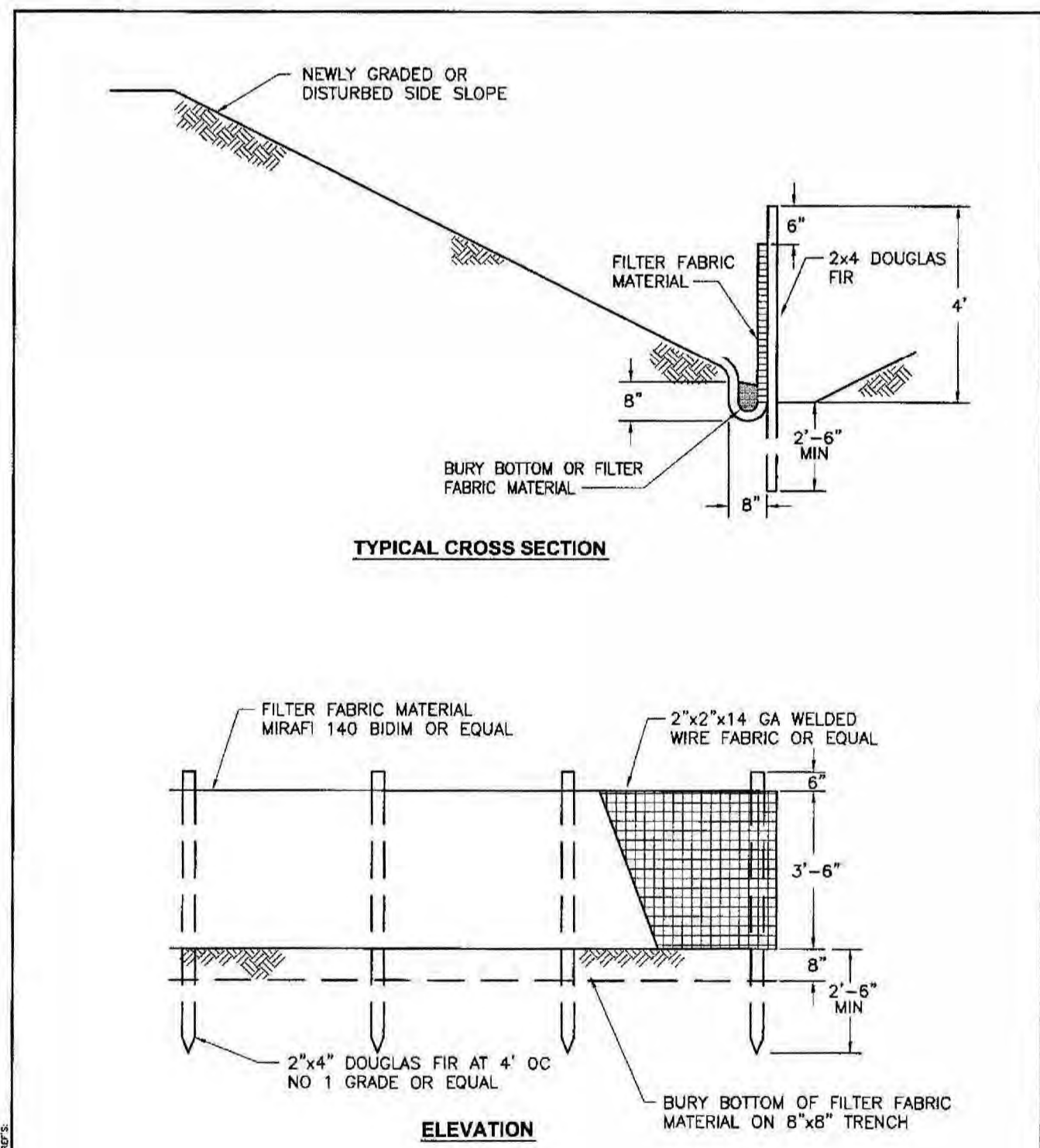
TEMPORARY SEEDING NOTES FOR EROSION CONTROL

PER BMP C120 (TEMPORARY AND PERMANENT SEEDING) OF THE 2012 WASHINGTON STATE DEPARTMENT OF ECOLOGY DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.

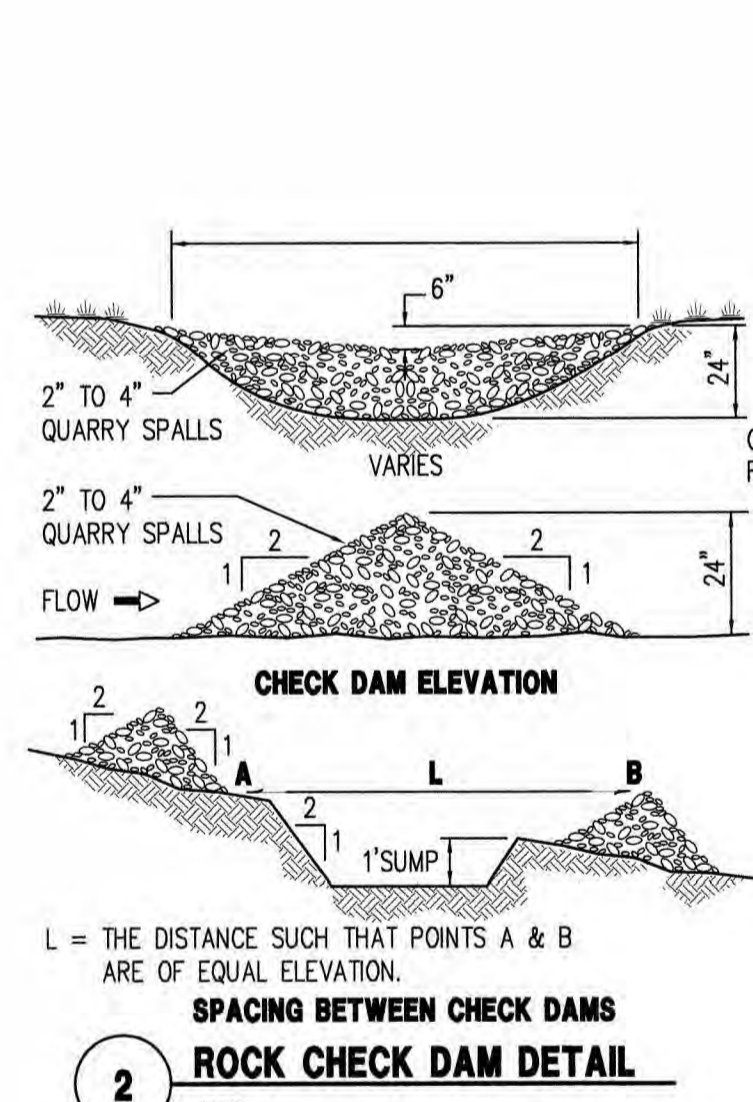
- BEFORE SEEDING, INSTALL NEEDED SURFACE RUNOFF CONTROL MEASURES SUCH AS GRADIENT TERRACES, INTERCEPTOR DIKES, SWALES, LEVEL SPREADERS AND SEDIMENTATION BASINS.
- THE SEEDBED SHALL BE FIRM WITH A FAIRLY FINE SURFACE, FOLLOWING SURFACE ROUGHENING.
- TEMPORARY SEEDING SHALL BE THE FOLLOWING MIXTURE APPLIED VIA BROADCAST APPLICATION:
 - 40% CHEWINGS FESCUE (FESTUCA RUBRA VAR. COMMUTATA OR POD ANNA)
 - 50% PERENNIAL RYE (LOLIUM PERENNE)
 - 10% REDTOP OR COLONIAL BENTGRASS (AGROSTIS ALBA OR AGROSTIS TENUIS)
 - SEED MIX SHALL NOT CONTAIN CLOVER (TRIFOLIUM REPENS)
 - ALTERNATIVE SEED MIXES APPROVED BY THE ENGINEER MAY BE USED.
- TEMPORARY SEED INSTALLED BY HAND SHALL BE:
 - COVERED BY STRAW, MULCH, OR TOPSOIL
 - APPLIED AT A RATE OF 120 POUNDS PER ACRE, WHICH CAN BE REDUCED IF SOIL AMENDMENTS OR SLOW-RELEASE FERTILIZERS ARE USED.
- THE OPTIMUM SEEDING WINDOWS FOR WESTERN WASHINGTON ARE APRIL 1 THROUGH JUNE 30 AND SEPTEMBER 1 THROUGH OCTOBER 1.
- SEED BEDS PLANTED BETWEEN JULY 1 AND AUGUST 30 WILL REQUIRE IRRIGATION UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED. OTHER MAINTENANCE WILL BE REQUIRED AS NECESSARY TO FOSTER AND PROTECT THE ROOT STRUCTURE.
- SEED BEDS PLANTED BETWEEN OCTOBER 1 AND MARCH 30 WILL REQUIRE A COVER OF MULCH WITH A STRAW OR AN EROSION CONTROL BLANKET UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED. ARMORING OF THE SEED BED WILL BE NECESSARY TO FOSTER AND PROTECT THE ROOT STRUCTURE (E.G. GEOTEXTILES, JUTE MAT, CLEAR PLASTIC COVERING).
- REVIEW ALL DISTURBED AREAS IN LATE AUGUST TO EARLY SEPTEMBER AND COMPLETE ALL SEEDING BY THE END OF SEPTEMBER, OTHERWISE, VEGETATION WILL NOT ESTABLISH ITSELF ENOUGH TO PROVIDE MORE THAN AVERAGE PROTECTION.
- FERTILIZERS ARE TO BE USED ACCORDING TO SUPPLIERS RECOMMENDATIONS. AMOUNTS USED SHOULD BE MINIMIZED, ESPECIALLY ADJACENT TO WATER BODIES AND WETLANDS.

SOIL STOCKPILE NOTES

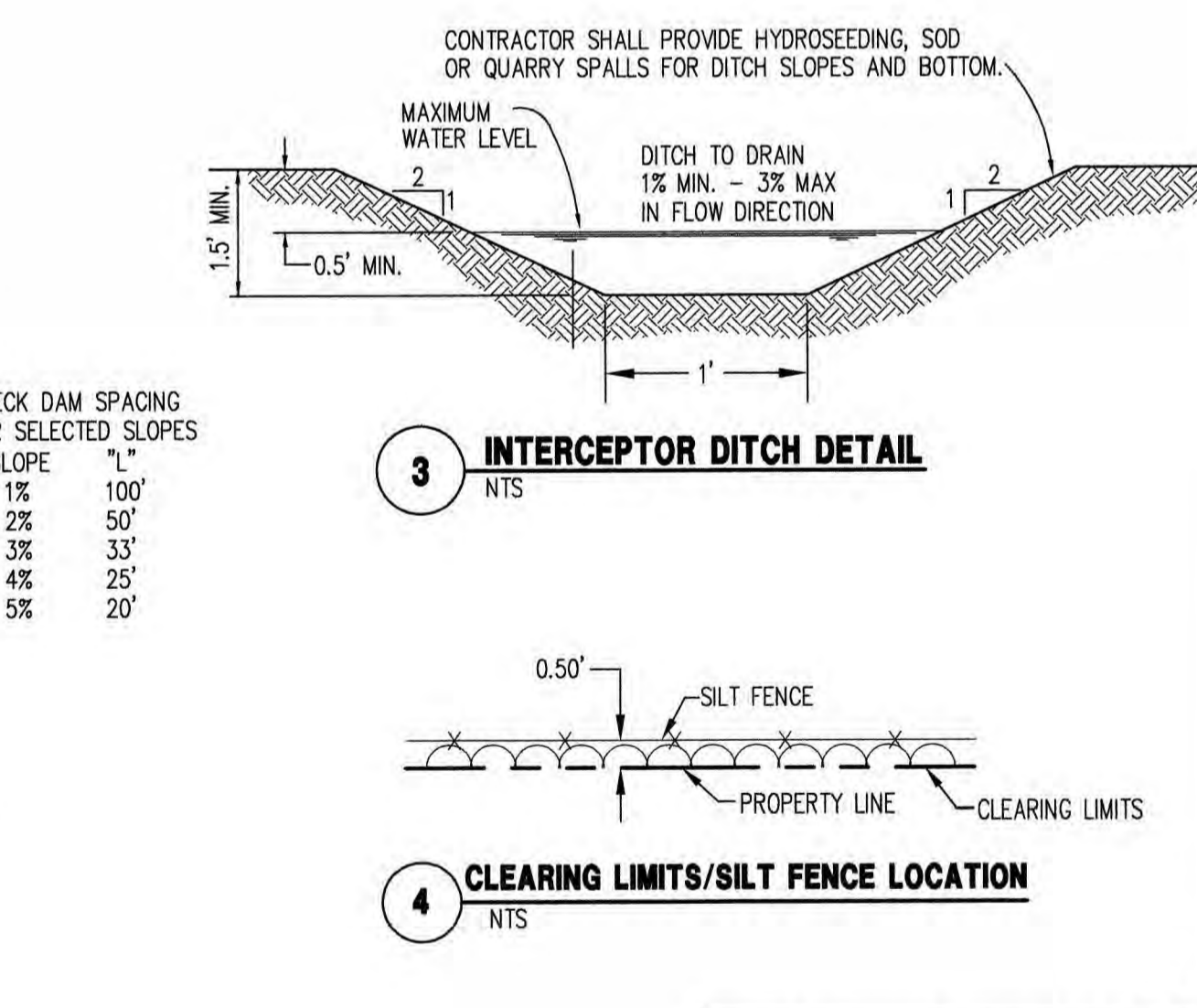
- STOCKPILES SHALL BE STABILIZED (WITH PLASTIC COVERING OR OTHER APPROVED DEVICES) DAILY BETWEEN NOVEMBER 1 AND MARCH 31.
- IN ANY SEASON, SEDIMENT LEACHING FROM STOCK PILES MUST BE PREVENTED.
- TOPSOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR WHEN CONDITIONS EXIST THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- PREVIOUSLY ESTABLISHED GRADES ON THE AREAS TO BE TOPSOILED SHALL BE MAINTAINED ACCORDING TO THE APPROVED PLAN.



CITY OF ORTING
SILT FENCE
SCALE: NO SCALE
APPROVAL DATE:
DRAWING NO. X-3
FILE NAME: STD-X-3



CITY OF ORTING
ROCK CHECK DAM DETAIL
SCALE: NO SCALE
APPROVAL DATE:
DRAWING NO. X-2
FILE NAME: STD-X-2



CITY OF ORTING
INTERCEPTOR DITCH DETAIL
SCALE: NO SCALE
APPROVAL DATE:
DRAWING NO. X-2B
FILE NAME: STD-X-2B

ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.

CITY OF ORTING
APPROVED FOR CONSTRUCTION

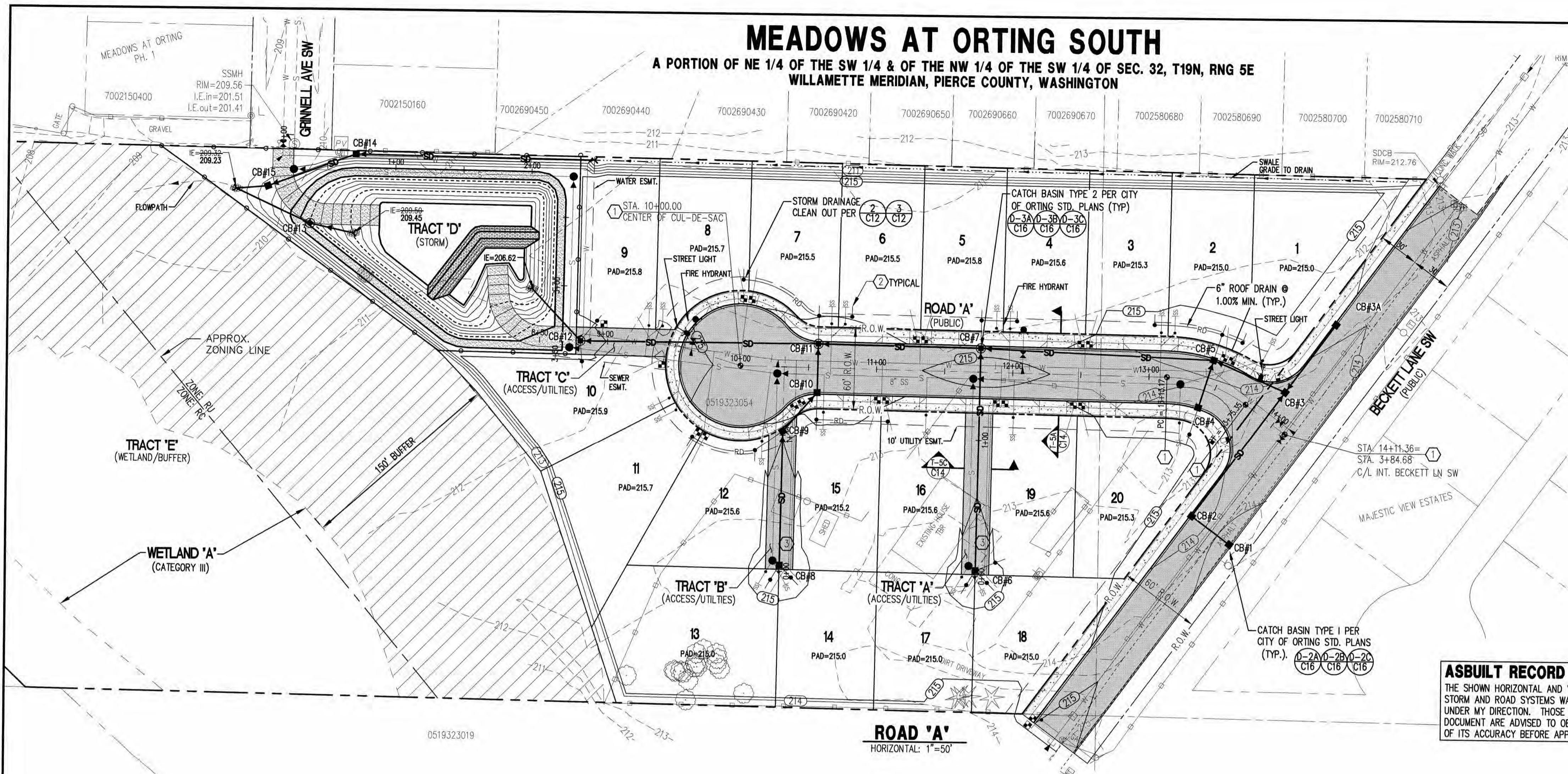
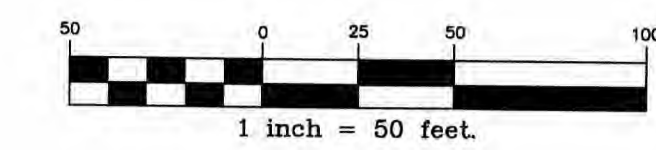
CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

OVFR's review limited to providing input on operational issues only. OVFR has not reviewed the plans for Code compliance.

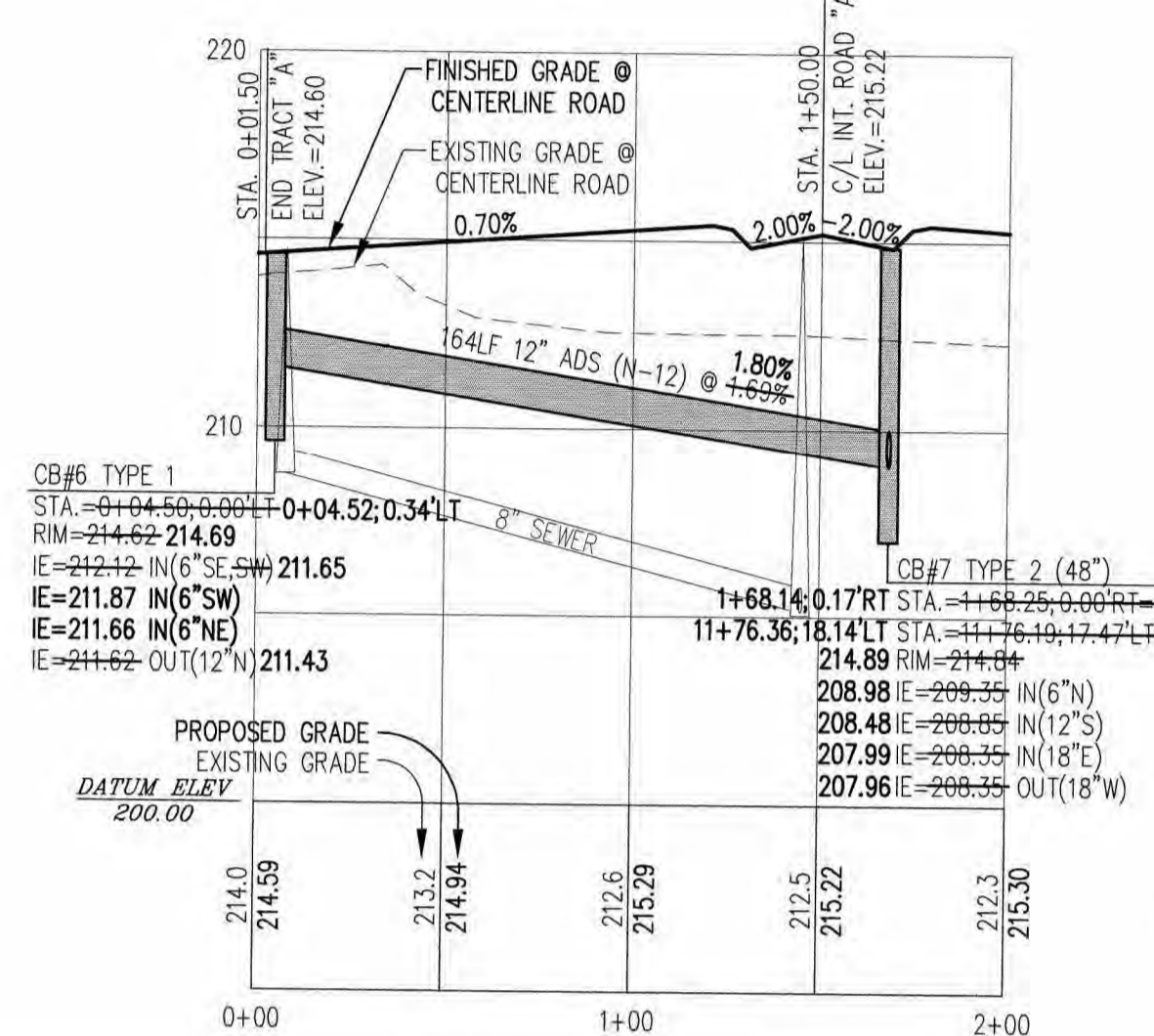
12/27/19 Date:
FBB Int.
ADDRESS COMMENTS
Revision:
No.
FREDERICK B. BROON
REGISTERED PROFESSIONAL ENGINEER
9/21/20
C.E.S. NW INC
CIVIL ENGINEERING & SURVEYING
Burr: (253) 848-4282
409 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
cesr@cesnw.com
Project: MEADOWS AT ORTING SOUTH T.E.S.C. NOTES & DETAILS
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373
Designed: FBB
Drawn: JEH
Checked: GAD
Scale: NTS
Date: 09.21.20
Job No.: 17171
Sheet No.: C3
3 of 20 Sheets

MEADOWS AT ORTING SOUTH

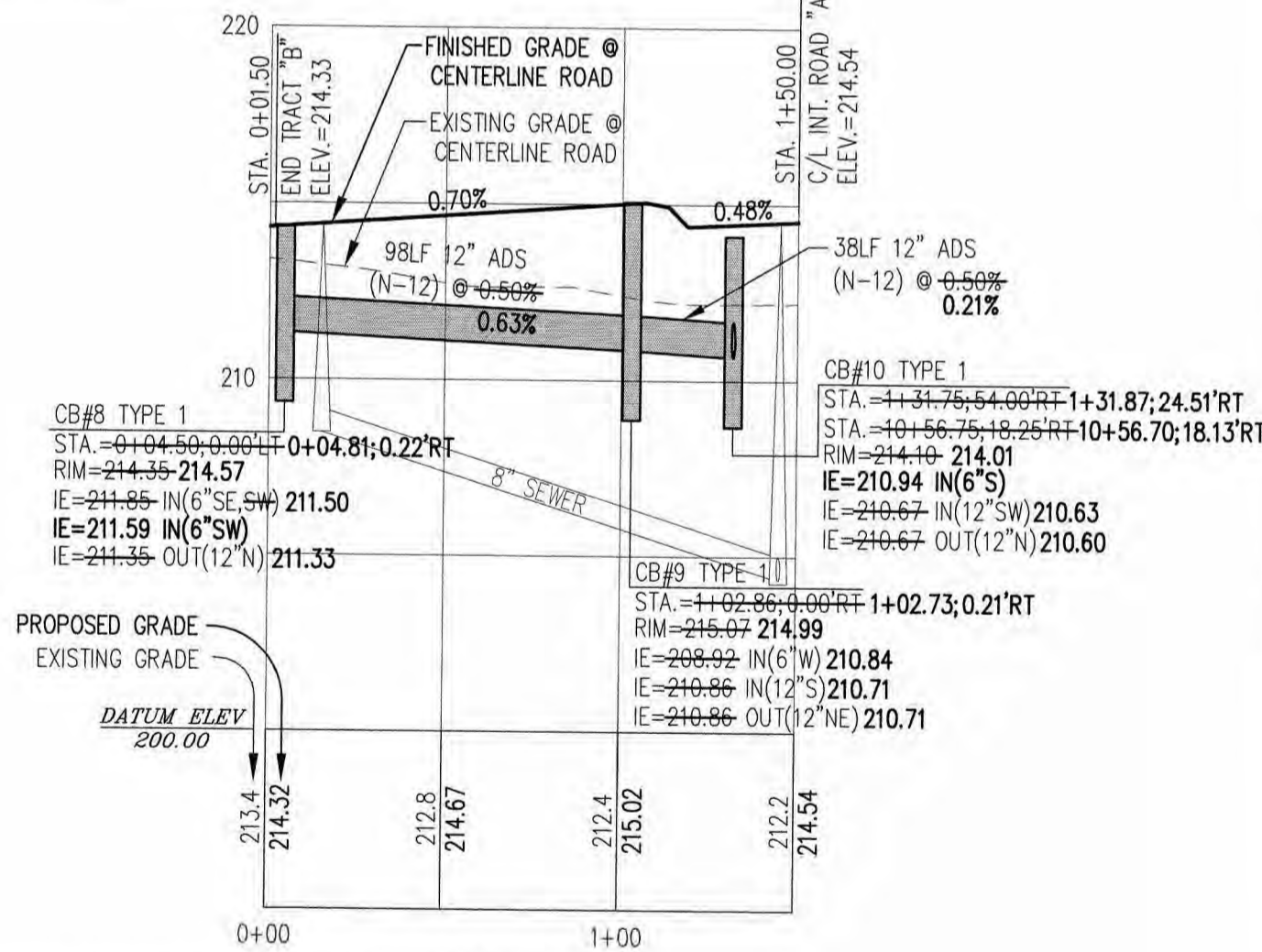
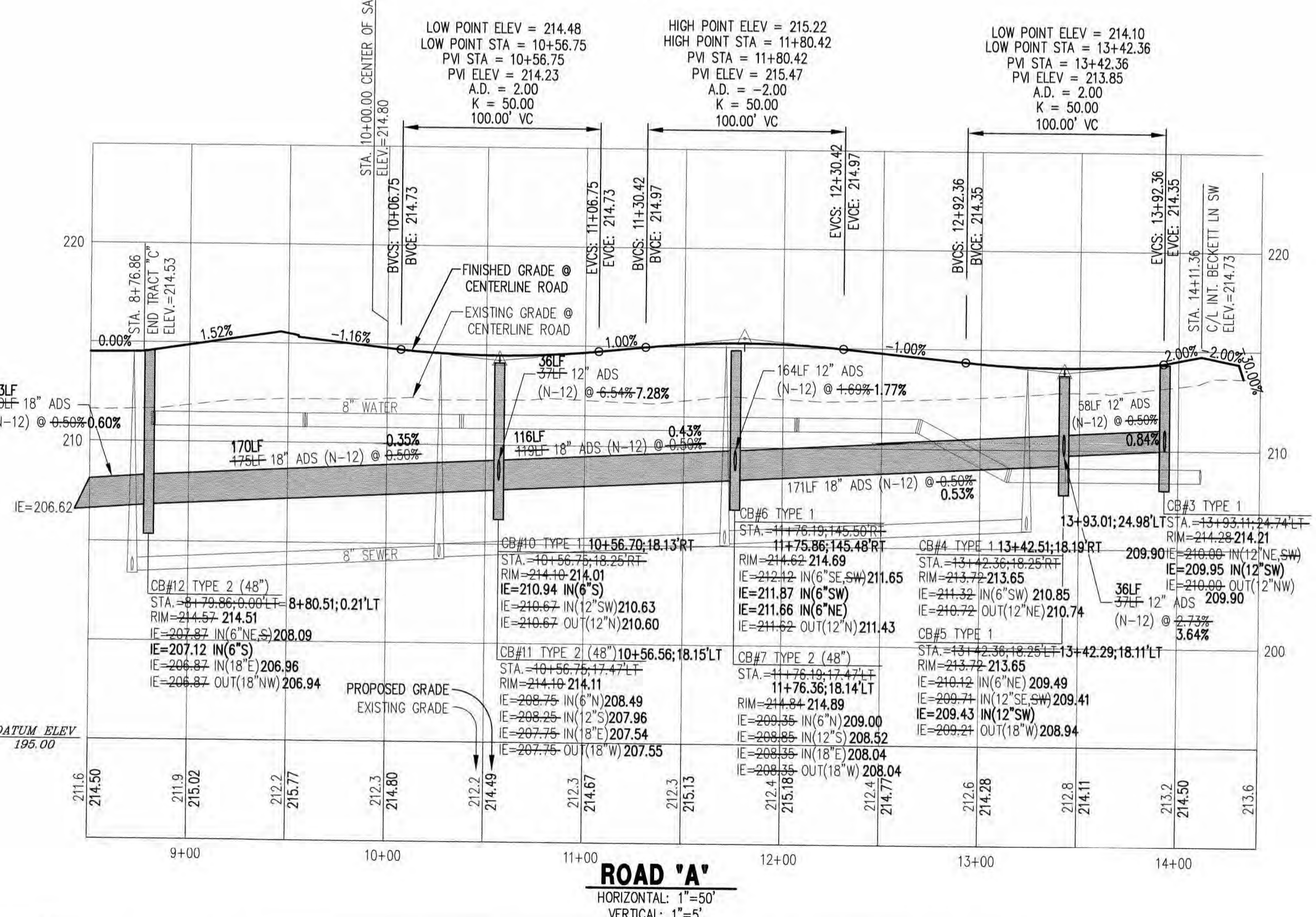
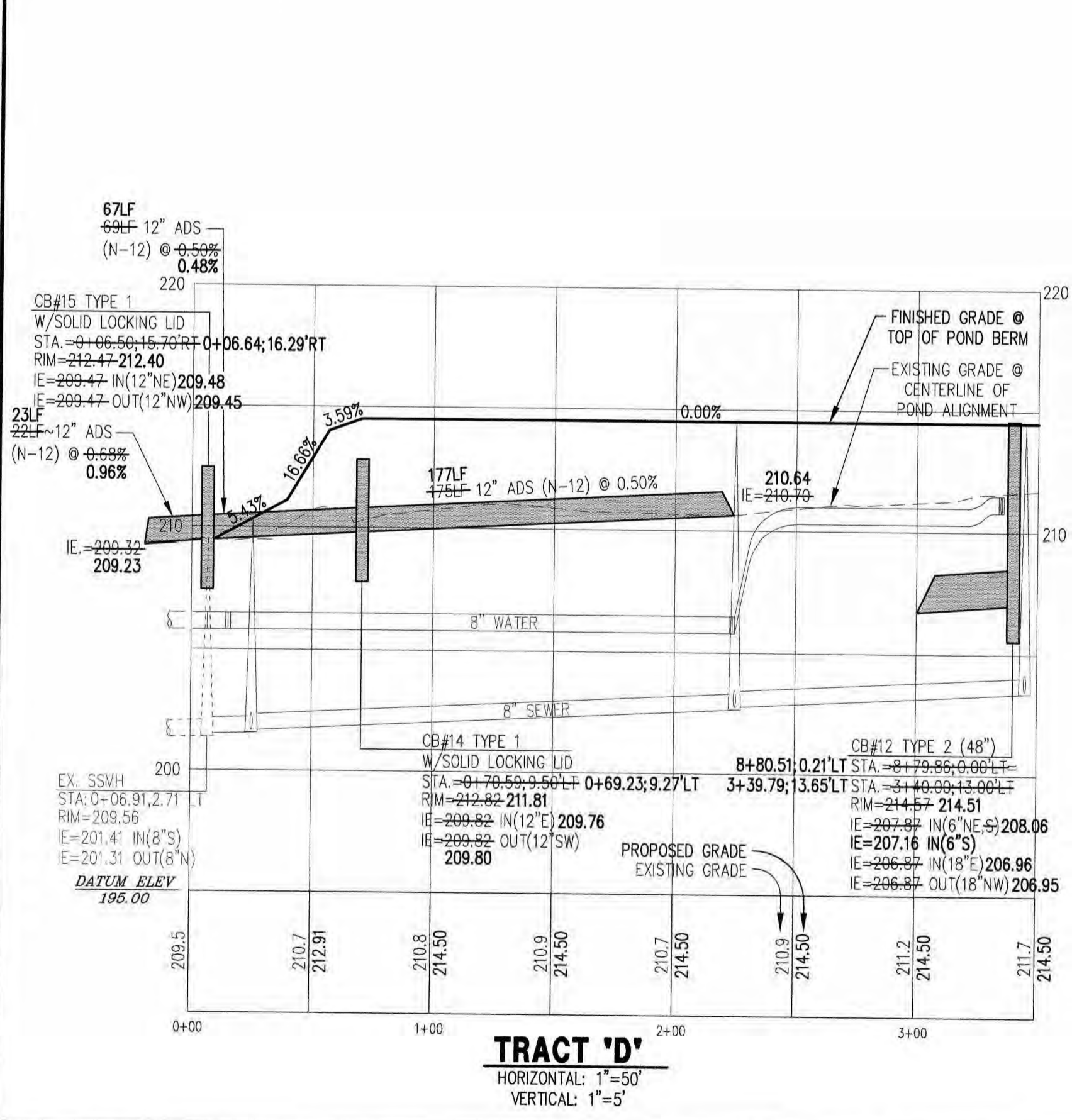
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



- ### CONSTRUCTION NOTES
- INSTALL CITY OF ORTING STANDARD MONUMENT PER DETAILS (L-6A) (L-6B) (C14) (C14)
 - END OF STUBS TO BE MARKED WITH A 5" HIGH, 2 X 4 STAKE MARKED "STORM" OR "DRAIN" (C12) (C12)
 - CONSTRUCT SHARED ACCESS ROAD PER DETAIL (L-5C) (C14)



ASBULT RECORD NOTE
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CO#	RIM	INVERT
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2	214.6	213.86
3	214.6	214.55
4	214.6	214.55
5	214.6	213.86
6	214.6	213.74
7	214.6	213.96
8	214.6	214.85
9	214.6	213.58
10	214.6	213.38
11	214.6	213.93
12	214.6	214.05
13	214.6	213.72
14	214.6	213.70
15	214.6	213.42
16	214.6	214.57
17	214.6	214.48
18	214.6	213.82
19	214.6	215.38
20	214.6	212.89

CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

Project: MEADOWS AT ORTING SOUTH ROAD 'A' & TRACT 'D' ROAD & STORM PLAN & PROFILE

Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD

Date: 12/27/19
FBB
Int.

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

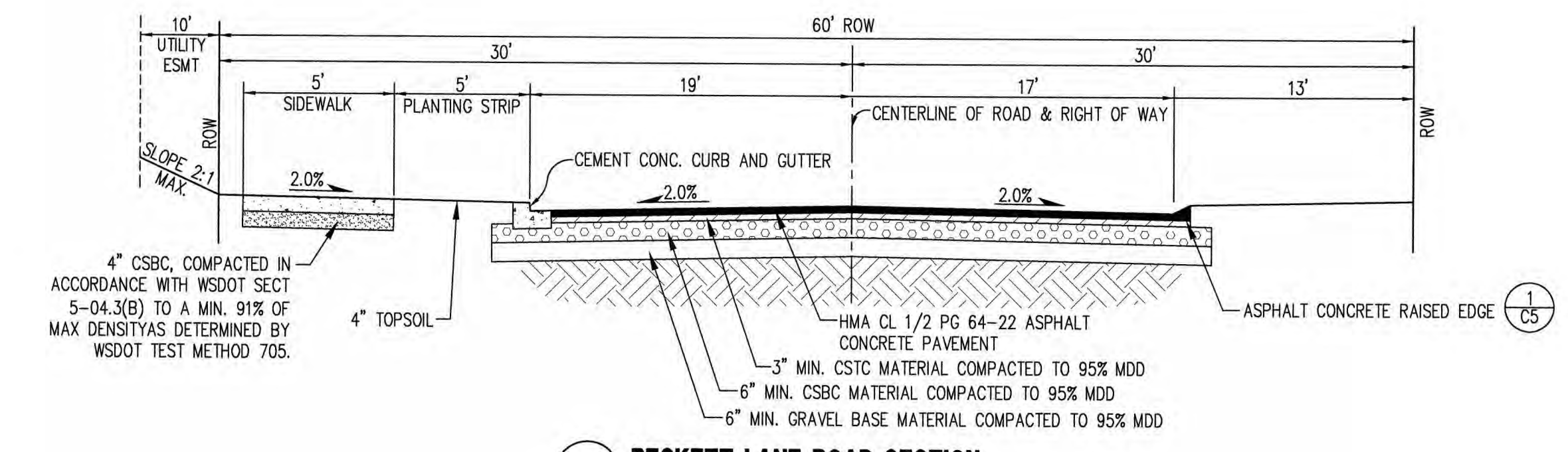
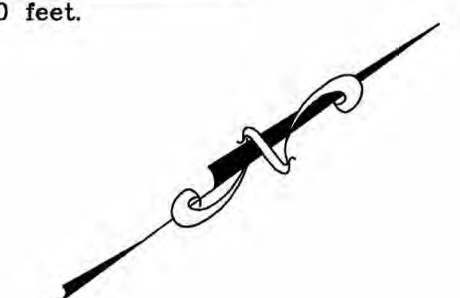
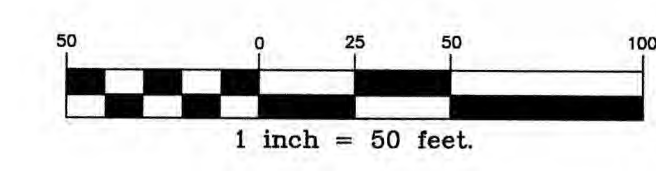
Bus: (253) 848-4292
Fax: (253) 848-4278
ceservices@cesnwinc.com

C4

4 of 20 Sheets

MEADOWS AT ORTING SOUTH

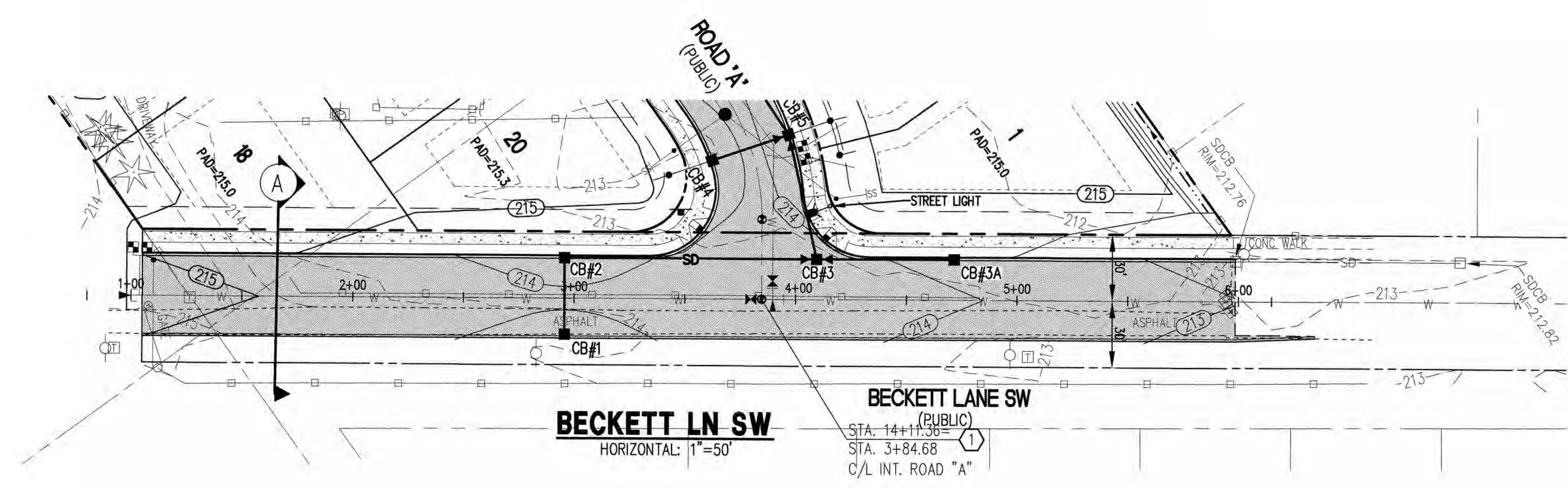
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S1E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



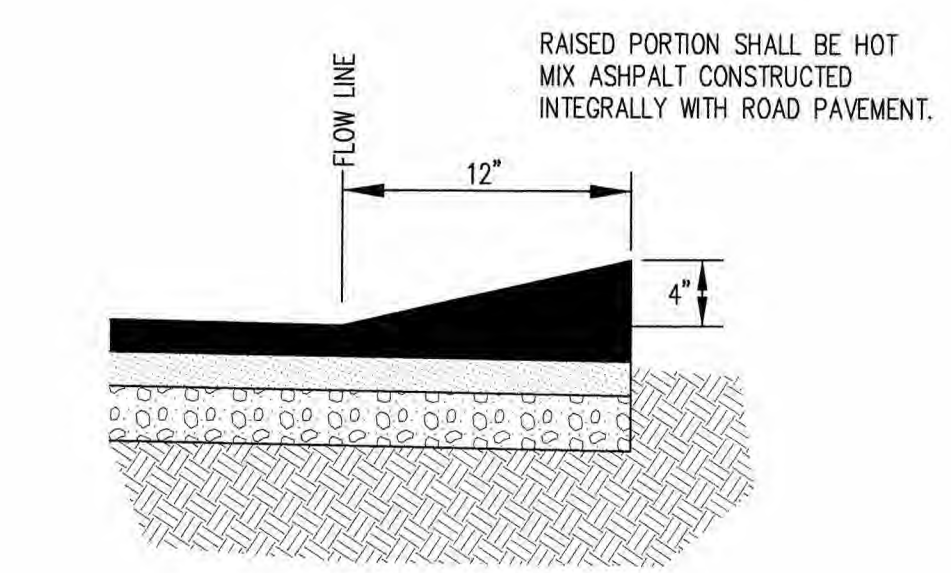
A BECKETT LANE ROAD SECTION
N.T.S.

CONSTRUCTION NOTES
1 INSTALL CITY OF ORTING STANDARD MONUMENT PER DETAILS (1-6A) (1-6B) (C14) (C14)

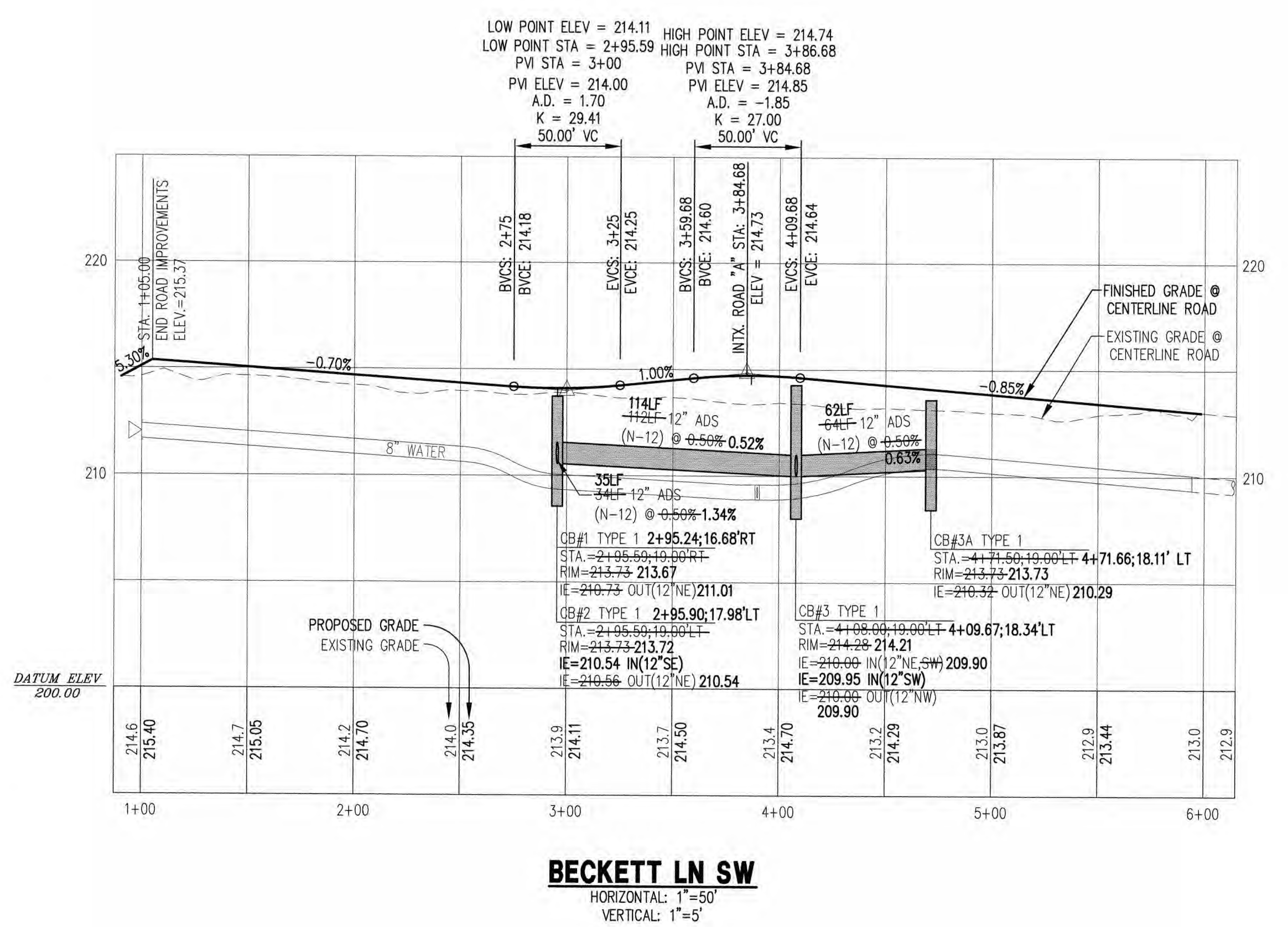
ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



BECKETT LN SW
HORIZONTAL: 1"=50'



1 ASPHALT CONCRETE RAISED EDGE
N.T.S.



BECKETT LN SW
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

CITY OF ORTING
APPROVED FOR CONSTRUCTION

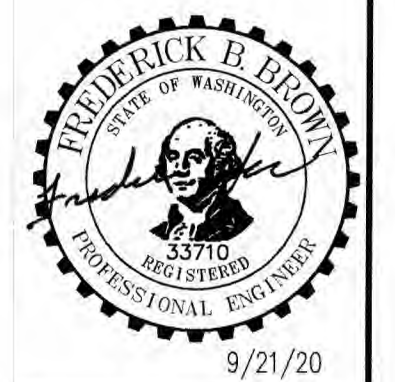
CITY ADMINISTRATOR _____ DATE _____

CITY ENGINEER _____ DATE _____

FIRE CHIEF _____ DATE _____

OVFR's review limited to providing input on operational issues only.
OVFR has not reviewed the plans for Code compliance.

12/27/19	Date:
FBB	Int.
ADDRESS COMMENTS	Revision:
No.	No.



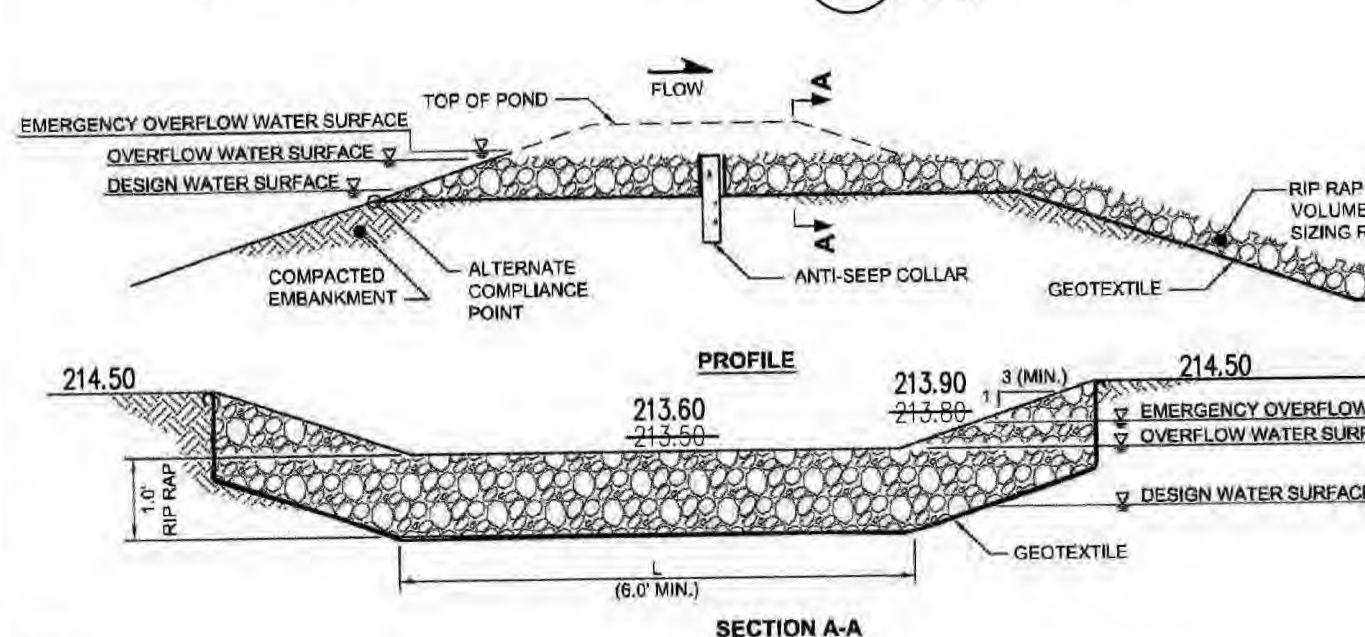
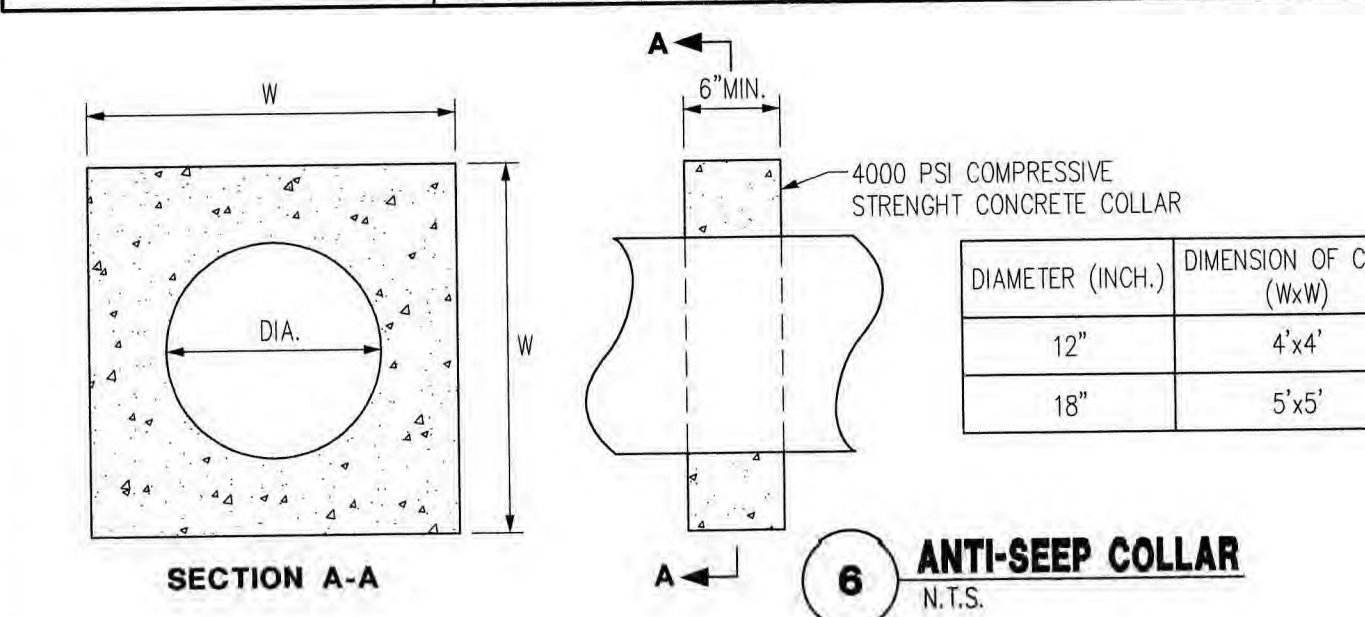
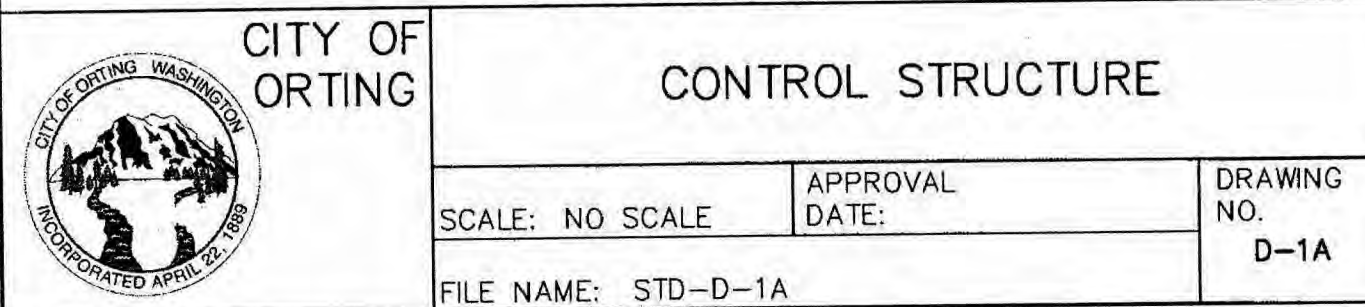
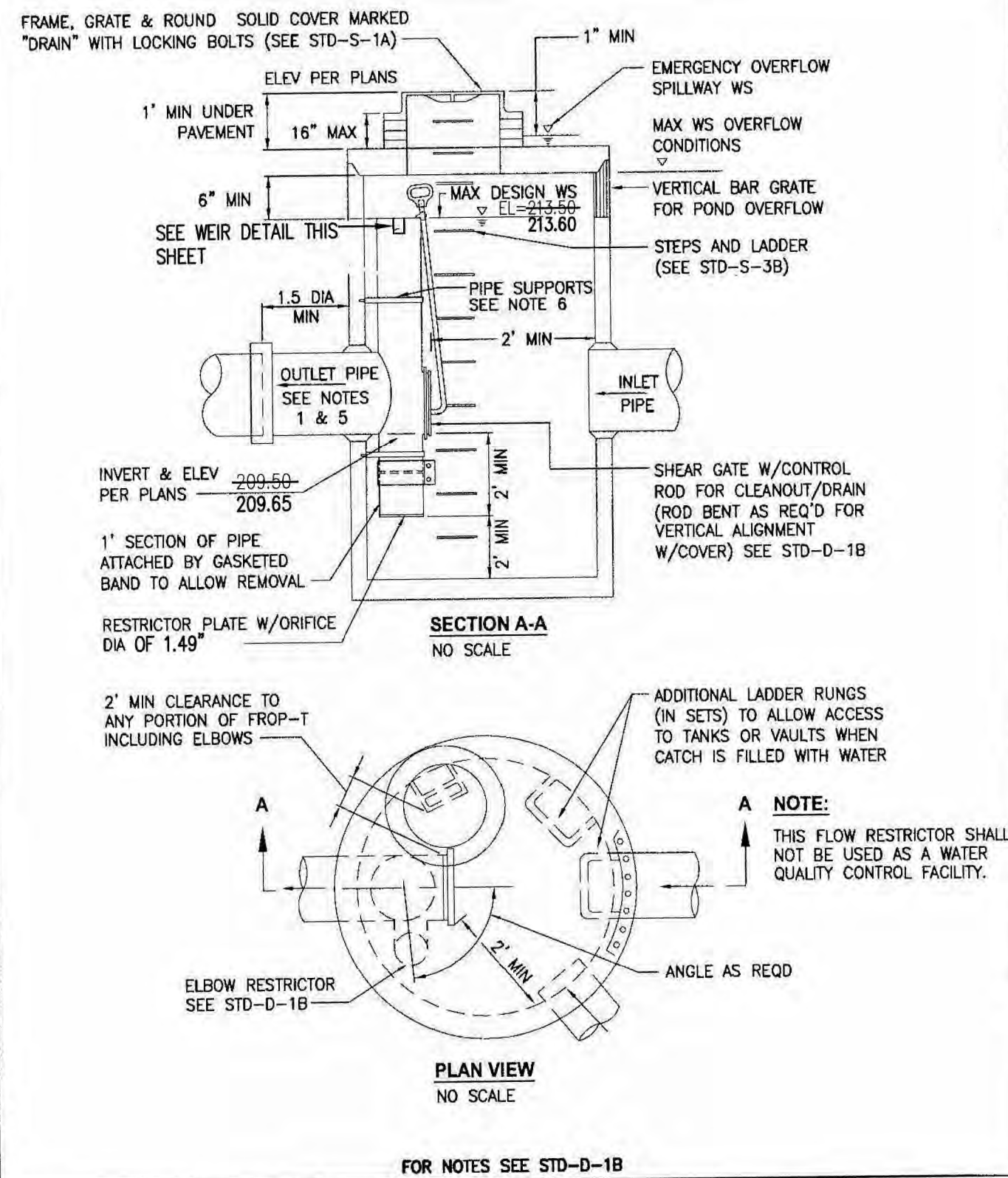
C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Box: (253) 848-4282
Fax: (253) 848-4278
ceservices@cesnwinc.com
429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372

MEADOWS AT ORTING SOUTH
BECKETT LANE SW
ROAD & STORM PLAN & PROFILE
COPPER RIDGE LLC
Client:
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD
Scale: 1"=50'
Date: 09.21.20
Job No.: 17171
Sheet No.: **C5**
5 of 20 Sheets

POND EMBANKMENT NOTES

- POND EMBANKMENTS SHALL BE ON NATIVE CONSOLIDATED SOIL (OR ADEQUATELY COMPACTED STABLE FILL SOILS ANALYZED BY A GEOTECHNICAL ENGINEER), WHICH IS FREE OF LOOSE SURFACE SOIL MATERIALS, ROOTS AND OTHER ORGANIC DEBRIS.
- POND BERM EMBANKMENTS GREATER THAN 4 FEET IN HEIGHT SHALL BE CONSTRUCTED BY EXCAVATING A "KEY" EQUAL TO 50% OF THE BERM EMBANKMENT CROSS SECTIONAL HEIGHT AND WIDTH (EXCEPT WHERE GEOTECHNICAL ENGINEER HAS APPROVED OTHER CRITERIA.)
- THE BERM EMBANKMENT SHALL BE CONSTRUCTED OF COMPACTED SOIL (A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY, STANDARD PROCTOR METHOD PER ASTM D1557) PLACED IN 6 INCH LIFTS, WITH THE FOLLOWING SOIL CHARACTERISTICS PER UNITED STATES DEPARTMENT OF AGRICULTURE'S TEXTURAL TRIANGLE: A MIN. 20% SILT & CLAY, MAX 60% SAND, MAX 60% SILT & CLAY WITH NOMINAL GRAVEL AND COBBLE CONTENT OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.



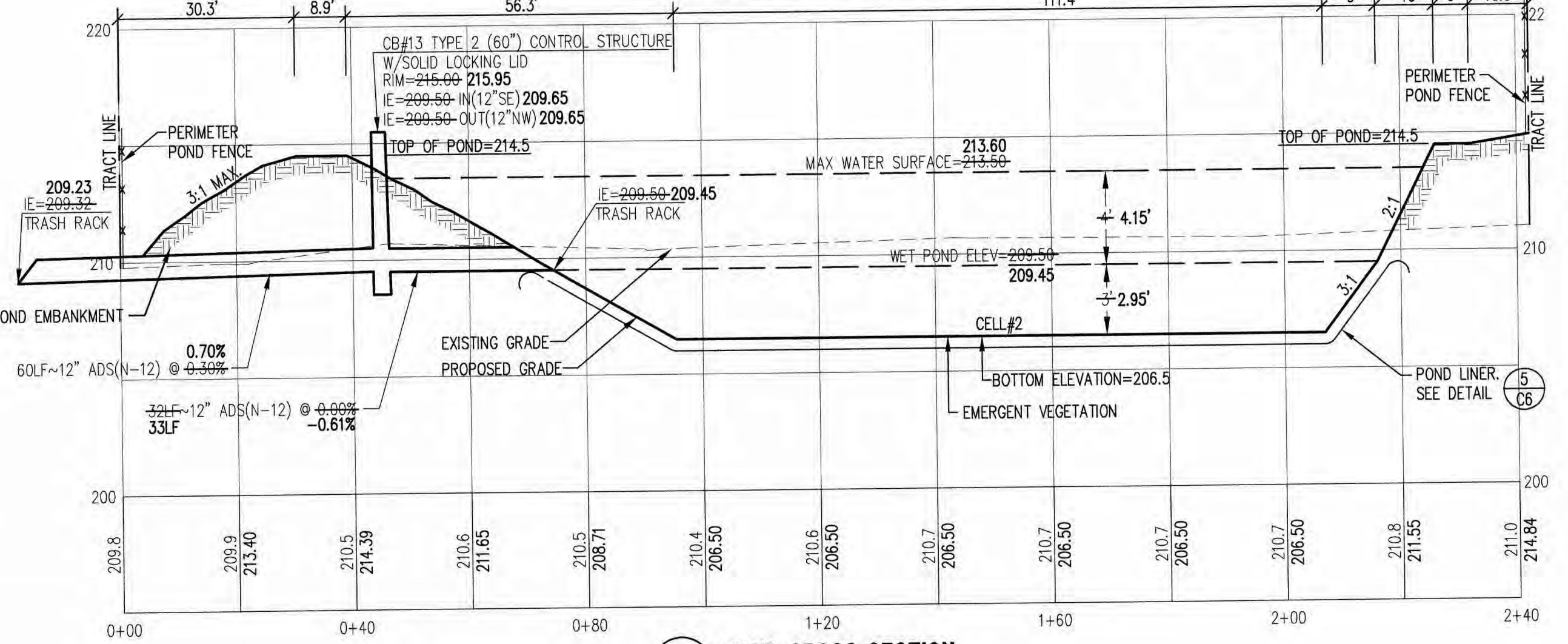
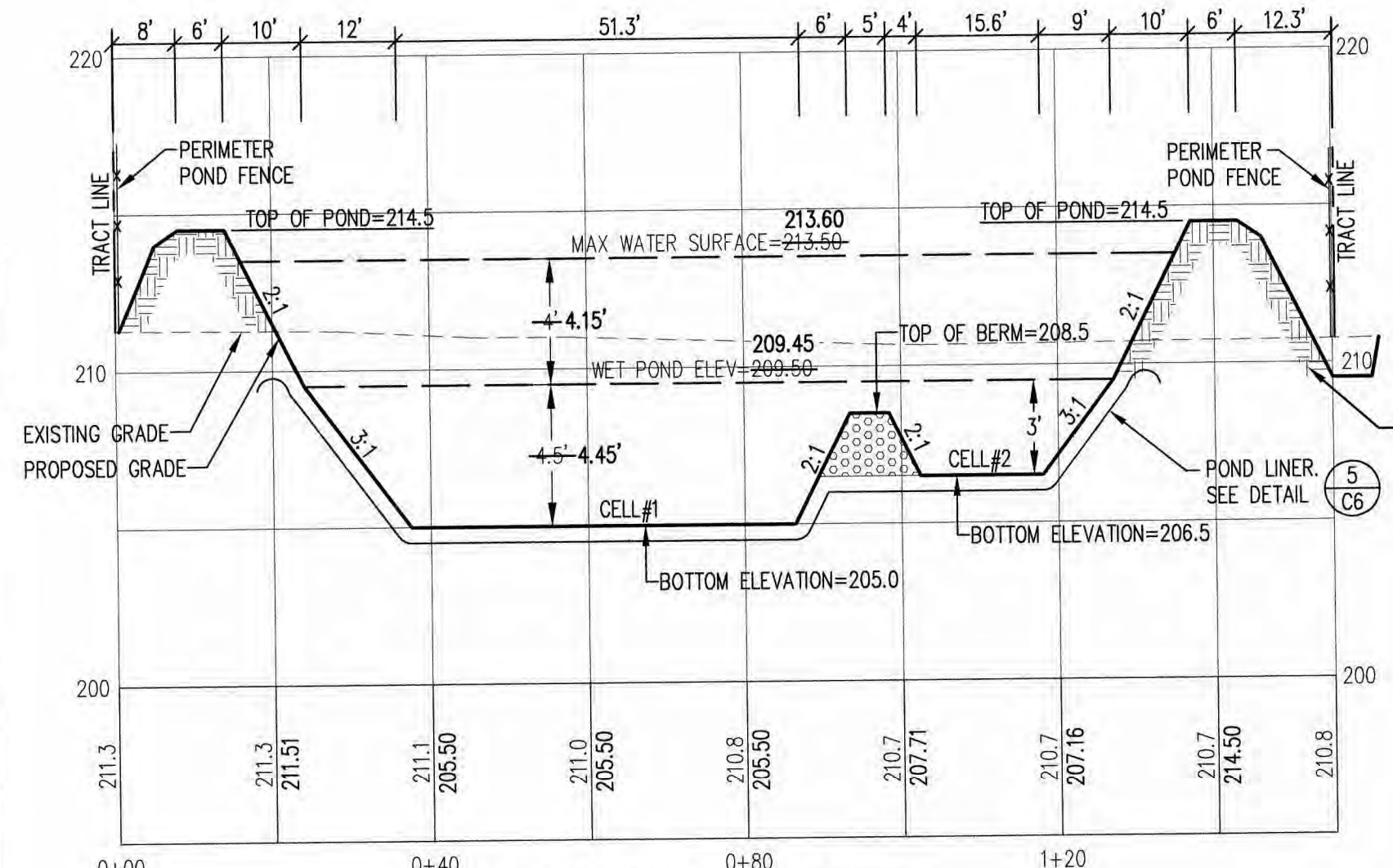
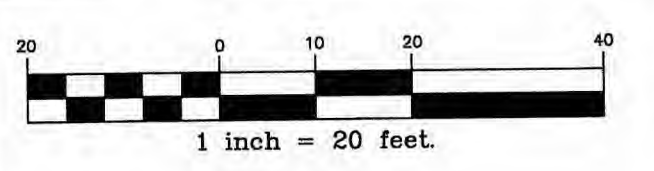
NOTES:

- THE EMERGENCY OVERFLOW SPILLWAY SHALL BE DESIGNED TO PASS THE 100-YEAR DESIGN STORM EVENT FOR DEVELOPED CONDITIONS SEE EQUATION AT VOLUME III CHAPTER 3. SPILLWAY SHOULD ONLY HAVE FLOW WHEN A COMPONENT OF THE CONTROL STRUCTURE HAS FAILED OR A STORM GREATER THAN THE DESIGN STORM HAS OCCURRED.
- SPILLWAY SHALL HAVE AN ANTI-SEEP COLLAR TO HOLD OVERFLOW WATER SURFACE ELEVATION OR THE OVERFLOW WATER SURFACE ELEVATION SHALL BE BELOW THE ALTERNATE COMPLIANCE POINT. ENGINEER WILL DESIGN THE ANTI-SEEP COLLAR AND WILL DEMONSTRATE ITS EFFECTIVENESS.
- A CONCRETE LINED SPILLWAY IS AN ACCEPTABLE ALTERNATIVE TO AN ANTI-SEEP COLLAR.

MEADOWS AT ORTING SOUTH

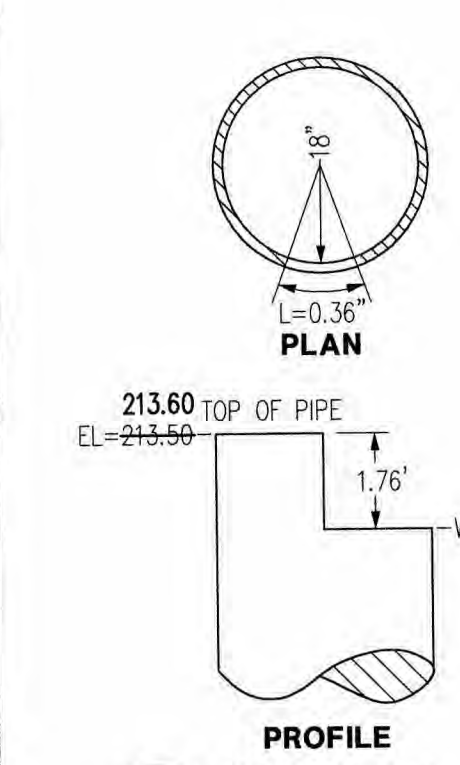
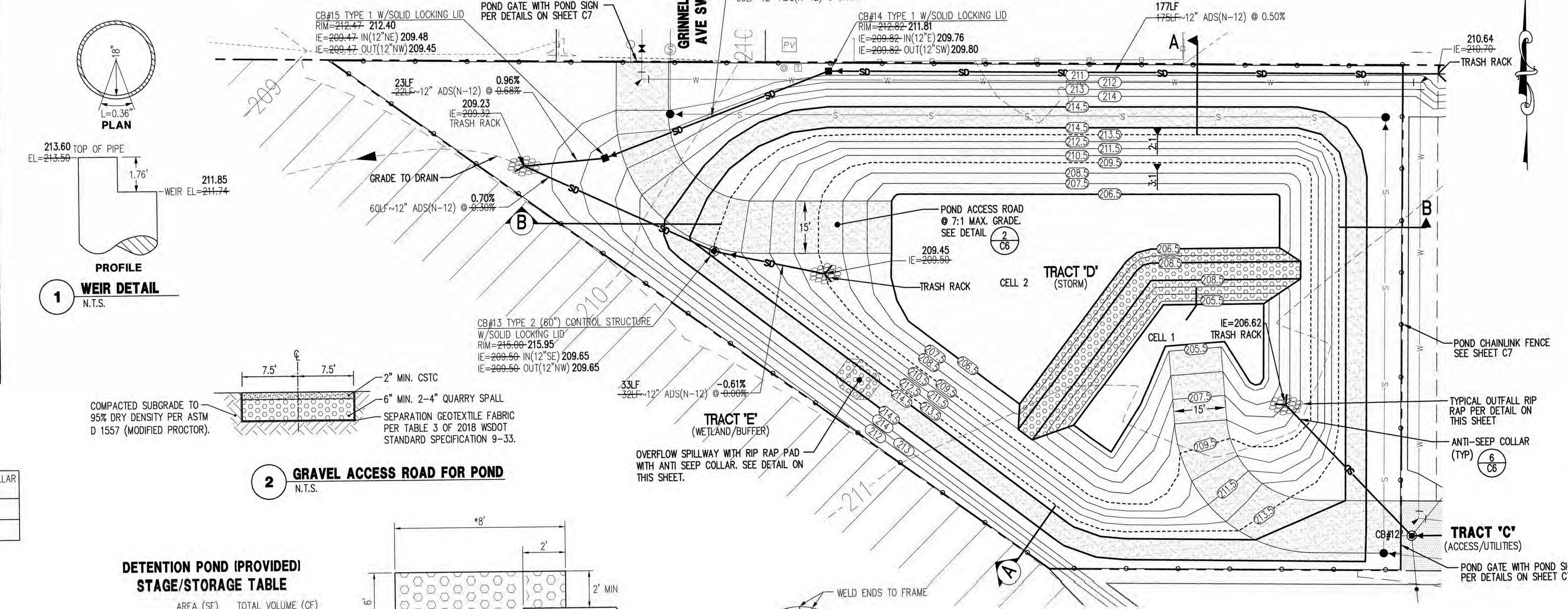
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASBUILT RECORD NOTE
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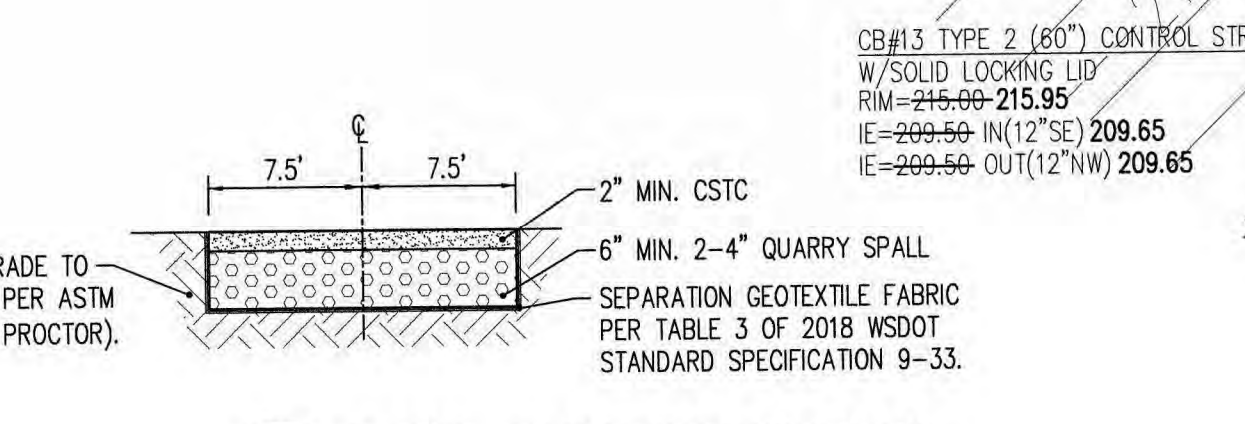


A POND CROSS SECTION
1" = 20' HORIZ. 1" = 5' VERT.

B POND CROSS SECTION
1" = 20' HORIZ. 1" = 5' VERT.



1 WEIR DETAIL
N.T.S.



2 GRAVEL ACCESS ROAD FOR POND
N.T.S.

DETENTION POND (PROVIDED) STAGE/STORAGE TABLE

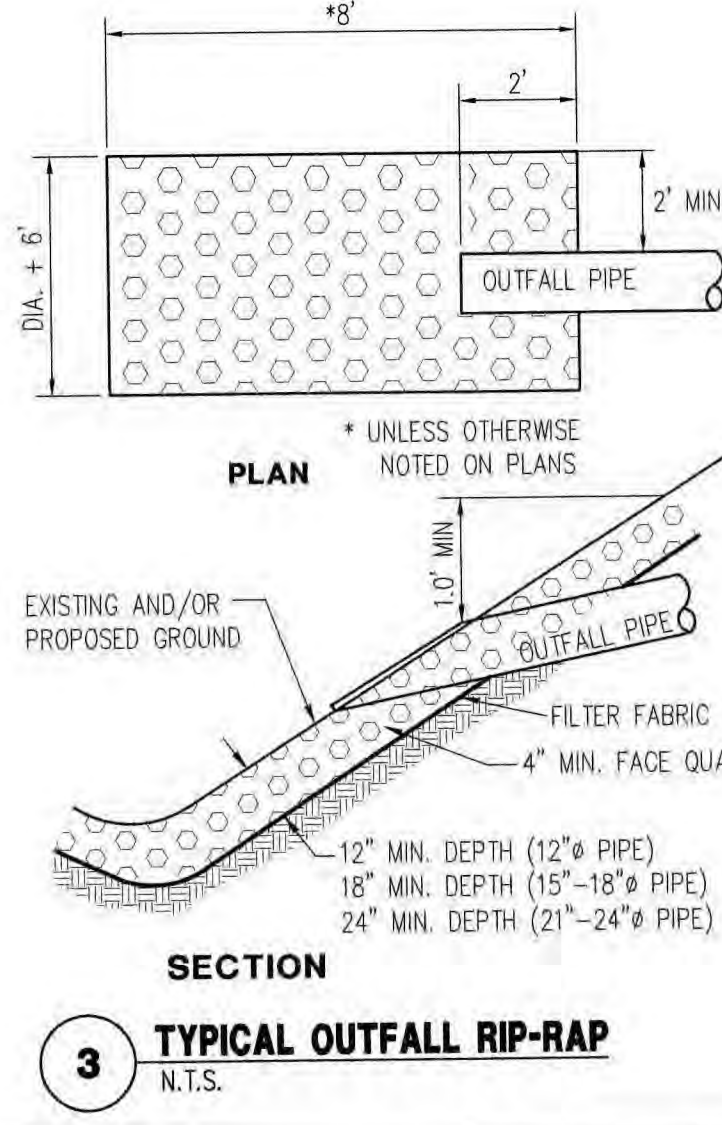
AREA (SF)	TOTAL VOLUME (CF)
209.5-209.45	10,586-0,896
210.5	44,782-11,140
211.5	12,024-12,457
212.5	44,193-13,774
213.5-213.60	45,405-15,140
	51,982-51,861

REQUIRED DETENTION VOL = 49,353 CF
PROVIDED DETENTION VOL = 51,982 CF 51,861

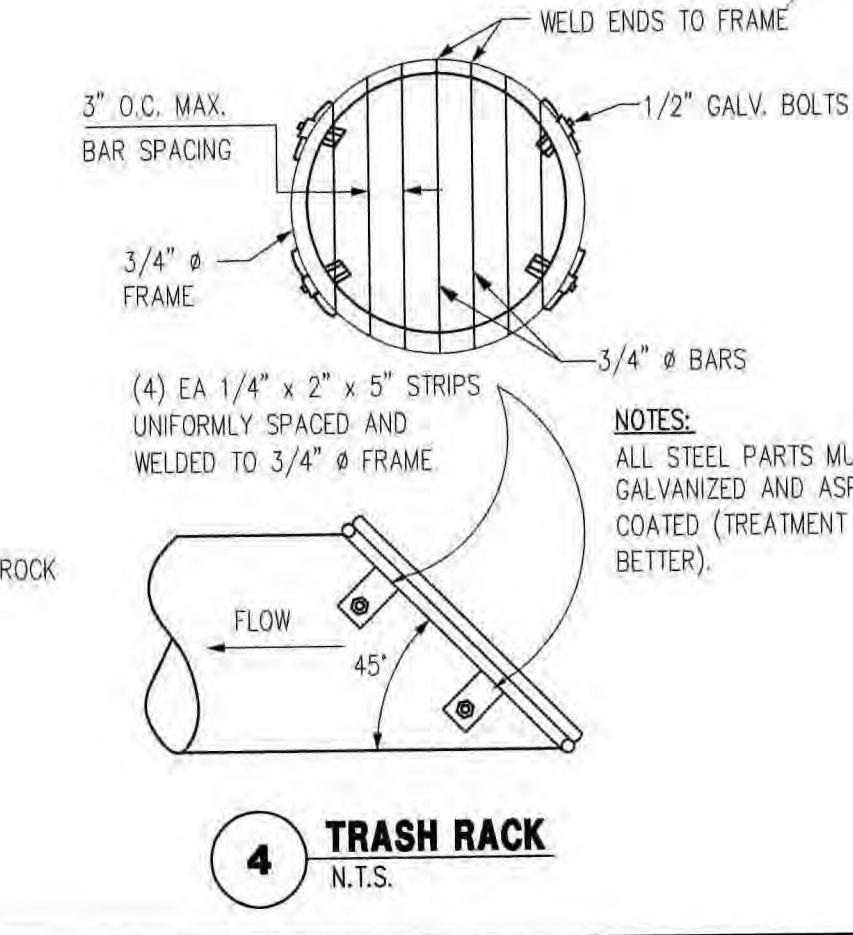
WETPOND (PROVIDED) STAGE/STORAGE TABLE

AREA (SF)	TOTAL VOLUME (CF)
205.5	4,050-1,102
206.5	1,643-1,697
207.5	2,258-2,316
208.5	3,223-3,218
209.5-209.45	3,536-3,578
	15,568-15,347

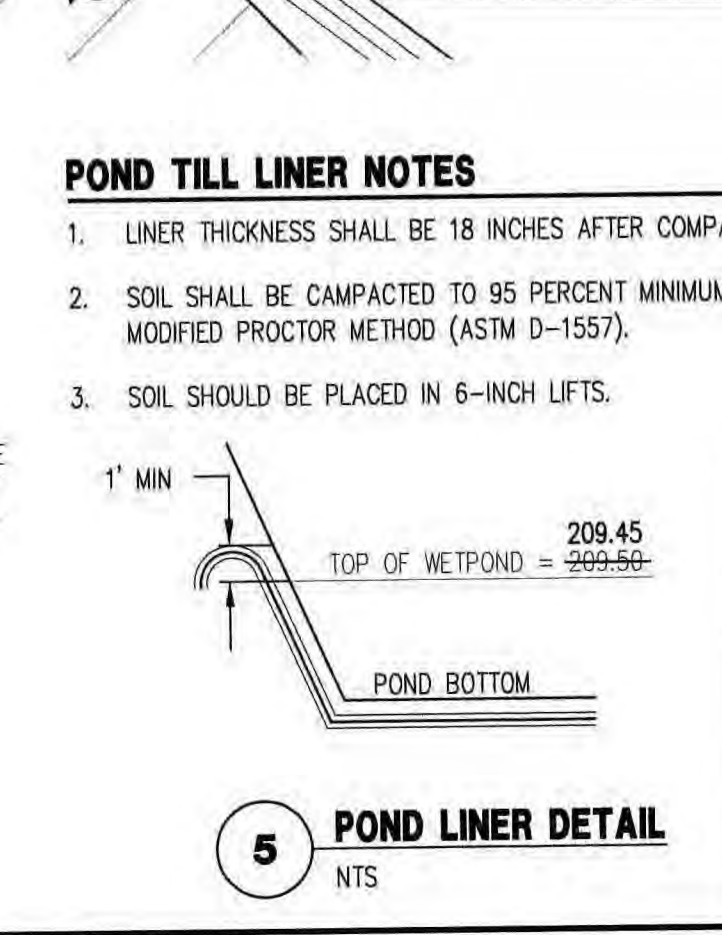
REQUIRED WETPOND VOL = 15,568 CF
PROVIDED WETPOND VOL = 15,347 CF 15,347



3 TYPICAL OUTFALL RIP-RAP
N.T.S.



4 TRASH RACK
N.T.S.



5 POND LINER DETAIL
N.T.S.

POND TILL LINER NOTES

- LINER THICKNESS SHALL BE 18 INCHES AFTER COMPACTION.
- SOIL SHALL BE COMPACTED TO 95 PERCENT MINIMUM DRY DENSITY, MODIFIED PROCTOR METHOD (ASTM D-1557).
- SOIL SHOULD BE PLACED IN 6-INCH LIFTS.

NOTES:
ALL STEEL PARTS MUST BE GALVANIZED AND ASPHALT COATED (TREATMENT 1 OR BETTER).

CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

OVER's review limited to providing input on operational issues only. OVR has not reviewed the plans for Code compliance.

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4282
Fax: (253) 848-4278
ceservices@cesnwinc.com

MEADOWS AT ORTING SOUTH STORM POND PLAN AND SECTIONS

Project: MEADOWS AT ORTING SOUTH STORM POND PLAN AND SECTIONS
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=20'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C6**

6 of 20 Sheets

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASBUILT RECORD NOTE
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ELBOW RESTRICTOR
NO SCALE

SHEAR GATE
NO SCALE

NOTES

- USE MIN 48" DIA CATCH BASIN TYPE 2. SEE STD-D-3A & STD-D-3B.
- OUTLET CAPACITY: DEVELOPED DESIGN FLOW.
- METAL PARTS: CORROSION RESISTANT. ALUMINUM PIPE.
- FRAME & LADDER OR STEPS OFFSET SO:
 - A: CLEANOUT GATE IS VISIBLE FROM TOP.
 - B: CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - C: FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH ID EQUAL TO CONCRETE PIPE ID LESS 1/4".
- PROVIDE AT LEAST TWO 3" X .090 GAGE SUPPORT BRACKET ANCHORED CONCRETE WALL (MAX 3'-0" VERTICAL SPACING).
- LOCATE ELBOW RESTRICTOR(S) AS NECESSARY TO PROVIDE MIN CLEARANCE AS SHOWN.
- LOCATE ADDITIONAL LADDER RUNGS IN STRUCTURES USED AS ACCESS TO TANKS OR VAULTS TO ALLOW ACCESS WHEN CATCH BASIN IS FILLED WITH WATER.
- ALL METAL PARTS AND SURFACE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR GALVANIZED.
- FILL CATCH BASIN (WITH WATER) TO INVERT LEVEL OF OUTFLOW PIPE TO PREVENT ANY OIL ESCAPING.

SHEAR GATE NOTES

- SHEAR GATE SHALL BE ALUMINUM.
- GATE SHALL BE 8" DIAMETER UNLESS OTHERWISE SPECIFIED.
- GATE SHALL BE JOINED TO TEE SECTION BY BOLTING (THROUGH FLANGE), WELDING, OR OTHER SECURE MEANS AS SHOWN.
- LIFT ROD: AS SPECIFIED BY MANUFACTURER WITH HANDLE EXTENDING TO WITHIN ONE FOOT OF COVER AND ADJUSTABLE HOOK LOCK FASTENED TO FRAME OR UPPER HANDHOLD.

CITY OF ORTING

FLOW RESTRICTOR (FROP-T) (TEE) DETAILS

APPROVAL DATE: _____

DRAWING NO. **D-1B**

SCALE: NO SCALE FILE NAME: STD-D-1B

NOTES:

- SIGN WILL BE ALUMINUM, 3/8" THICK.
- PUBLIC FACILITIES-BLUE LETTERING, INTERSTATE BLUE, ON A WHITE BACKGROUND WITH THE PIERCE COUNTY LOGO.
- PRIVATE FACILITIES - BLACK LETTERING ON A TAN BACKGROUND.
- USE BOLD SANS-SERIF FONT STYLE.
- IF PROJECT IS PRIVATE, GIVE HOA OR OWNER CONTACT EMAIL.
- SIGN IS TO BE PLACED 4' INSIDE PERIMETER FENCE.

HANS P. HUNGER, P.E.
C.I.P. MANAGER

ALUMINUM PROJECT SIGN

(NOT TO SCALE)
1.0

DATE: 6/2015 REVISION: 2015 SWMM UPDATE APPR'D: HPH DRAWN: RUTKOSKY

DATE: 5/2008 PUBLISH DATE HPH RUTKOSKY

NOTES:

- 4" - 8" QUARRY SPALLS LAYER, 1.5" THICKNESS
- 1 1/2" - 4" WASHED ROCK CORE
- NOTE: "KEY" NOT REQUIRED

HANS P. HUNGER, P.E.
C.I.P. MANAGER

QUARRY SPALL AND GRAVEL FILTER WINDOW

(NOT TO SCALE)
6.0

DATE: 6/2015 REVISION: 2015 SWMM UPDATE APPR'D: HPH DRAWN: RUTKOSKY

DATE: 5/2008 PUBLISH DATE HPH RUTKOSKY

PLAN VIEW
N.T.S.

SECTION A-A
N.T.S.

HANS P. HUNGER, P.E.
C.I.P. MANAGER

OVERFLOW STRUCTURE WITH DEBRIS CAGE

(NOT TO SCALE)
16.0

DATE: 6/2015 REVISION: 2015 SWMM UPDATE APPR'D: HPH DRAWN: RUTKOSKY

DATE: 5/2008 PUBLISH DATE HPH RUTKOSKY

NOTES:

- ALL CONCRETE POST BASES SHALL BE 12" MIN. DIAMETER.
- ALL POSTS SHALL BE SPACED AT 10' MAX. INTERVALS UNLESS APPROVED BY COUNTY.
- TOP OR BOTTOM TENSION WIRES SHALL BE PLACED WITHIN THE LIMITS OF THE FIRST FULL FABRIC WEAVE.
- ALL POSTS ARE ROUND.
- ALL POSTS ARE MIN. 8" - 8" IN LENGTH.
- DETAIL BASED ON 2007 WSDOT STANDARD PLANS L-20-10-00 CHAIN LINK FENCE TYPE 3, WITH MODIFICATIONS MADE BY PIERCE COUNTY.
- 9 GAUGE FABRIC VINYL COATED GREEN / BLACK.
- TOLERANCE FOR WALL THICKNESS IS 12.5%.

LINE & BRACE POST			
I.D. PIPE (INCHES)	WEIGHT PER FOOT (LBS)	WALL THICKNESS (IN)	
2	3.65	0.154	

GATE POST			
I.D. PIPE (INCHES)	WEIGHT PER FOOT (LBS)	WALL THICKNESS (IN)	
3 1/2	9.12	0.226	

HANS P. HUNGER, P.E.
C.I.P. MANAGER

CHAIN LINK FENCE TYPE 3 (MODIFIED)

(NOT TO SCALE)
24.1

DATE: 6/2015 REVISION: 2015 SWMM UPDATE APPR'D: HPH DRAWN: RUTKOSKY

DATE: 5/2012 2012 SWMM UPDATE ACJ RY, SM

CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____

CITY ENGINEER _____ DATE _____

FIRE CHIEF _____ DATE _____

OVR's review limited to providing input on operational issues only. OVR has not reviewed the plans for Code compliance.

Project: **MEADOWS AT ORTING SOUTH STORM POND DETAILS**

Client: **COPPER RIDGE LLC**

P.O. BOX 73790, PUYALLUP, WA 98373

Designed: **FBB**

Drawn: **JEH**

Checked: **CAD**

Scale: 1"=20'

Date: 09.21.20

Job No.: 17171

Sheet No.: **C7**

7 of 20 Sheets

Frederick B. Bloom
Professional Engineer
No. 53710

DATE: 6/2015 REVISION: 2015 SWMM UPDATE APPR'D: HPH DRAWN: RUTKOSKY

DATE: 5/2008 PUBLISH DATE HPH RUTKOSKY

12/27/19 FBB Int. Date:

ADDRESS COMMENTS

No. Revision:

KEY NOTES

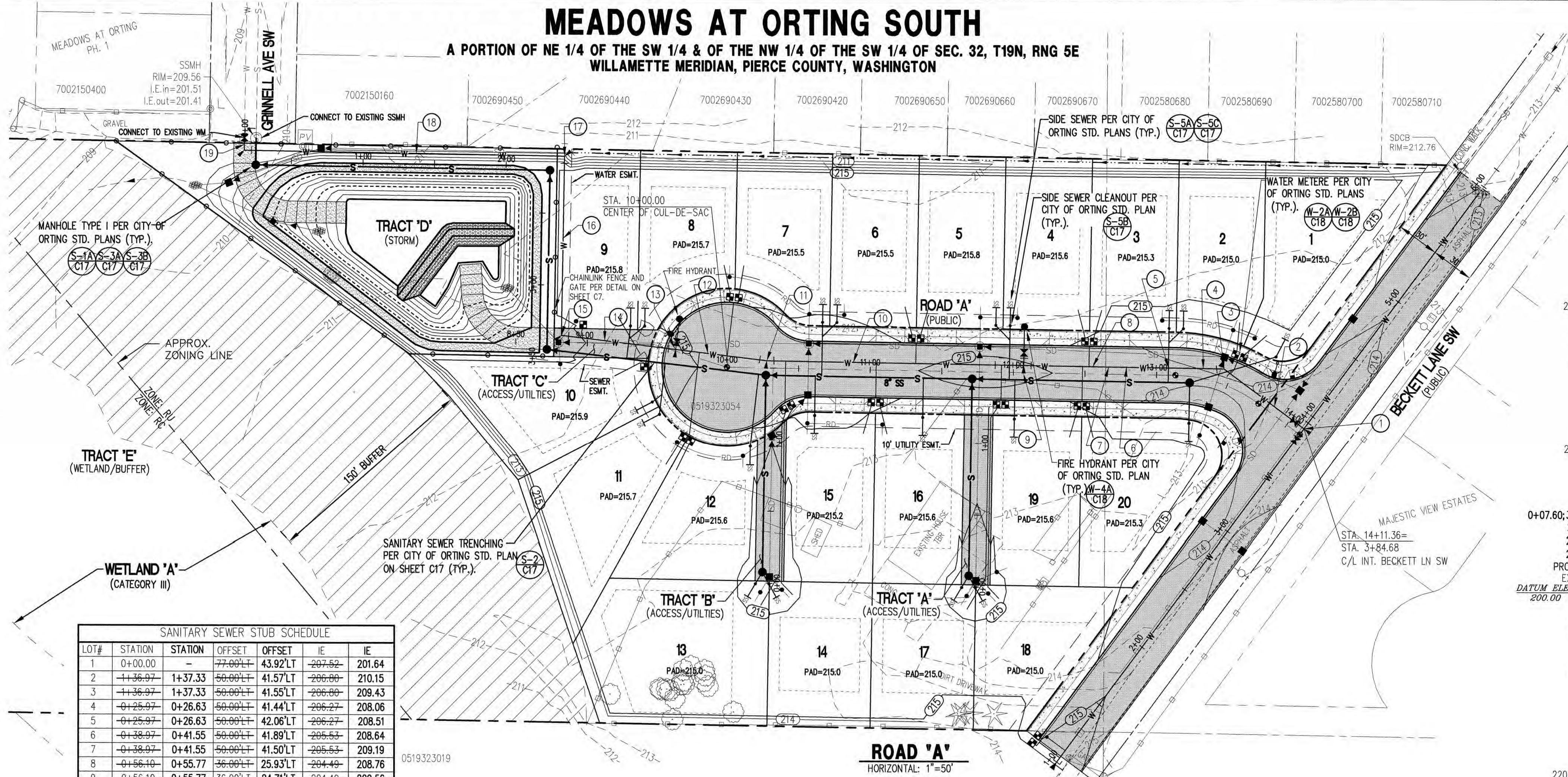
NOTES: ALL PIPE JOINTS SHALL BE RESTRAINED

- 1 STA=14+11.36; 5.00'LT
1-8" TEE (FLxFLxFL)
2-8" GV (FLxMJ)
1-8" ADAPTER (FLxMJ)
1-THRUST BLOCK
- 2 70LF-8" D.I.(CL52) WATER MAIN
- 3 STA=13+44.26; 10.26'LT
1-8" 45' BEND (MxMJ)
1-THRUST BLOCK
- 4 31LF-8" D.I.(CL52) WATER MAIN
- 5 STA=13+13.30; 7.00'LT
1-8" 45' BEND (MxMJ)
1-THRUST BLOCK
- 6 51LF-8" D.I.(CL52) WATER MAIN
- 7 STA=12+68.00; 5.00'LT
1-8" 45' BEND (MxMJ)
1-THRUST BLOCK
- 8 61LF-8" D.I.(CL52) WATER MAIN
- 9 STA=12+07.17; 5.00'LT-12+07.60; 6.12'LT
1-8" TEE (MxFL)
1-6" GV (FLxMJ)
27LF-6" D.I.(CL52) WATER MAIN
1-HYDRANT ASSEMBLY PER C.O.O. DETAIL
W-4A ON SHEET C18
1-THRUST BLOCKING
- 10 169LF-8" D.I.(CL52) WATER MAIN
- 11 STA=10+37.68; 5.00'LT
1-8" 22.5' BEND (MxMJ)
1-THRUST BLOCK
- 12 79LF-8" D.I.(CL52) WATER MAIN
- 13 STA=0+62.15; 1.00'LT-9+58.44; 2.13'LT
1-8" TEE (MxFL)
1-6" GV (FLxMJ)
17LF-6" D.I.(CL52) WATER MAIN
1-HYDRANT ASSEMBLY PER C.O.O. DETAIL
W-4A ON SHEET C18
1-THRUST BLOCKING
- 14 71LF-8" D.I.(CL52) WATER MAIN
- 15 STA=8+81.86; 5.00'LT
1-8" 90' BEND (MJ)
1-THRUST BLOCK
- 16 125LF-8" D.I.(CL52) WATER MAIN
- 17 STA=2+23.85; 24.20'LT
1-8" 90' BEND (MJ)
1-THRUST BLOCK
- 18 224LF-8" D.I.(CL52) WATER MAIN
- 19 STA=0+15.39; 5.46'RT
1-8" 90' BEND (MJ)
9LF-8" D.I.(CL52) WATER MAIN
1-THRUST BLOCK
REMOVE BO
CONNECT TO EXISTING
- 20 15LF-8" PVC (SDR35) @ 0.60%
202LF-8" PVC (SDR35) @ 0.48%
122LF-8" PVC (SDR35) @ 0.52%

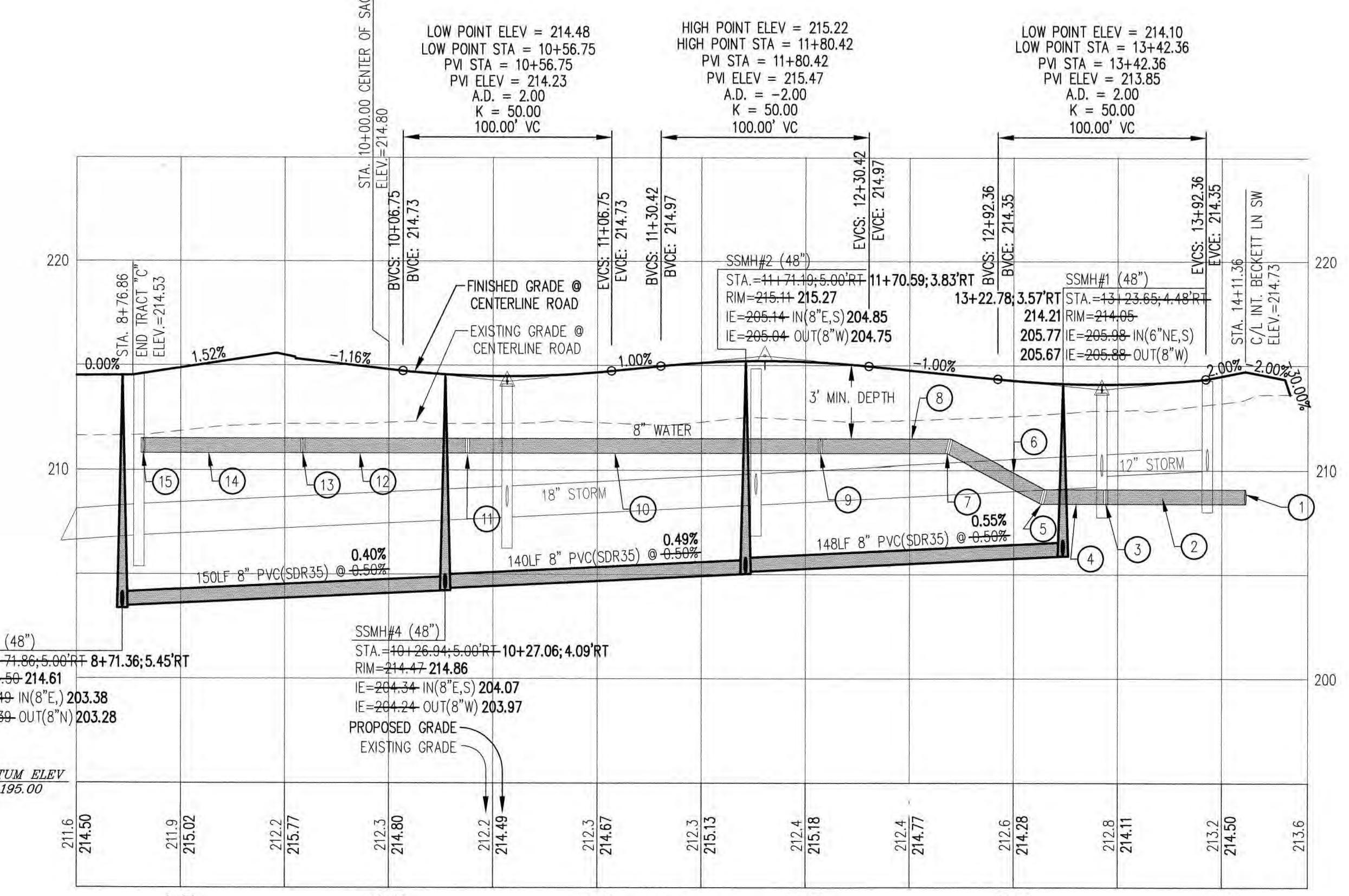
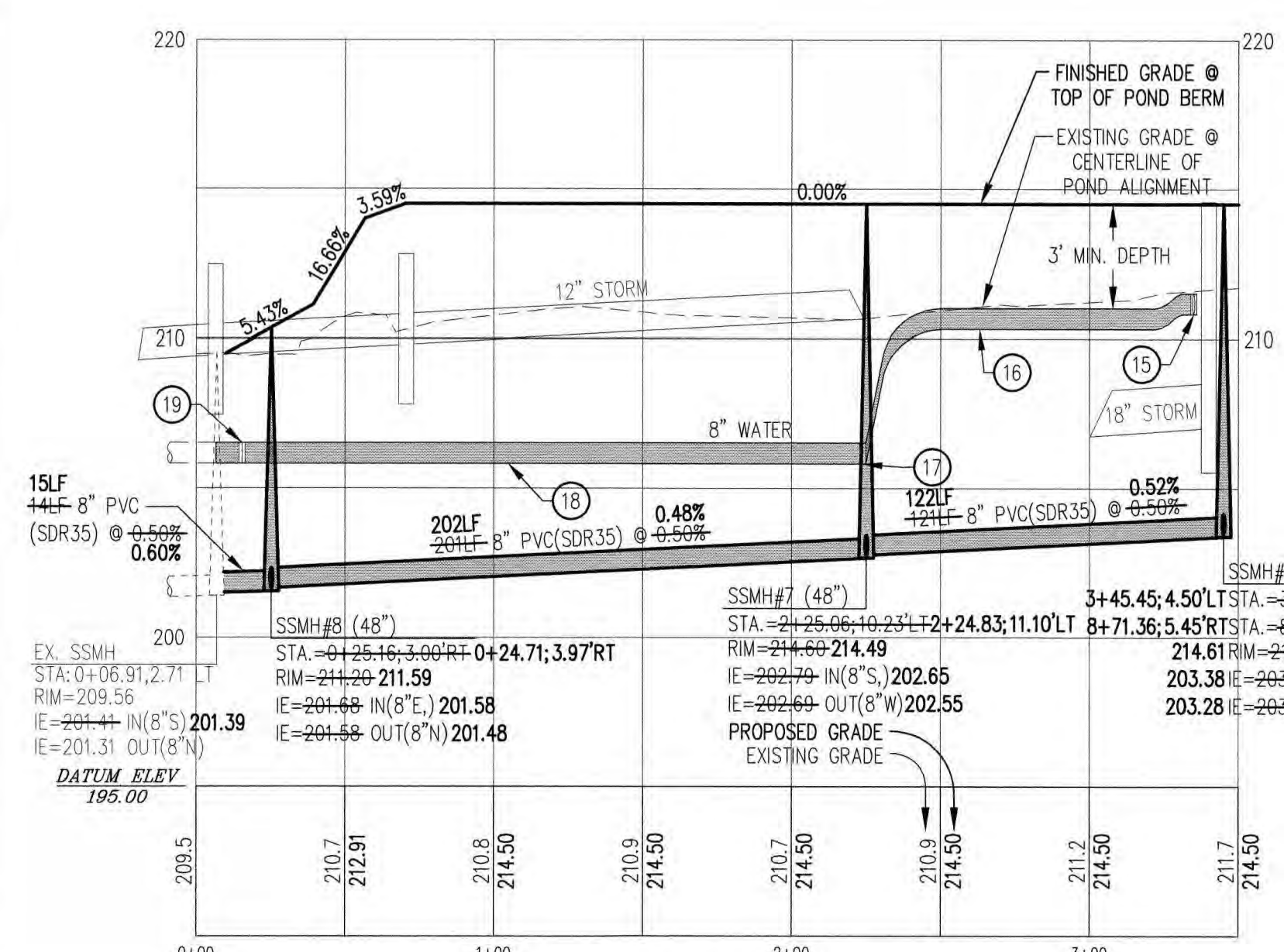
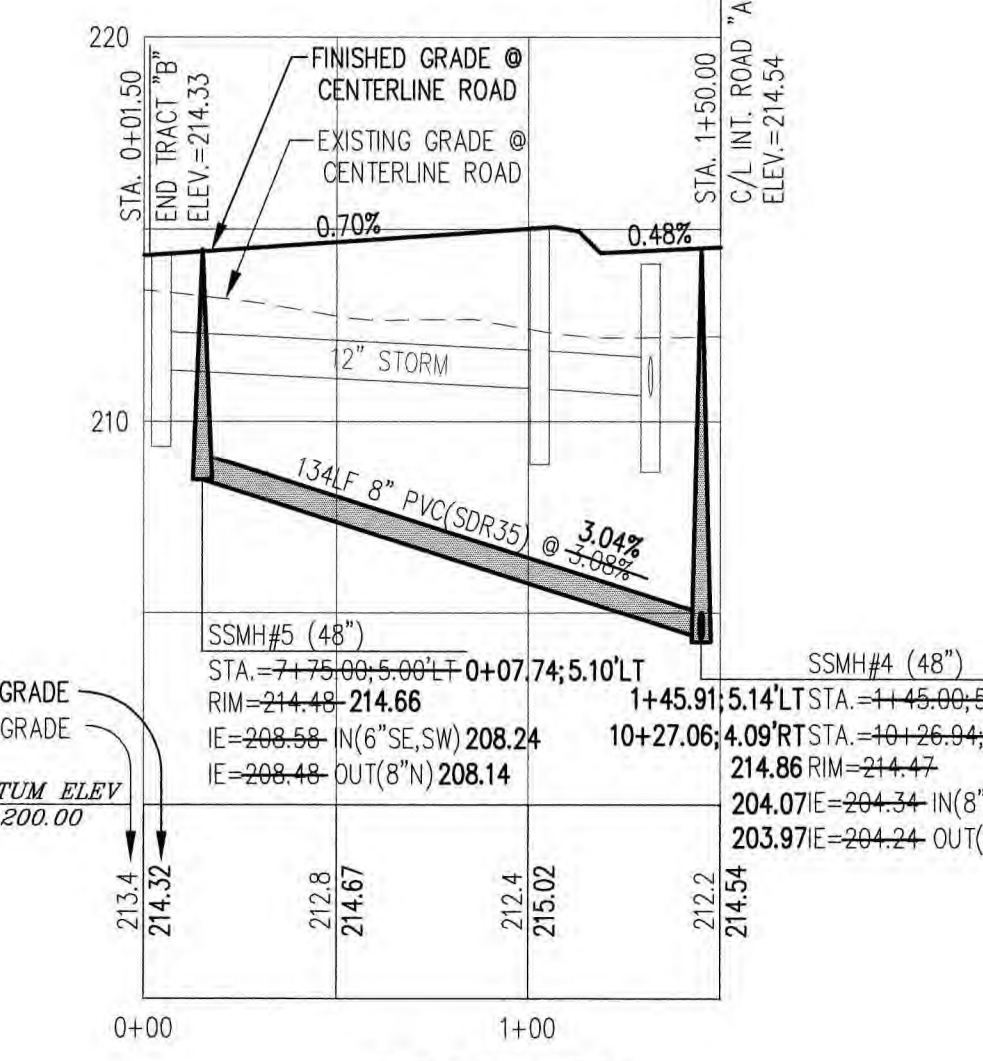
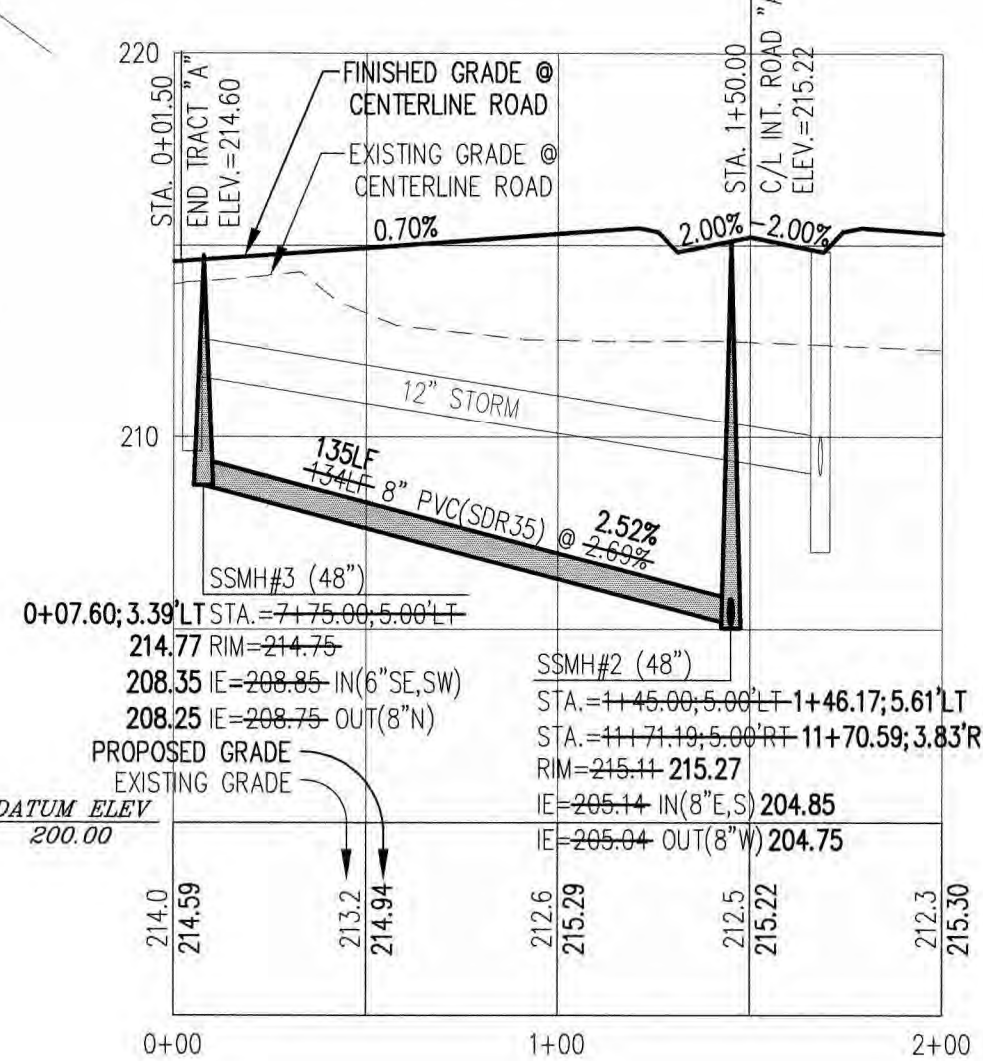
CONTRACTOR NOTE:
CONTRACTOR SHALL VERIFY ELEVATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.

LOT#	STATION	STATION	OFFSET	OFFSET	IE	IE
1	0+00.00	-	-77.00'LT	43.92'LT	-207.52	201.64
2	1+36.07	1+37.33	50.00'LT	41.57'LT	-206.00	210.15
3	1+36.07	1+37.33	50.00'LT	41.55'LT	-206.00	209.43
4	0+25.07	0+26.63	50.00'LT	41.44'LT	-206.27	208.06
5	0+25.07	0+26.63	50.00'LT	42.06'LT	-206.27	208.51
6	0+38.97	0+41.55	50.00'LT	41.89'LT	-205.53	208.64
7	0+38.97	0+41.55	50.00'LT	41.50'LT	-205.53	209.19
8	0+56.10	0+55.77	36.00'LT	25.93'LT	-204.43	208.76
9	0+56.10	0+55.77	36.00'LT	24.71'LT	-204.43	209.56
10	0+03.35	0+85.45	48.00'RT	44.43'RT	-204.86	209.39
11	0+03.35	0+85.45	48.00'RT	51.94'RT	-204.86	209.38
12	1+48.85	1+45.97	64.00'RT	65.14'RT	-205.49	208.23
13	0+00.00	-	20.00'RT	14.75'LT	-208.98	209.23
14	0+00.00	-	20.00'RT	5.82'RT	-208.98	209.61
15	0+34.54	0+34.66	40.00'RT	34.66'RT	-205.31	208.00
16	1+10.00	1+10.75	40.00'RT	38.32'RT	-205.57	208.23
17	0+00.00	-	20.00'RT	15.21'RT	-209.25	209.53
18	0+00.00	-	20.00'RT	4.51'RT	-209.25	209.92
19	0+29.98	0+32.44	40.00'RT	42.06'RT	-206.09	207.80
20	0+00.00	-	40.00'RT	42.52'RT	-206.79	209.06

MEADOWS AT ORTING SOUTH
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9G 5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



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CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C8**
8 of 20 Sheets

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

COPPER RIDGE LLC

Project: MEADOWS AT ORTING SOUTH ROAD 'A' & TRACTS 'A', 'B', & 'D' WATER & SEWER PLAN & PROFILE

Client: P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: LEH
Checked: CAD

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

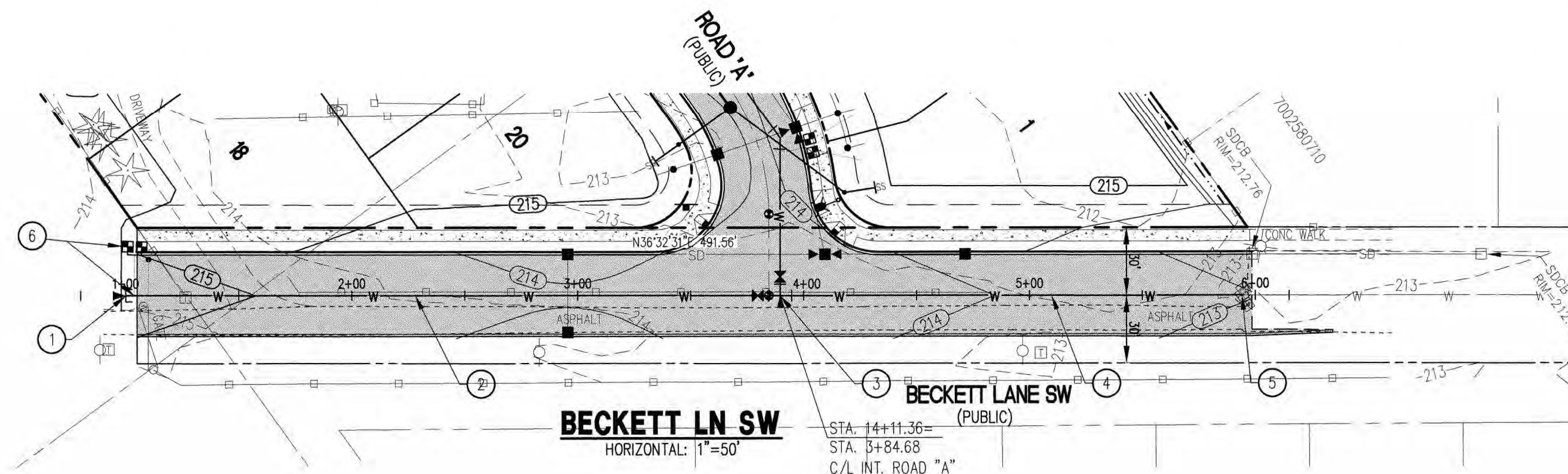
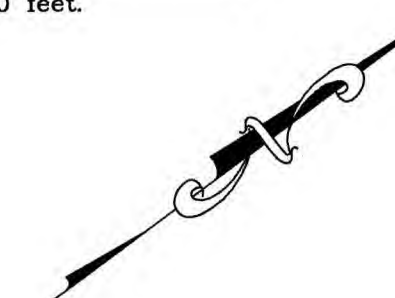
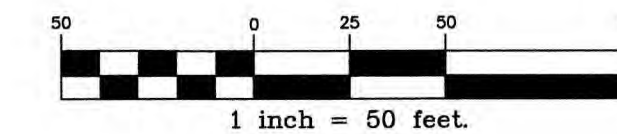
Revision: _____
Date: 12/27/19

Address: _____
Comments: _____
No. _____

Professional Engineer Seal: FREDERICK B. BROWN, No. 83710, REGISTERED PROFESSIONAL ENGINEER, 9/21/20

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E 5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



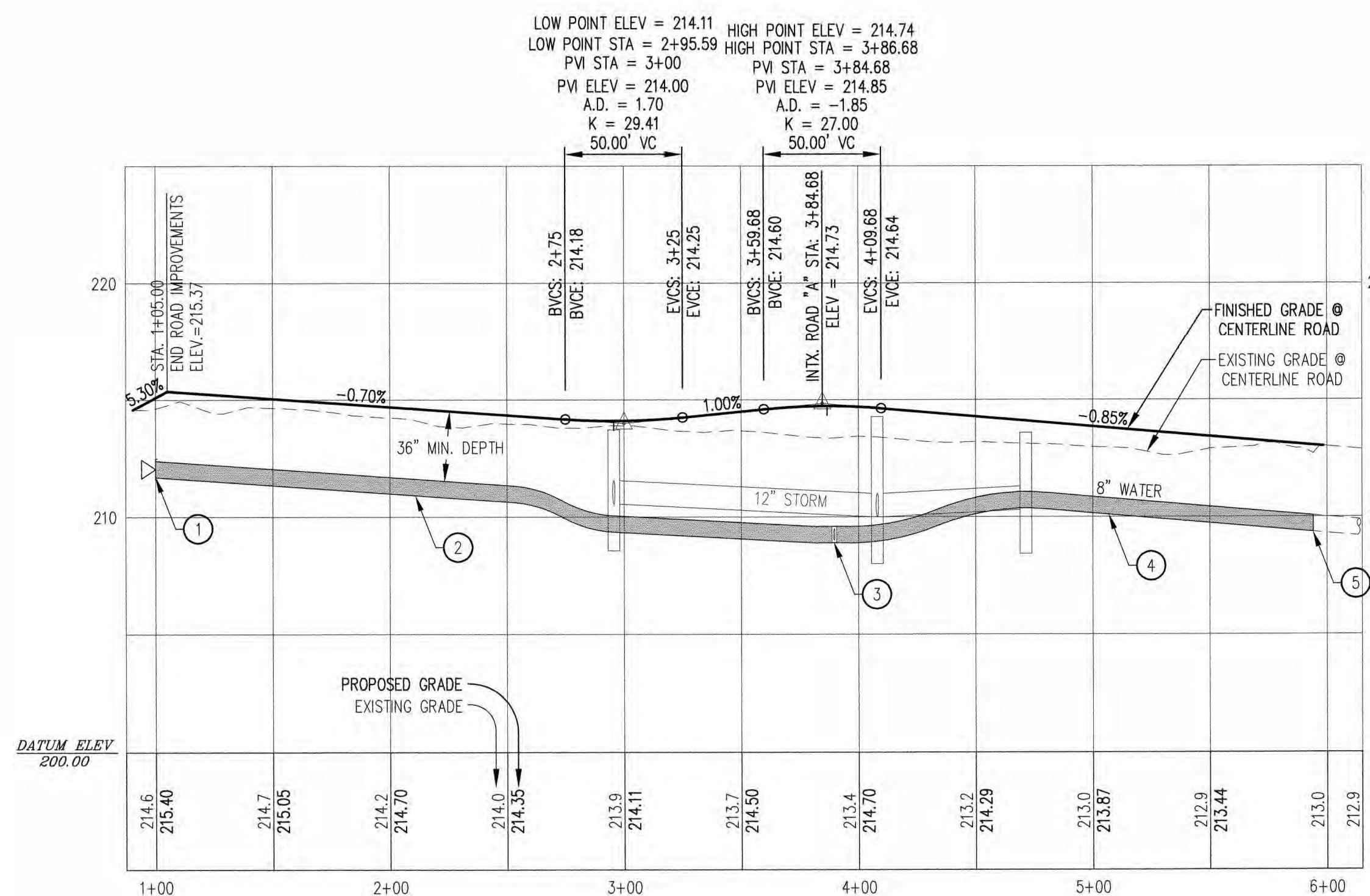
9/21/20

KEY NOTES

NOTE:
ALL PIPE JOINTS SHALL BE RESTRAINED.

- ① STA=1+0.00;0.00'RT
END INSTALLATION OF 8" WATER MAIN
1-2" BO ASSEMBLY PER C.O.O. DETAIL
W-7B ON SHEET W16
1-8" CAP/PLUG
1-THRUST BLOCKING
- ② 290LF~8" D.I.(CL52) WATER MAIN
- ③ STA=3+89.68;0.00'RT
1-8" TEE (FLXFLXFL)
2-8" GV (FLXMJ)
1-8" ADAPTOR (FLXMJ)
1-THRUST BLOCKING
- ④ 210LF~8" D.I.(CL52) WATER MAIN
- ⑤ STA=5+94.18;0.00'RT
CONNECT TO EXISTING 8" WATER MAIN
VERIFY LOCATION WITH CITY OF ORTING
REMOVE 8" PLUG
1-8" ADAPTOR (FLXMJ)
- ⑥ EXISTING WATER METERS TO BE RELOCATED
TO END OF BECKETT LANE SW.

CONTRACTOR NOTE:
CONTRACTOR SHALL VERIFY ELEVATION
PRIOR TO CONSTRUCTION. CONTRACTOR
SHALL NOTIFY ENGINEER OF ANY
DISCREPANCIES.



BECKETT LN SW

HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

OVR's review limited to providing input on operational issues only.
OVR has not reviewed the plans for Code compliance.

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4252
ceservices@cesnwinc.com
409 - 29th ST. NE, SUITE D
FOYALLUP, WA 98372

Project: **MEADOWS AT ORTING SOUTH**
BECKETT LANE SW
WATER PLAN & PROFILE
Client: **COPPER RIDGE LLC**
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

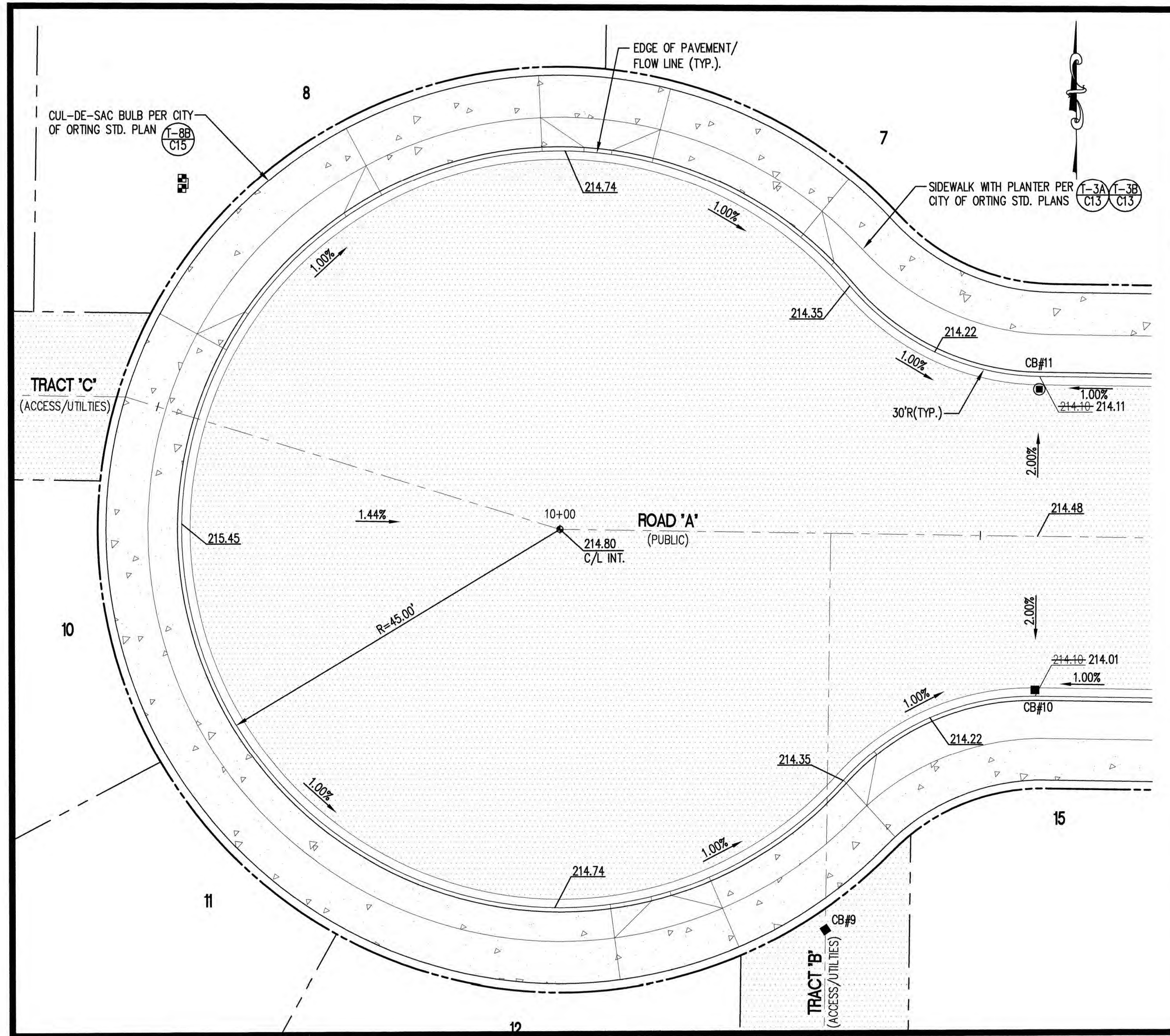
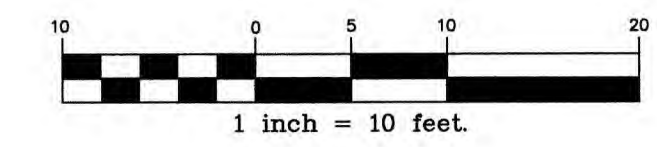
Sheet No.: **C9**
9 of 20 Sheets

MEADOWS AT ORTING SOUTH

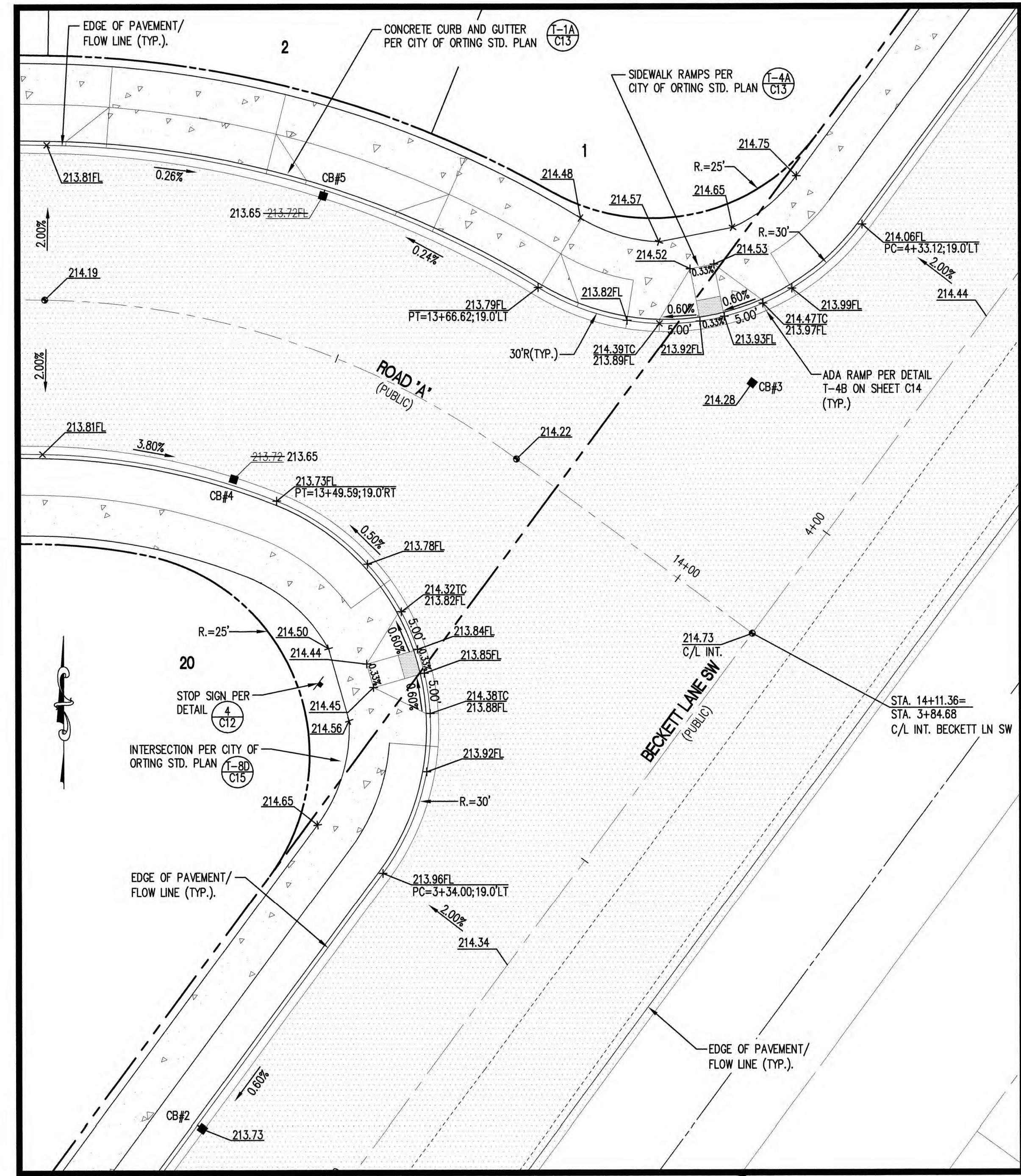
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

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ROAD 'A'
SCALE: 1" = 10'



**BECKETT LN SW
ROAD 'A'**
SCALE: 1" = 10'

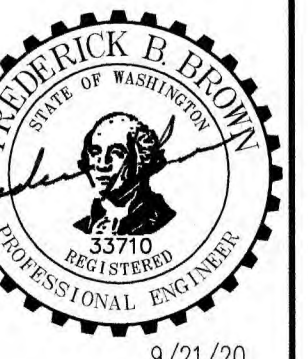
CURB RAMP NOTES

- CONTRACTOR TO FOLLOW DESIGN ELEVATION AND VERIFY THAT SLOPES DO NOT EXCEED ADA MAXIMUM'S PRIOR TO CONCRETE WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REFER TO PIERCE COUNTY STANDARD DETAILS PC.F8.4, PC.F8.5, AND PC.F8.6 FOR ADDITIONAL DESIGN INFORMATION.

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____
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**CALL 48 HOURS
BEFORE YOU DIG
DIAL 811**



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-2822
439 - 28th St. NE, Suite 0
Puyallup, WA 98372
ceservices@cesnwinc.com

Project: **MEADOWS AT ORTING SOUTH**
Client: **COPPER RIDGE LLC**
P.O. BOX 73790, PUYALLUP, WA 98373

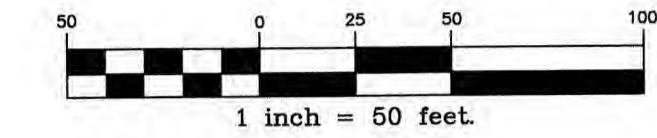
Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=10'
Date: 09.21.20
Job No.: 17171
Sheet No.: **C10**
10 of 20 Sheets

No.	Revision	Date
1	ADDRESS COMMENTS	12/21/19
2		
3		
4		

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

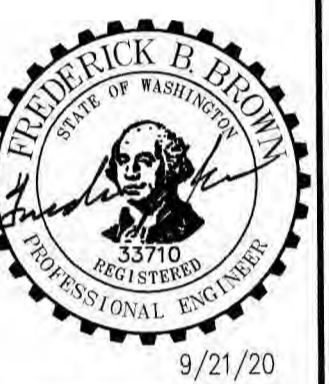
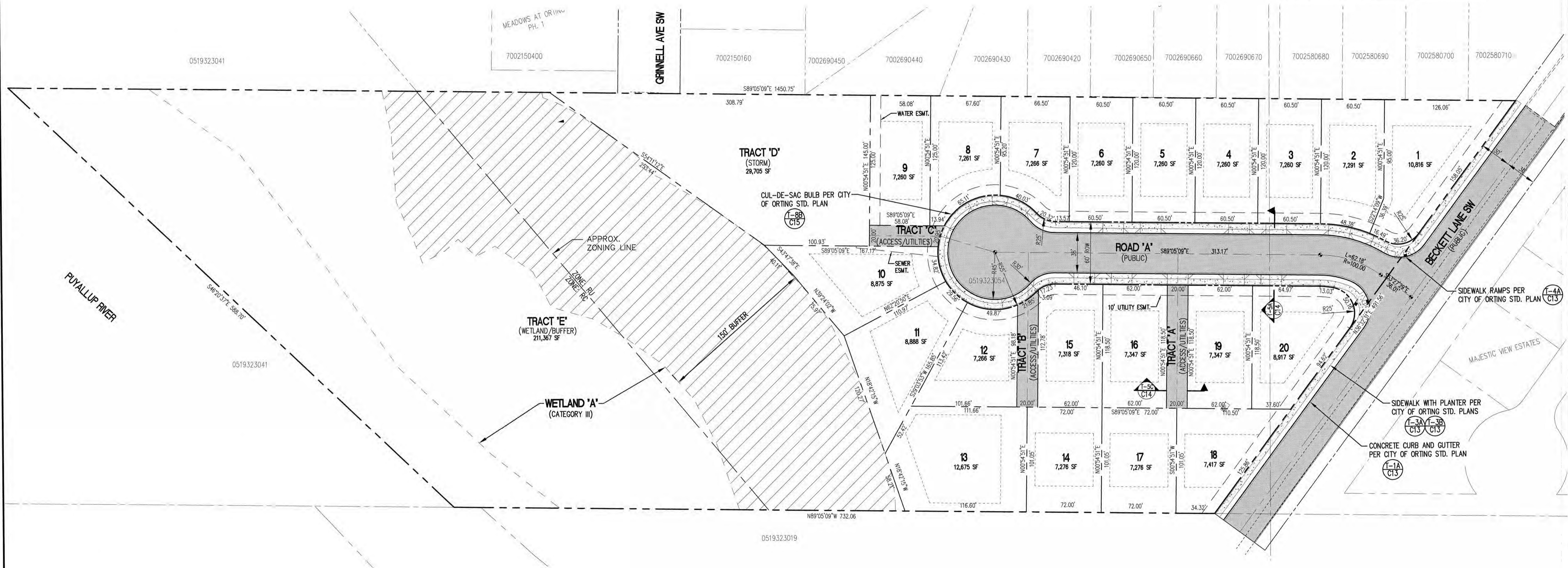


NOTE:

1. THESE PLANS ARE PRELIMINARY UNLESS THE JURISDICTIONAL APPROVAL BOX HAS BEEN SIGNED.
2. CAD FILE WILL BE PROVIDED BY ENGINEER TO AID IN ESTABLISHING HORIZONTAL CONTROL.

ASBUILT RECORD NOTE

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C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4282
Fax: (253) 848-4278
429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
ceservices@cesnwinc.com

Project: **MEADOWS AT ORTING SOUTH**
DIMENSIONING PLAN
Client: **COPPER RIDGE LLC**
P.O. BOX 73790, PUYALLUP, WA 98373

CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR	DATE
CITY ENGINEER	DATE
FIRE CHIEF	DATE

ORF's review limited to providing input on operational issues only. ORF has not reviewed the plans for Code compliance.

Designed:	FBB
Drawn:	JEH
Checked:	CAD
Scale:	1"=50'
Date:	09.21.20
Job No.:	17171
Sheet No.:	C11
11 of 20 Sheets	

No.	ADDRESS	COMMENTS	Revision:	Date:
1	FBB	Int.		12/27/19

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT CITY HALL TO BE ATTENDED BY ALL MAJOR CONTRACTORS, REPRESENTATIVES OF INVOLVED UTILITIES, AND THE CITY OF ORTING. CONTACT THE PUBLIC WORKS ENGINEERING DIVISION TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF PLANS AT THE MEETING.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO FINAL ACCEPTANCE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF ORTING CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
- A COPY OF THESE APPROVED PLANS AND SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF UTILITIES.
- ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
- FRONT PROPERTY CORNERS SHALL BE SET BY A LAND SURVEYOR LICENSED IN THE STATE OF WASHINGTON PRIOR TO THE START OF CONSTRUCTION.
- DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING HOMEOWNERS OF THE INTENDED CONSTRUCTION SCHEDULE.
- CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
- A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF ECOLOGY (360-407-6300).
- ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION.
- NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY ACCESSIBLE) BEFORE A PERMIT IS OBTAINED FROM THE DEPARTMENT OF NATURAL RESOURCES (DNR). WAC 332-120-030(2) STATES "IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING CONSTRUCTION WORK OR OTHER ACTIVITY (INCLUDING ROAD AND STREET RESURFACING PROJECTS) TO ADEQUATELY SEARCH THE RECORDS AND THE PHYSICAL AREA OF THE PROPOSED CONSTRUCTION WORK OR OTHER ACTIVITY FOR THE PURPOSE OF LOCATING AND REFERENCING ANY KNOWN OR EXISTING SURVEY MONUMENTS." CONSTRUCTION SHALL NOT COMMENCE UNTIL WAC OUTLINED IN CHAPTER 332-120 IS COMPLIED WITH. SURVEY MONUMENTS SUBJECT TO WAC 332-120-030(2) INCLUDE LOCAL CONTROL POINTS AND LAND BOUNDARY SURVEY CORNERS.
- CONTRACTOR SHALL USE ENVIRONMENTALLY ACCEPTABLE LUBRICANTS COMPOSED OF BIODEGRADABLE BASE OILS SUCH AS VEGETABLE OILS, SYNTHETIC ESTERS, AND POLYALKYLENE GLYCOLS IN EQUIPMENT OPERATED IN OR NEAR THE WATER.
- PIPE BEDDING SHALL CONFORM TO 9-03.12(3) AND SHALL EXTEND 6 INCHES ABOVE AND BELOW THE PIPE. THE BASE OF THE EXCAVATION SHOULD BE AS DRY AS POSSIBLE AND ALL LOOSENED SOIL, ORGANIC MATERIAL AND OTHER DEBRIS REMOVED. ANY BEDDING MATERIAL SHOULD BE PLACED ON A FIRM NONYIELDING, RELATIVELY DRY SUBGRADE. THE TOP 6 INCHES OF BEDDING SHOULD BE CONTOURED TO FIT THE PIPE. PIPE ZONE MATERIAL SHOULD BE PLACED IN LAYERS NOT EXCEEDING 6 INCHES (LOOSE THICKNESS), COMPACTED TO 90 PERCENT DENSITY AS THE STANDARD (ASTM D 1557), AND SHOULD BE BROUGHT UP EVENLY ON BOTH SIDES OF THE PIPE FOR ITS FULL LENGTH UP TO AT LEAST 6 INCHES ABOVE THE TOP OF THE PIPE. COMPACTION WITHIN THE PIPE ZONE SHOULD BE ACCOMPLISHED WITH HAND-OPERATED LIGHTWEIGHT EQUIPMENT AS APPROVED BY THE PIPELINE MANUFACTURER TO AVOID PIPE DAMAGE.

MEADOWS AT ORTING SOUTH

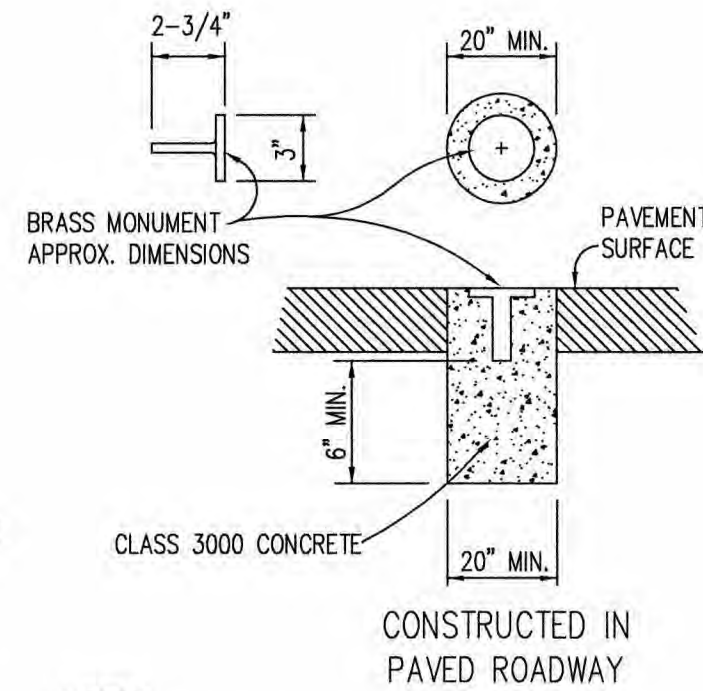
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WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

SANITARY SEWER NOTES

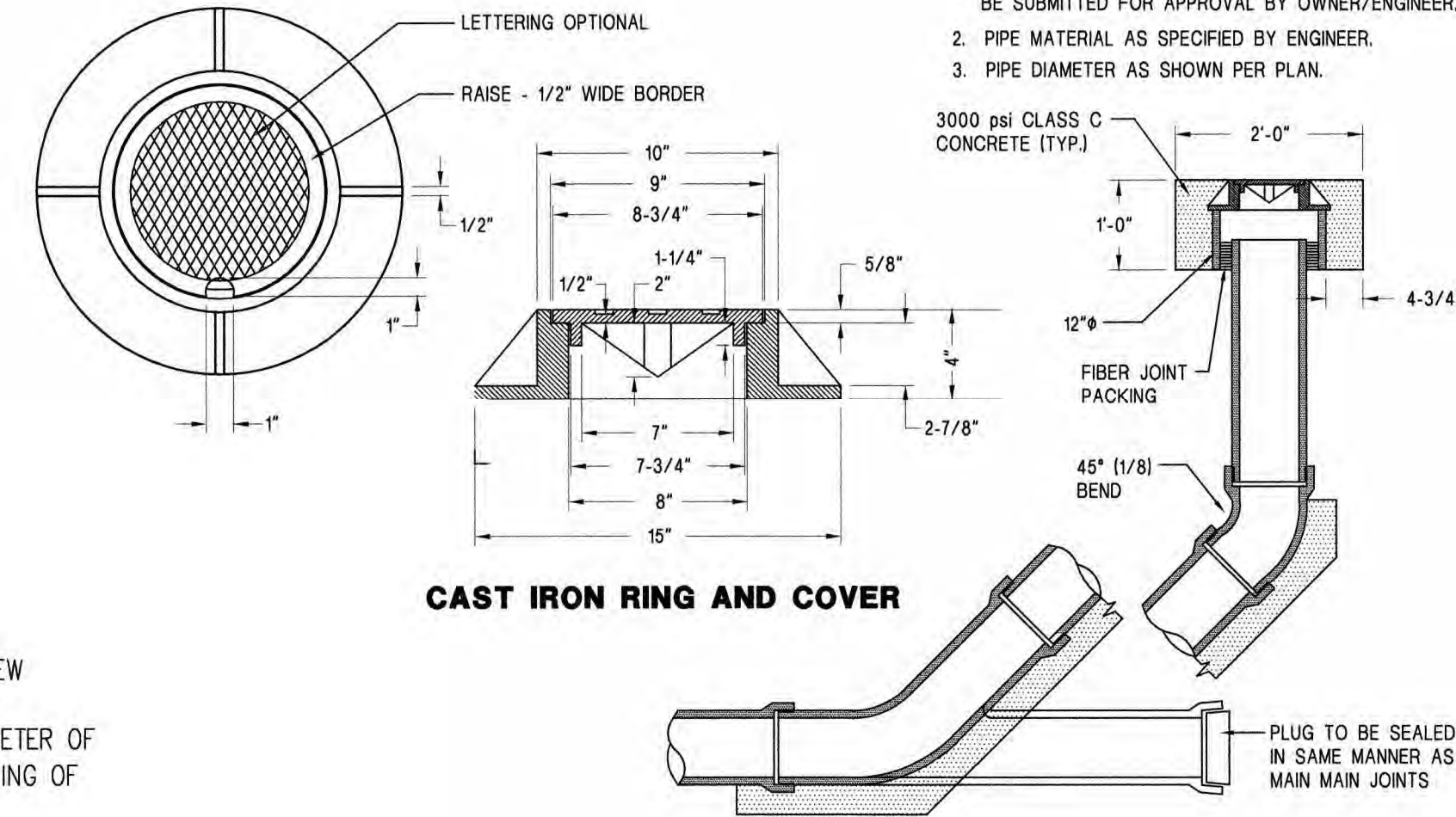
- WORK SHALL NOT COMMENCE UNTIL APPROVAL IS RECEIVED FROM THE STATE DEPARTMENT OF ECOLOGY.
- NOTIFY THE CITY OF ORTING 72 HOURS (3 WORKING DAYS) PRIOR TO BEGINNING CONSTRUCTION AND FOR ANY RESTART OF WORK.
- PROVIDE THE CITY'S OBSERVER WITH A COPY OF ALL CUT SHEETS PRIOR TO CONSTRUCTION.
- CONNECTION TO AN EXISTING MAIN SHALL BE DONE SO AS TO PREVENT ANY FOREIGN MATERIALS FROM ENTERING EXISTING SEWERS.
- IN THE EVENT THAT AN EXISTING UTILITY IS DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY AND THE UTILITY COMPANY (IF APPLICABLE) IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE EXISTING FACILITIES REMAIN FULLY OPERATIONAL DURING ALL STAGES OF CONSTRUCTION.
- ANY STRUCTURE AND/OR OBSTRUCTION WHICH REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE CONTRACTOR'S EXPENSE.
- SIDE SEWERS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DWGS S-5A AND S-5C. INSTALLATION WORK SHALL BE DONE IN ACCORDANCE WITH THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT (WISHA).
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" OF VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES. IF THIS CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE ENCASEMENT PER SEWAGE C1-9.1 OF THE WASHINGTON DEPARTMENT OF ECOLOGY CRITERIA FOR SEWAGE WORKS DESIGN MANUAL.
- ALL SEWER PIPE SHALL BE PVC OR DUCTILE IRON. PVC SEWER PIPE SHALL CONFORM TO ASTM D-3034, SDR35 FOR PIPE SIZES 15-INCH AND SMALLER, DUCTILE IRON PIPE SHALL BE CLASS 51 OR GREATER UNLESS OTHERWISE NOTED. TRENCHING, BEDDING, AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY STANDARD DWG S-2. MINIMUM COVER ON PVC PIPE SHALL BE 3.0 FEET. MINIMUM COVER ON DUCTILE IRON PIPE SHALL BE 1.0 FOOT.
- PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL VERIFY THAT THE LINE AND GRADE OF THE MAIN MEETS THE CITY OF ORTING STANDARDS. IMMEDIATELY PRIOR TO STARTING THE VIDEO INSPECTION, THE CONTRACTOR SHALL FLUSH THE MAINS AND INSERT A VISIBLE DYE (COLOR AS APPROVED BY THE CITY) INTO THE MAINS TO AID IN IDENTIFYING THE DEPTHS OF ANY PONDS ENCOUNTERED DURING THE INSPECTION. PONDED DEPTHS THAT EXCEED 1/2 INCH WILL REQUIRE THE MAIN TO BE REPAIRED UNLESS OTHERWISE APPROVED BY THE CITY.
- SEWER SHALL BE TESTED ACCORDING TO SECTION 7-17 OF THE LATEST EDITIONS OF THE CITY OF ORTING DEVELOPMENT STANDARDS AND WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- ALL SANITARY SEWER PIPING SPECIFIED AS DUCTILE IRON SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- ALL DUCTILE IRON PIPE FOR SANITARY SEWER APPLICATIONS SHALL BE LINED WITH PROTECTO 401 CERAMIC EPOXY OR APPROVED EQUAL.
- FIELD LOK GASKETS ARE REQUIRED ON ALL DUCTILE IRON PIPE FOR SANITARY SEWER APPLICATIONS.

STREET NOTES

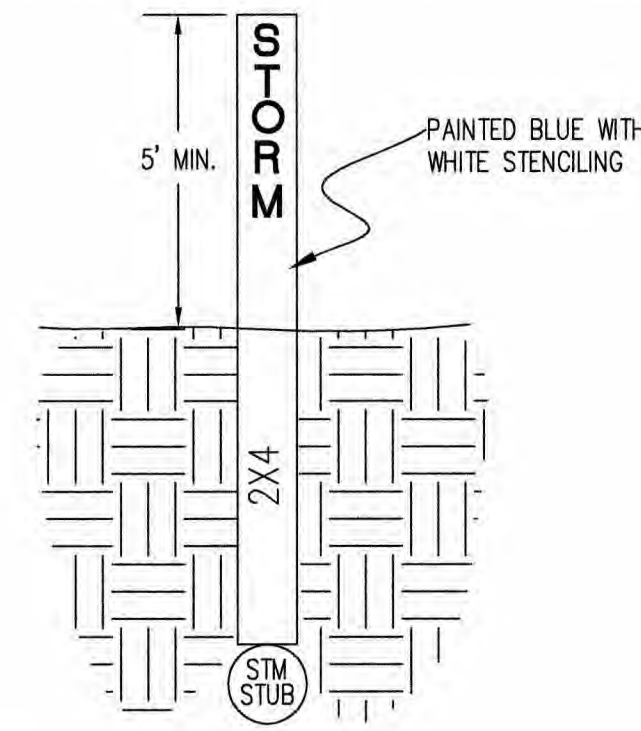
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD MANUAL. PRIOR TO DISRUPTION OF ANY TRAFFIC, TRAFFIC CONTROL PLANS SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR POSSIBLE APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE. WORK SHALL CEASE WHEN TRAFFIC CONTROL FAILS TO MEET MINIMUM REQUIREMENTS.
- ALL CURB AND GUTTER, STREET GRADES, SIDEWALK GRADES, AND ANY OTHER VERTICAL AND/OR HORIZONTAL ALIGNMENT SHALL BE STAKED BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK. SUCH FIRMS SHALL BE CURRENTLY LICENSED IN THE STATE OF WASHINGTON TO PERFORM SUCH WORK.
- WHERE NEW ASPHALT JOINS EXISTING, THE EXISTING ASPHALT SHALL BE CUT TO A NEAT VERTICAL EDGE AND TACKED WITH ASPHALT EMULSION TYPE CSS 1 IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE NEW ASPHALT SHALL BE FEATHERED BACK OVER EXISTING TO PROVIDE FOR A SEAL AT THE SAW CUT LOCATION AND THE JOINT SEALED WITH GRADE AR-4000W PAVING ASPHALT. A SAND BLANKET SHALL BE APPLIED TO THE SURFACE TO MINIMIZE "TRACKING" OF SAME.
- COMPACTION OF SUBGRADE, ROCK, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE WSDOT STANDARD SPECIFICATIONS.
- FORM AND SUBGRADE INSPECTION BY THE CITY IS REQUIRED BEFORE POURING CONCRETE. A MINIMUM TWO (2) WORKING DAYS NOTICE ARE REQUIRED TO BE PROVIDED TO THE CITY OBSERVER FOR FORM INSPECTION.
- ALL STREETS, CURB AND GUTTERS, SIDEWALKS, AND ASSOCIATED APPURTENANCES SHALL BE CLEANED TO THE SATISFACTION OF THE CITY PRIOR TO FINAL ACCEPTANCE.



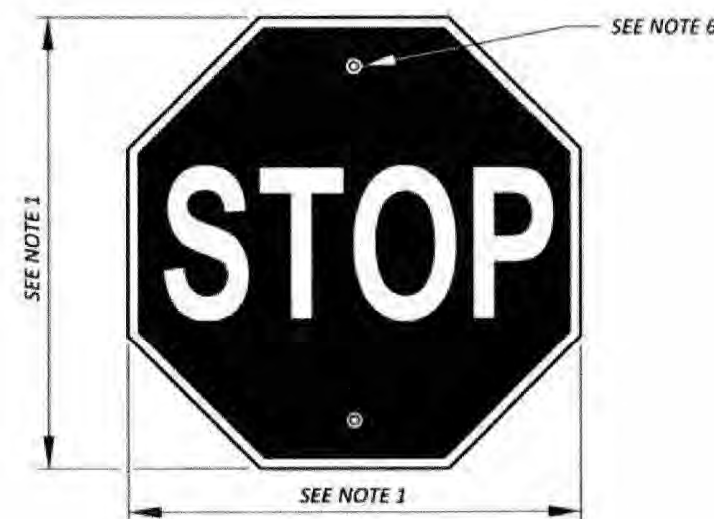
1 SURFACE BRASS MONUMENT
N.T.S.



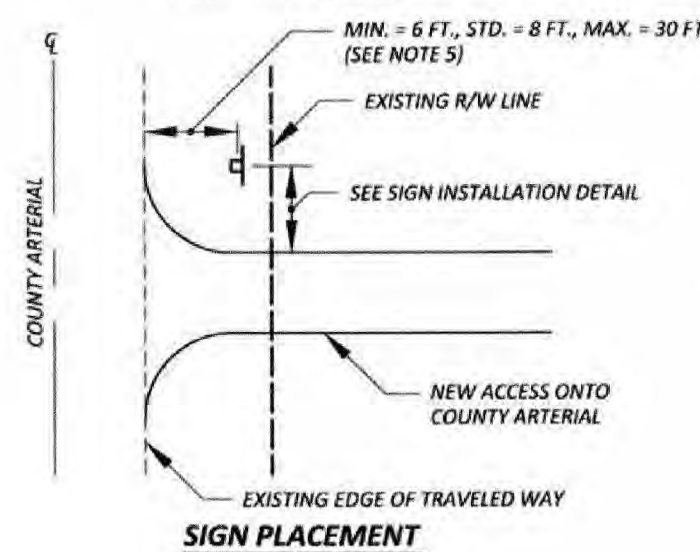
2 CLEAN OUT
N.T.S.



3 STORM STUB STAKE
N.T.S.

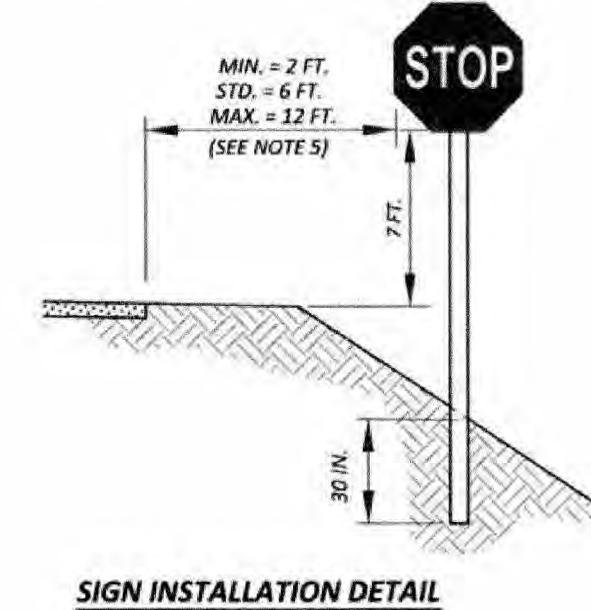


STOP SIGN (R1-1)



SIGN PLACEMENT

- NOTES:**
- SIGN SIZE: A STOP SIGN THAT FACES A MULTI-LANE APPROACH SHALL BE 36 IN. X 36 IN. IF THE SIDE ROAD INTERSECTS A MULTI-LANE STREET WITH A SPEED LIMIT OF 45 MPH, THE STOP SIGN SHALL BE 36 IN. X 36 IN. ALL OTHER STOP SIGNS SHALL BE 30 IN. X 30 IN., UNLESS OTHERWISE DIRECTED BY THE COUNTY ENGINEER.
 - SIGN FACE MATERIAL SHALL BE TYPE IV SHEETING. SIGN POST SHALL BE 4 IN. X 4 IN. UNTREATED WESTERN RED CEDAR OR 2 IN. GALVANIZED METAL AS DIRECTED BY THE COUNTY ENGINEER.
 - THE STOP SIGN SHALL BE VISIBLE FROM A DISTANCE OF AT LEAST 240 FT. BACK ON THE APPROACHING ROADWAY, WHEN THE LEGAL SPEED LIMIT IS 25 MPH.
 - ALL CLEARING WITHIN PIERCE COUNTY RIGHT OF WAY TO MAKE THE SIGN VISIBLE IS THE RESPONSIBILITY OF THE APPLICANT. APPROVED ROAD CONSTRUCTION PLANS OR A PERMIT FROM PIERCE COUNTY IS NECESSARY BEFORE WORK COMMENCES.
 - VARIATION FROM THIS LOCATION BY WRITTEN APPROVAL OF THE COUNTY ENGINEER.
 - MOUNT WITH TWO 3/8 IN. X 3 IN. GALVANIZED LAG SCREW AGAINST 1 IN. DIA. GALVANIZED FLAT WASHER AGAINST 1 IN. DIA. W/CON WASHER.
 - LEGEND, BACKGROUND, AND BORDER SHALL MEET WSDOT SIGN FABRICATION MANUAL.

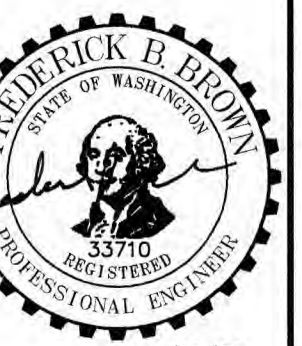


SIGN INSTALLATION DETAIL

(NOT TO SCALE)

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A TEMPORARY STOP SIGN AS SOON AS PAVING IS COMPLETED UNTIL SUCH TIME AS THE COUNTY INSTALLS A PERMANENT STOP SIGN.

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C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4982
ceservices@cesnwi.com
429 - 28TH ST. NE, SUITE D
PUYALLUP, WA 98372

MEADOWS AT ORTING SOUTH
CONSTRUCTION NOTES & DETAILS
Project: MEADOWS AT ORTING SOUTH
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

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Designed: FBB
Drawn: JEH
Checked: CAD

Scale: N.T.S.
Date: 09.21.20
Job No.: 17171

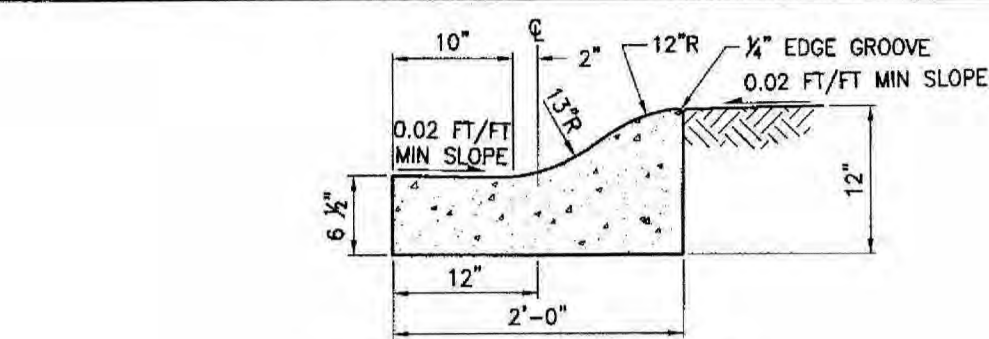
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12 of 20 Sheets

MEADOWS AT ORTING SOUTH

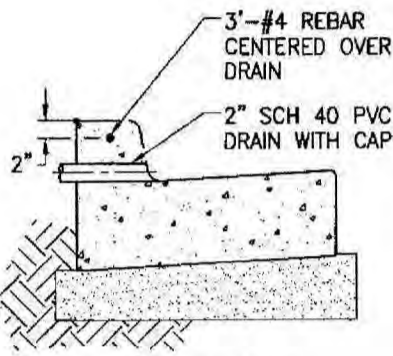
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WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

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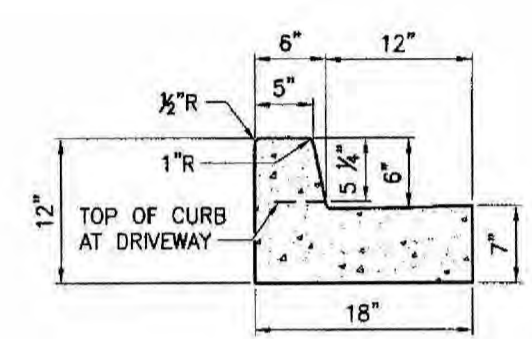
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ROLLED CONCRETE CURB & GUTTER



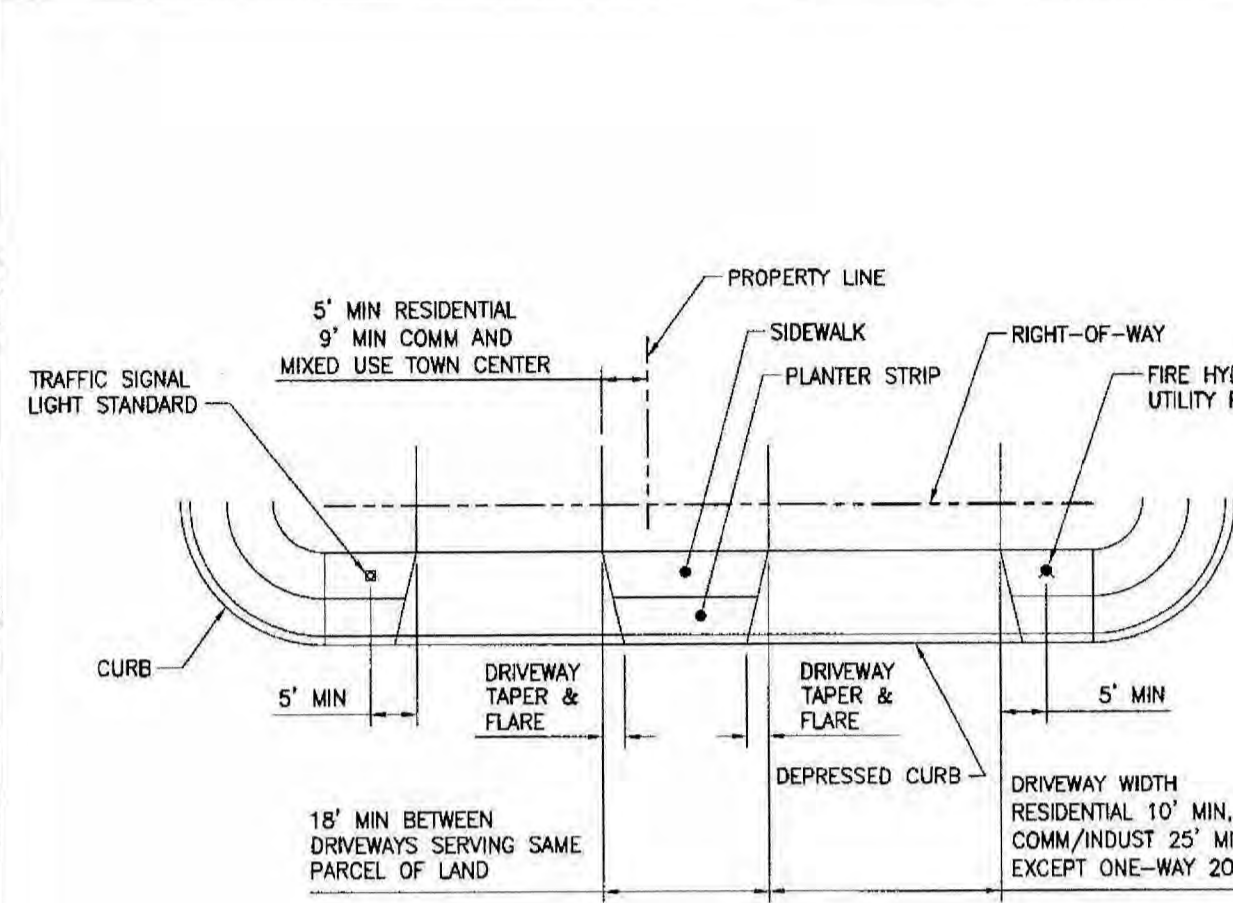
PVC THROUGH CURB
(SEE NOTE 7)



VERTICAL CONCRETE CURB & GUTTER

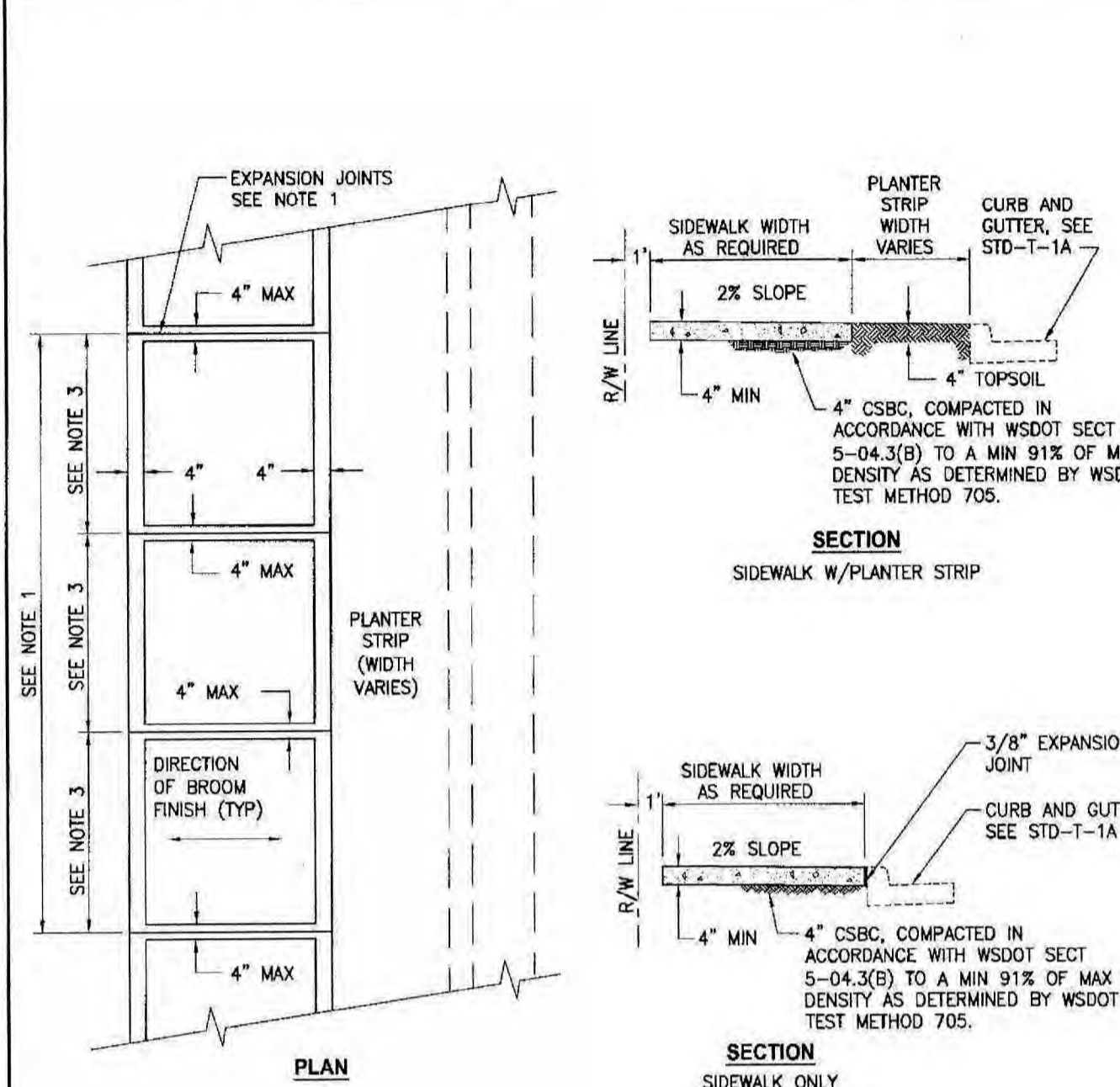
NOTES

- CONTRACTION JOINTS SHALL BE 3/8" x 2 1/4" ASPHALT SATURATED FELT PLACED IN ALL EXPOSED SURFACES OF CURB AND GUTTER AND SPACED AT 15' MAX 10' MIN OC.
- THRU JOINTS SHALL BE 3/4" ASPHALT SATURATED FELT PLACED AT POINTS OF TANGENCY ON CURVES, AT CATCH BASINS AND AT EDGES OF ALLEY AND DRIVEWAYS. THE MAXIMUM DISTANCE BETWEEN THRU JOINTS SHALL BE 100'.
- CONCRETE SHALL BE CLASS 3000 (8% AIR) (COARSE AGGR GR NO 2) (FINE AGGR CL 1).
- FORMS SHALL BE STEEL UNLESS PRIOR APPROVAL IS GIVEN BY THE CITY ENGINEER. FORMS SHALL BE SET TRUE TO LINE AND GRADE AND SECURELY STAKED PRIOR TO CONCRETE PLACEMENT. FULL DEPTH DIVISION PLATES ARE ONLY TO BE USED WHERE THRU JOINTS ARE TO BE PLACED.
- THE 1" RADIUS ON THE UPPER FACE OF THE CURB MAY BE FORMED BY AN EDGER TOOL OR BUILT INTO THE FACE FORM. THE 1" RADIUS AT THE BOTTOM FACE OF THE CURB SHALL BE FORMED BY THE FACE FORM.
- ROLLED CURBS AND GUTTERS SHALL ONLY BE ALLOWED AS A REPLACEMENT TO EXISTING ROLLED CURBS AND GUTTERS.
- 2" SCHEDULE 40 PVC SHALL BE PLACED THROUGH CURB AT LOW POINTS OF PROPERTY OR LOT WHEN GRADE SLOPES DOWN TO STREET AT LOCATIONS APPROVED BY THE CITY.



NOTES

- NO PORTION OF ANY DRIVEWAY SHALL ENCROACH IN CURB RETURN.
- COMMERCIAL/INDUSTRIAL DRIVEWAYS MUST BE APPROVED BY THE ENGINEER, CONSIDERING BOTH TRAFFIC SAFETY AND THE ACTIVITY BEING SERVED. ALL COMMERCIAL/INDUSTRIAL DRIVEWAYS SHALL HAVE AN EXPANSION JOINT LOCATED MID-WIDTH.
- DRIVEWAYS SHALL BE LOCATED AS FAR FROM THE INTERSECTION AS POSSIBLE.



SECTION
SIDEWALK W/PLANTER STRIP

SECTION
SIDEWALK ONLY

FOR NOTES SEE STD-T-3B

CITY OF ORTING
CONCRETE CURB & GUTTER

SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-1A
FILE NAME: STD-T-1A

CITY OF ORTING
LOCATION & WIDTH OF NEW DRIVEWAYS

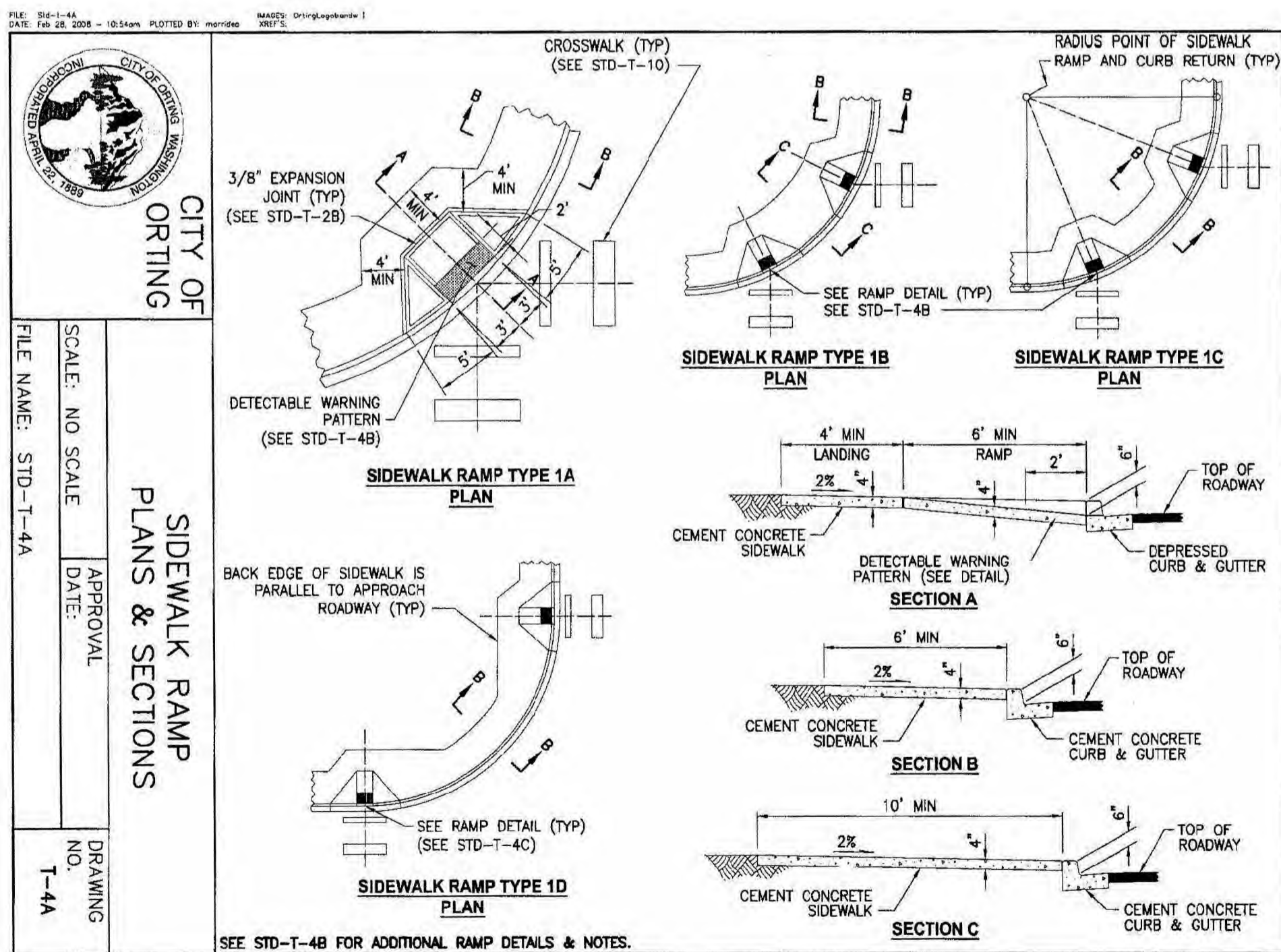
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FILE NAME: STD-T-2A

CITY OF ORTING
SIDEWALK W/PLANTER STRIP

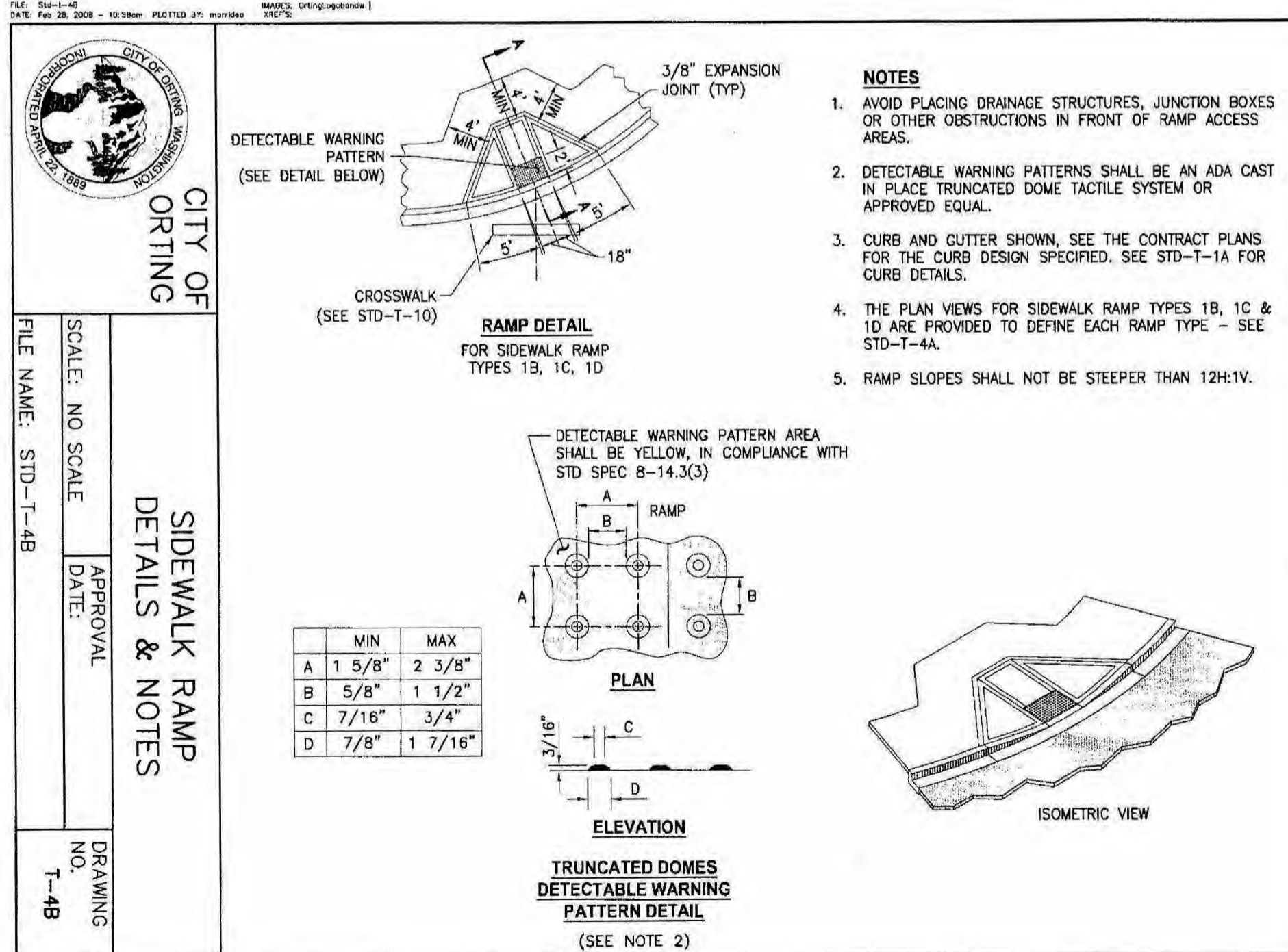
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DRAWING NO. T-3A
FILE NAME: STD-T-3A

CITY OF ORTING
SIDEWALK W/PLANTER STRIP NOTES

SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-3B
FILE NAME: STD-T-3B



SEE STD-T-4B FOR ADDITIONAL RAMP DETAILS & NOTES.



NOTES

- AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.
- DETECTABLE WARNING PATTERNS SHALL BE AN ADA CAST IN PLACE TRUNCATED DOME TACTILE SYSTEM OR APPROVED EQUAL.
- CURB AND GUTTER SHOWN, SEE THE CONTRACT PLANS FOR THE CURB DESIGN SPECIFIED. SEE STD-T-1A FOR CURB DETAILS.
- THE PLAN VIEWS FOR SIDEWALK RAMP TYPES 1B, 1C & 1D ARE PROVIDED TO DEFINE EACH RAMP TYPE - SEE STD-T-4A.
- RAMP SLOPES SHALL NOT BE STEEPER THAN 12H:1V.

CITY OF ORTING
SIDEWALK RAMP PLANS & SECTIONS

SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-4A
FILE NAME: STD-T-4A

CITY OF ORTING
SIDEWALK RAMP DETAILS & NOTES

SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-4B
FILE NAME: STD-T-4B

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

DESIGNED: FBB
DRAWN: JEH
CHECKED: CAD

SCALE: NTS
DATE: 09.21.20
JOB NO.: 17171

SHEET NO.: **C13**

13 of 20 Sheets

Project: MEADOWS AT ORTING SOUTH CONSTRUCTION DETAILS
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: NTS
Date: 09.21.20
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Sheet No.: **C13**

13 of 20 Sheets

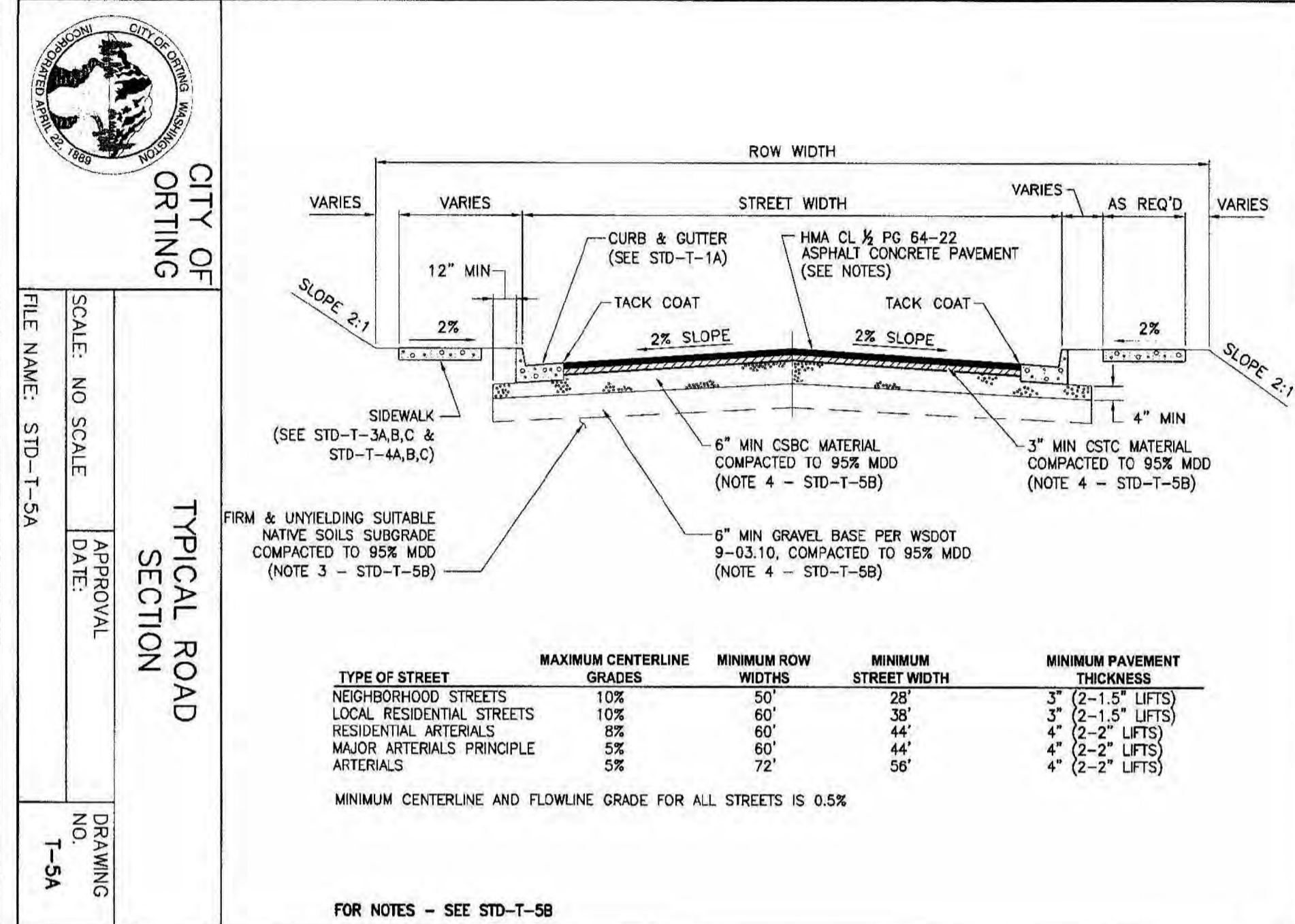
Frederick B. Brown
Professional Engineer
No. 33710
Date: 9/21/20

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4282
Fax: (253) 848-4278
429 - 29th St. NE, Suite D
Puyallup, WA 98072
cesurvey@cesnwinc.com

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9G 5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

FILE: STD-T-5A
DATE: Feb 28, 2008 - 11:05am PLOTTED BY: marinda WAGG: Ortting@perc.com
SHEET 5



TYPE OF STREET	MAXIMUM CENTERLINE GRADES	MINIMUM ROW WIDTHS	MINIMUM STREET WIDTH	MINIMUM PAVEMENT THICKNESS
NEIGHBORHOOD STREETS	10%	50'	28'	3" (2-1.5" LIFTS)
LOCAL RESIDENTIAL STREETS	10%	60'	38'	3" (2-1.5" LIFTS)
RESIDENTIAL ARTERIALS	8%	60'	44'	4" (2-2" LIFTS)
MAJOR ARTERIALS PRINCIPLE	5%	60'	44'	4" (2-2" LIFTS)
ARTERIALS	5%	72'	56'	4" (2-2" LIFTS)

MINIMUM CENTERLINE AND FLOWLINE GRADE FOR ALL STREETS IS 0.5%

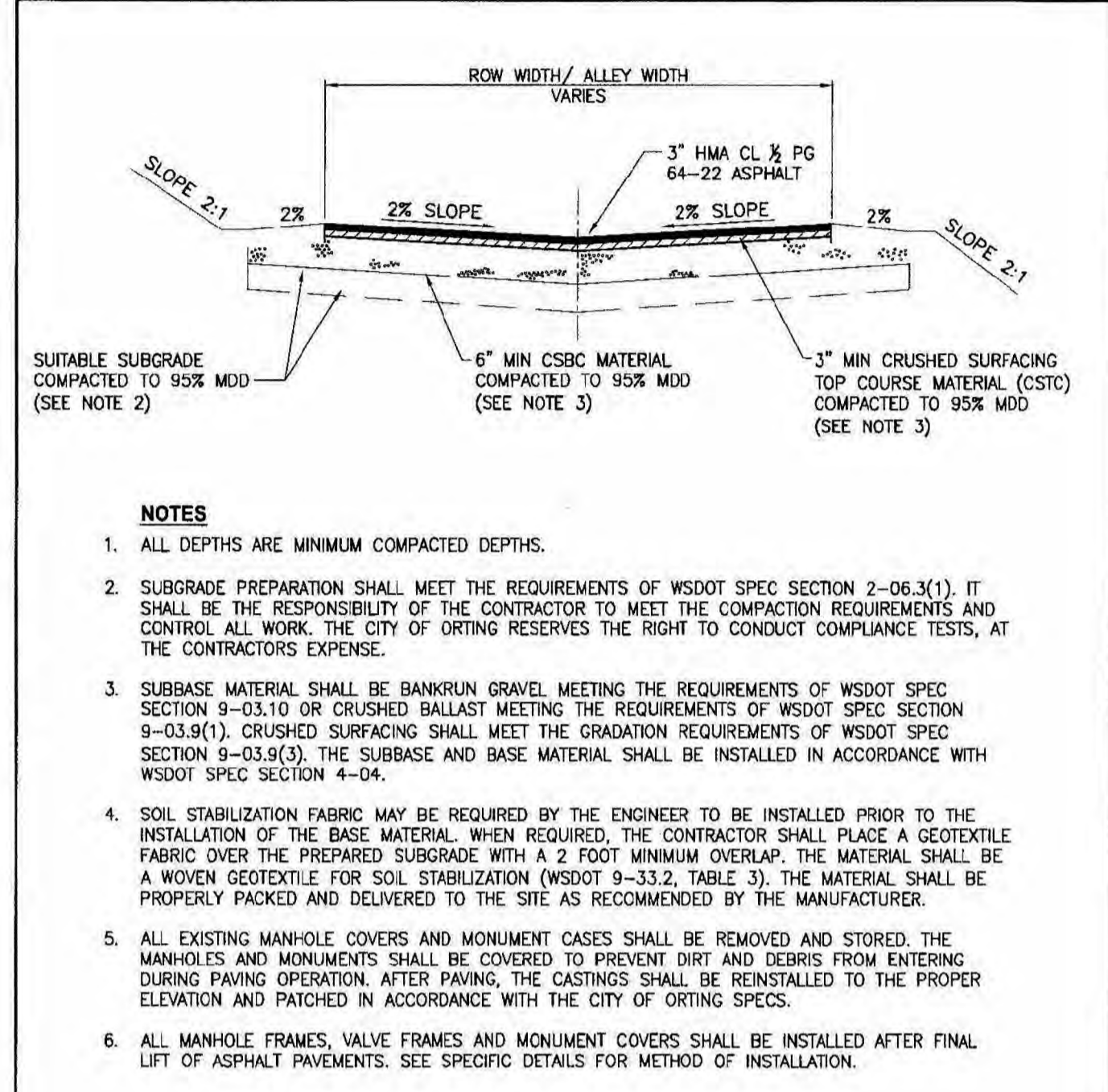
FOR NOTES - SEE STD-T-5B

FILE: STD-T-5B
DATE: Feb 28, 2008 - 11:05am PLOTTED BY: marinda WAGG: Ortting@perc.com
SHEET 6

CITY OF ORTING TYPICAL ROAD SECTION NOTES

- THE ABOVE REPRESENTS THE MINIMUM ACCEPTABLE ROADWAY COURSE. ULTIMATE ROADWAY COURSE SHALL BE VERIFIED BY A LICENSED GEOTECHNICAL ENGINEER PRIOR TO PLAN APPROVAL.
- ALL DEPTHS ARE MINIMUM COMPACTED DEPTHS.
- SUBGRADE PREPARATION SHALL MEET THE REQUIREMENTS OF WSDOT SPEC SECTION 2-06.3(1). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MEET THE COMPACTION REQUIREMENTS AND CONTROL ALL WORK. THE CITY OF ORTING RESERVES THE RIGHT TO CONDUCT COMPLIANCE TESTS, AT THE CONTRACTORS EXPENSE.
- SUBBASE MATERIAL SHALL BE BANKRUN GRAVEL MEETING THE REQUIREMENTS OF WSDOT SPEC SECTION 9-03.10 OR CRUSHED BALLAST MEETING THE REQUIREMENTS OF WSDOT SPEC SECTION 9-03.9(1). CRUSHED SURFACING SHALL MEET THE GRADATION REQUIREMENTS OF WSDOT SPEC SECTION 9-03.9(3). THE SUBBASE AND BASE MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH WSDOT SPEC SECTION 4-04.
- SOIL STABILIZATION FABRIC MAY BE REQUIRED BY THE ENGINEER TO BE INSTALLED PRIOR TO THE INSTALLATION OF THE BASE MATERIAL. WHEN REQUIRED, THE CONTRACTOR SHALL PLACE A GEOTEXTILE FABRIC OVER THE PREPARED SUBGRADE WITH A 2 FOOT MINIMUM OVERLAP. THE MATERIAL SHALL BE A WOVEN GEOTEXTILE FOR SOIL STABILIZATION (WSDOT 9-33.2, TABLE 3) THE MATERIAL SHALL BE PROPERLY PACKED AND DELIVERED TO THE SITE AS RECOMMENDED BY THE MANUFACTURER.
- SUBGRADE SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK. ANY SOFT SPOTS OR YIELDING EARTH SHALL BE REMOVED AND REPLACE WITH GRAVEL BASE, PRIOR TO PLACING THE NEXT LIFT OF MATERIAL.
- ASPHALT CONCRETE PAVEMENT SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH WSDOT SPEC SECTION 5-04.
- THE CITY RESERVES THE RIGHT TO MODIFY THE GRADATION OF THE ASPHALT CONCRETE PAVEMENT IF THE CONDITIONS WARRANT IT. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA TO BE REVIEWED BY THE CITY ENGINEER PRIOR TO ANY ASPHALT PLACEMENT.
- THE MAXIMUM COMPACTED THICKNESS OF ANY SINGLE LIFT OF PAVEMENT SHALL BE 2". PAVEMENT SECTIONS OF THICKNESS GREATER THAN 3" SHALL BE PLACED IN MULTIPLE LIFTS. EACH LIFT SHALL BE COMPACTED IN ACCORDANCE WITH WSDOT SPEC SECTION 5-04.3(10). PERIODIC COMPLIANCE TESTS SHALL BE MADE BY A CERTIFIED TESTING AGENCY AT THE EXPENSE OF THE CONTRACTOR.
- THE FACE OF THE GUTTER LIP AND EDGES OF EXISTING ASPHALT MEET LINES SHALL BE TACK COATED PRIOR TO PAVEMENT PLACEMENT. WHEN SUCCESSIVE LIFTS OF ASPHALT ARE REQUIRED TACK COAT SHALL BE DISTRIBUTED UNIFORMLY OVER THE PREVIOUS LIFT AT A RATE OF 0.06-0.08 GALLONS PER SQUARE YARD AT A TEMPERATURE OF 100 F AND SHALL BE ALLOWED TO SET TO A TACKY STATE PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
- ALL MEET LINES BETWEEN LIFTS OF ASPHALT SHALL BE UNIFORM, WITH EDGES VERTICAL AND AT THE REQUIRED THICKNESS. IF SUBSEQUENT LIFTS ARE NOT COMPLETED WITHIN 48 HOURS OR THE EDGES HAVE BEEN CONTAMINATED, THE MEET LINES SHALL BE CLEANED AND TACK COATED.
- ALL EXISTING MANHOLE COVERS AND MONUMENT CASES SHALL BE REMOVED AND STORED. THE MANHOLES AND MONUMENTS SHALL BE COVERED TO PREVENT DIRT AND DEBRIS FROM ENTERING DURING PAVING OPERATION, AFTER PAVING, THE CASTINGS SHALL BE REINSTALLED TO THE PROPER ELEVATION AND PATCHED IN ACCORDANCE WITH THE CITY OF ORTING SPECS.
- ANY CHANGES TO THE MINIMUM PAVEMENT SECTION SHALL REQUIRE APPROVAL OF THE CITY ENGINEER. A STRUCTURAL PAVEMENT CROSS SECTION DESIGN WITH CALCULATIONS SHALL BE REQUIRED.
- ALL MANHOLE FRAMES, VALVE FRAMES AND MONUMENT COVERS SHALL BE INSTALLED AFTER FINAL LIFT OF ASPHALT PAVEMENTS. SEE SPECIFIC DETAILS FOR METHOD OF INSTALLATION.
- NEIGHBORHOOD STREET CROSS SECTION SHALL OBTAIN PLANNING COMMISSION APPROVAL PRIOR TO IMPLEMENTATION.

ASBULT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.

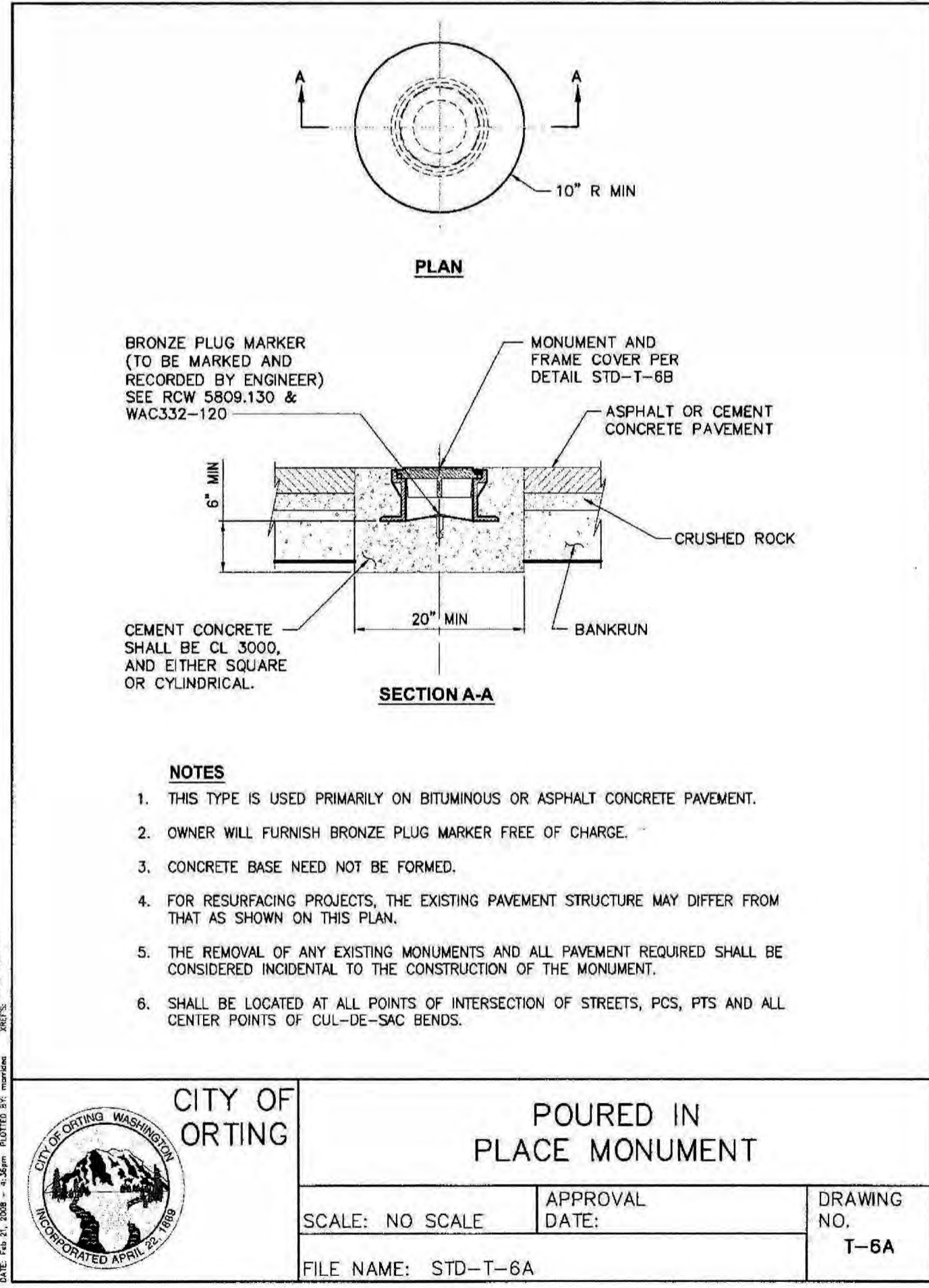


- NOTES**
- ALL DEPTHS ARE MINIMUM COMPACTED DEPTHS.
 - SUBGRADE PREPARATION SHALL MEET THE REQUIREMENTS OF WSDOT SPEC SECTION 2-06.3(1). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MEET THE COMPACTION REQUIREMENTS AND CONTROL ALL WORK. THE CITY OF ORTING RESERVES THE RIGHT TO CONDUCT COMPLIANCE TESTS, AT THE CONTRACTORS EXPENSE.
 - SUBBASE MATERIAL SHALL BE BANKRUN GRAVEL MEETING THE REQUIREMENTS OF WSDOT SPEC SECTION 9-03.10 OR CRUSHED BALLAST MEETING THE REQUIREMENTS OF WSDOT SPEC SECTION 9-03.9(1). CRUSHED SURFACING SHALL MEET THE GRADATION REQUIREMENTS OF WSDOT SPEC SECTION 9-03.9(3). THE SUBBASE AND BASE MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH WSDOT SPEC SECTION 4-04.
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 - ALL EXISTING MAN-HOLE COVERS AND MONUMENT CASES SHALL BE REMOVED AND STORED. THE MAN-HOLES AND MONUMENTS SHALL BE COVERED TO PREVENT DIRT AND DEBRIS FROM ENTERING DURING PAVING OPERATION. AFTER PAVING, THE CASTINGS SHALL BE REINSTALLED TO THE PROPER ELEVATION AND PATCHED IN ACCORDANCE WITH THE CITY OF ORTING SPECS.
 - ALL MANHOLE FRAMES, VALVE FRAMES AND MONUMENT COVERS SHALL BE INSTALLED AFTER FINAL LIFT OF ASPHALT PAVEMENTS. SEE SPECIFIC DETAILS FOR METHOD OF INSTALLATION.

CITY OF ORTING PUBLIC & PRIVATE ALLEY CROSS SECTION

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. T-5C

FILE NAME: STD-T-5C

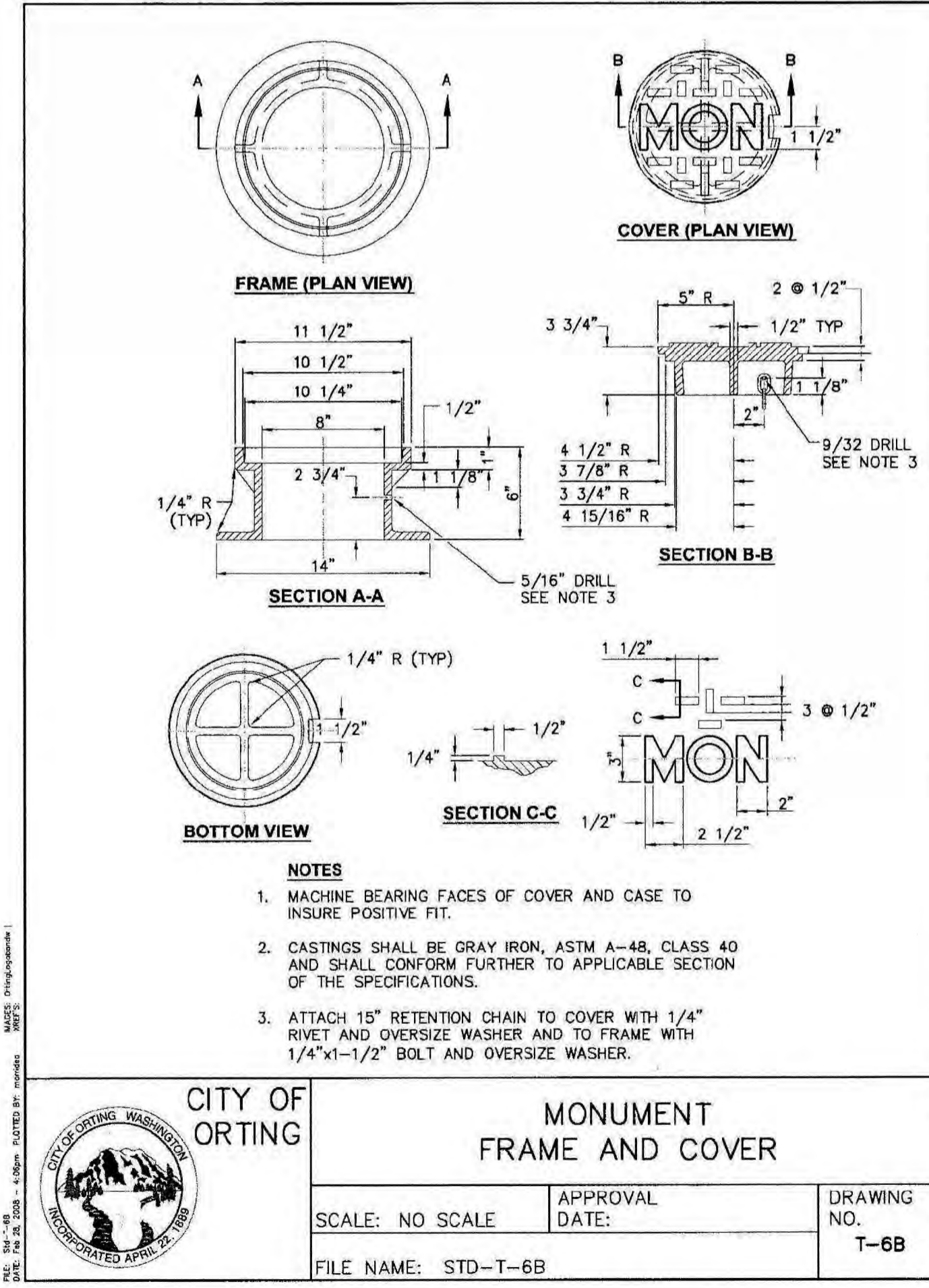


- NOTES**
- THIS TYPE IS USED PRIMARILY ON BITUMINOUS OR ASPHALT CONCRETE PAVEMENT.
 - OWNER WILL FURNISH BRONZE PLUG MARKER FREE OF CHARGE.
 - CONCRETE BASE NEED NOT BE FORMED.
 - FOR RESURFACING PROJECTS, THE EXISTING PAVEMENT STRUCTURE MAY DIFFER FROM THAT AS SHOWN ON THIS PLAN.
 - THE REMOVAL OF ANY EXISTING MONUMENTS AND ALL PAVEMENT REQUIRED SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE MONUMENT.
 - SHALL BE LOCATED AT ALL POINTS OF INTERSECTION OF STREETS, PCS, PTS AND ALL CENTER POINTS OF CUL-DE-SAC BENDS.

CITY OF ORTING POURED IN PLACE MONUMENT

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. T-6A

FILE NAME: STD-T-6A



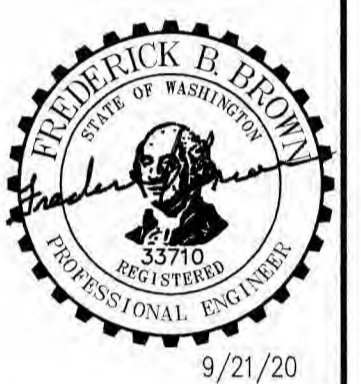
- NOTES**
- MACHINE BEARING FACES OF COVER AND CASE TO INSURE POSITIVE FIT.
 - CASTINGS SHALL BE GRAY IRON, ASTM A-48, CLASS 40 AND SHALL CONFORM FURTHER TO APPLICABLE SECTION OF THE SPECIFICATIONS.
 - ATTACH 15" RETENTION CHAIN TO COVER WITH 1/4" RIVET AND OVERSIZE WASHER AND TO FRAME WITH 1/4"x1-1/2" BOLT AND OVERSIZE WASHER.

CITY OF ORTING MONUMENT FRAME AND COVER

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. T-6B

FILE NAME: STD-T-6B

Revision:	12.27.19	Date:
Address Comments:	FBB	Int.
No.		



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
P.O. BOX 73790, PUYALLUP, WA 98373
Phone: (253) 848-0282
Fax: (253) 848-0282
ceservices@cesnwinc.com

Project: MEADOWS AT ORTING SOUTH CONSTRUCTION DETAILS
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

CITY OF ORTING APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR DATE

CITY ENGINEER DATE

FIRE CHIEF DATE

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C14**

14 of 20 Sheets

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C14**

14 of 20 Sheets

OVR's review limited to providing input on operational issues only. OVR has not reviewed the plans for Code compliance.

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASBUILT RECORD NOTE

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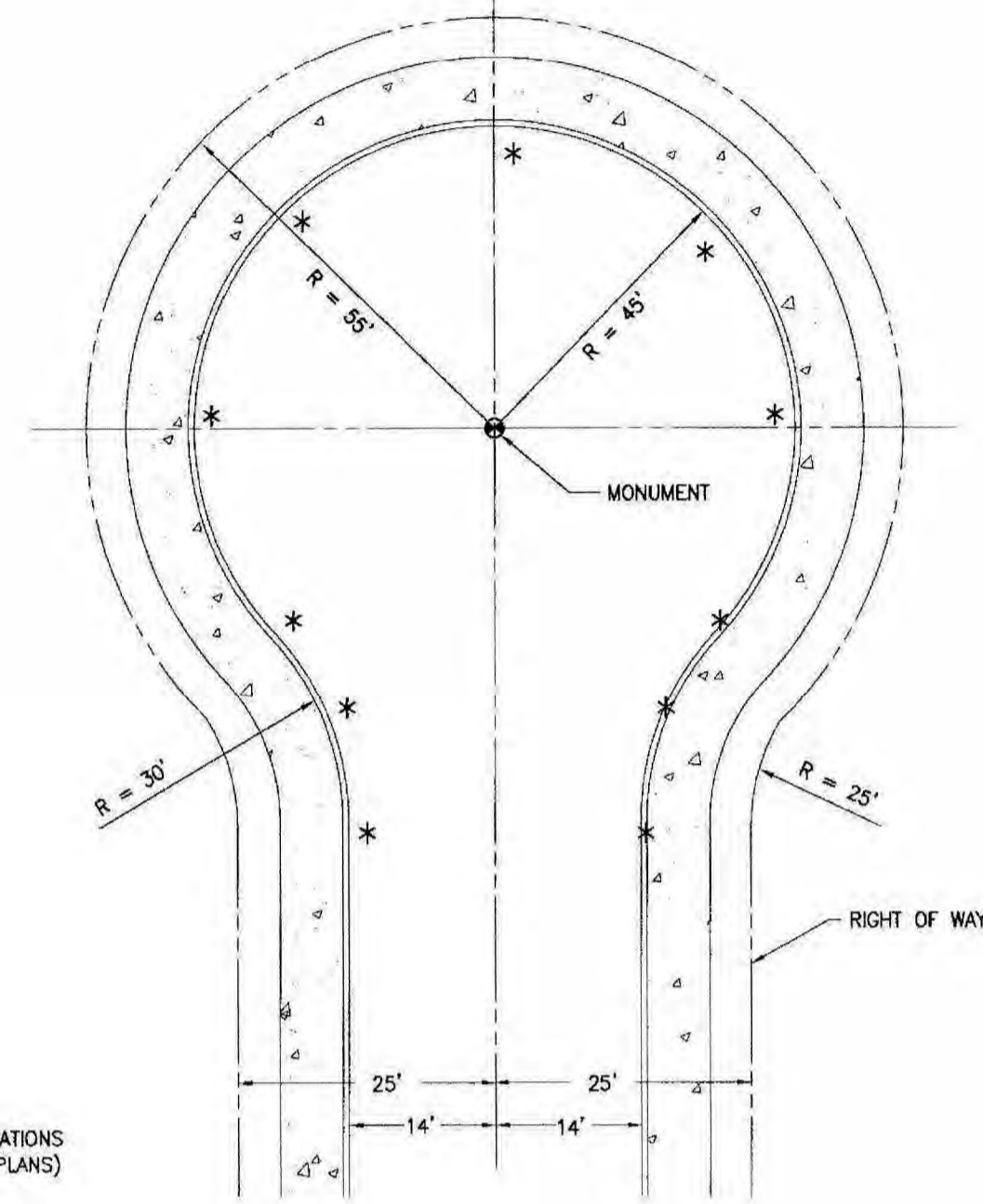
SECTION 10.207 - UNIFORM FIRE CODE POLICY; ACCESS ROADWAYS FOR FIRE APPARATUS

- ALL BUILDINGS THAT HAVE AN EXTERIOR WALL LOCATED OVER 150 FEET FROM THE CURB LINE OF A DEDICATED PUBLIC STREET SHALL BE PROVIDED WITH FIRE DEPARTMENT ACCESS WAYS WHICH SHALL BE TOTALLY UNOBSTRUCTED, INCLUDING THE PARKING OF MOTOR VEHICLES.
- THE 150 FEET FROM THE REQUIRED ACCESS ROADWAY TO ALL EXTERIOR WALLS OF BUILDINGS SHALL BE MEASURED IN A STRAIGHT LINE AND SHALL RUN THROUGH ALL BUILDINGS AND OTHER OBSTRUCTIONS. IF TOPOGRAPHICAL CONDITIONS EXIST THAT WOULD MAKE IT IMPOSSIBLE FOR HOSE LINES TO BE ADVANCED TO A CERTAIN PORTION OF A BUILDING FROM A REQUIRED ACCESS WAY, AN ADDITIONAL ACCESS WAY WILL BE REQUIRED TO ACCOMMODATE ACCESS TO THAT PARTICULAR PORTION OF THE BUILDING.
- THE FIRE DEPARTMENT ACCESS MAY BE MODIFIED IF THE BUILDING IS PROVIDED WITH AN APPROVED COMPLETE AUTOMATIC SPRINKLER SYSTEM OR OTHER APPROVED PROTECTION.
- REQUIRED ACCESS ROADWAYS SHALL BE KEPT A MINIMUM OF 28 FEET IN WIDTH IN THE IMMEDIATE VICINITY OF ANY BUILDING OVER 35 FEET IN HEIGHT ABOVE NATURAL GRADE. AT LEAST ONE REQUIRED ACCESS ROADWAY SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET AND A MAXIMUM OF 25 FEET FROM THE BUILDING, AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.
- ACCESS ROADWAYS ADJACENT TO REQUIRED FIRE HYDRANTS SHALL BE A MINIMUM OF 28 FEET IN WIDTH, 20 FEET IN EITHER DIRECTION FROM THE FIRE HYDRANT.
- ACCESS DOORS SHALL BE REQUIRED EVERY 100 FEET OR OPENINGS AS SPECIFIED IN SECTION 3802(B) 1 OF THE UNIFORM BUILDING CODE ON THE EXTERIOR WALLS OF BUILDINGS ALONG REQUIRED ACCESS WAYS.
- REQUIRED ACCESS ROADWAYS SHALL BE LOCATED ON TWO SIDES OF A BUILDING WHEN THE WIDTH OF THE BUILDING EXCEEDS 150 FEET AND THE LENGTH EXCEEDS 150 FEET.
- REQUIRED ACCESS ROADWAYS SHALL BE LOCATED ALONG THE TWO LONG DIMENSIONS OF A BUILDING EXCEEDING 100 FEET IN WIDTH AND 600 FEET IN LENGTH.
- MAXIMUM GRADES FOR ACCESS ROADWAYS WILL BE 10 PERCENT FOR CONCRETE AND 10 PERCENT FOR ASPHALT.
- THE MINIMUM TURNING RADI FOR ALL TURNS SHALL BE 28 FEET INSIDE TURNING RADIUS AND 50 FEET OUTSIDE TURNING RADIUS.
- IF ACCESS ROADWAYS ARE NOT LOOPED, THEN THE PROVIDED DEAD-END ACCESS ROADWAYS WILL MEET THE REQUIREMENTS AS SPECIFIED IN THE FOLLOWING TABLE:

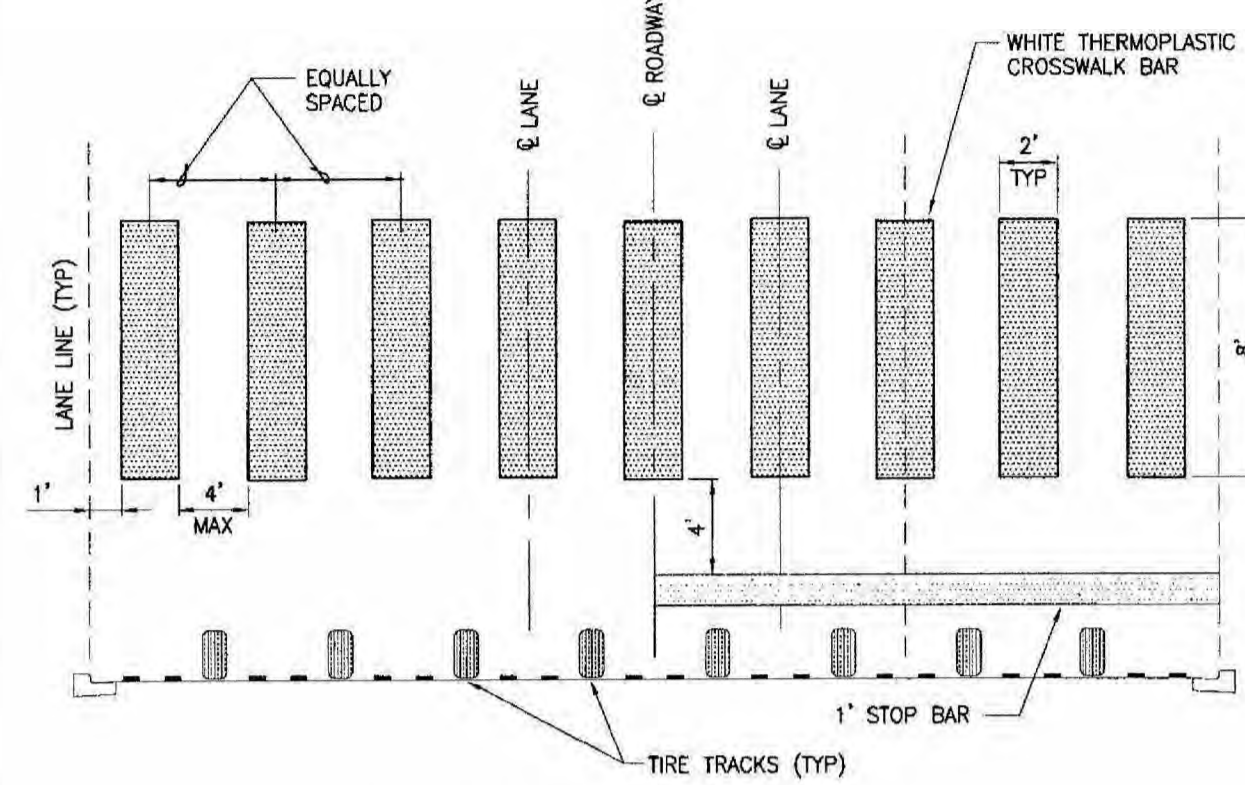
REQUIREMENTS FOR DEAD-END ACCESSWAYS

LENGTH	WIDTH	TURNAROUNDS REQUIRED
* 0 - 150'	22'	NONE REQUIRED
* 150' - 500'	24'	90° DIAMETER CUL-DE-SAC 60° HAMMERHEAD
500' - 750'	28'	90° DIAMETER CUL-DE-SAC 120° HAMMERHEAD
OVER 750'	SPECIAL APPROVAL REQUIRED	

*CURVES AND TOPOGRAPHICAL CONDITIONS COULD ALTER THE REQUIREMENTS FOR TURNAROUNDS AND THE WIDTH OF ACCESSWAYS.

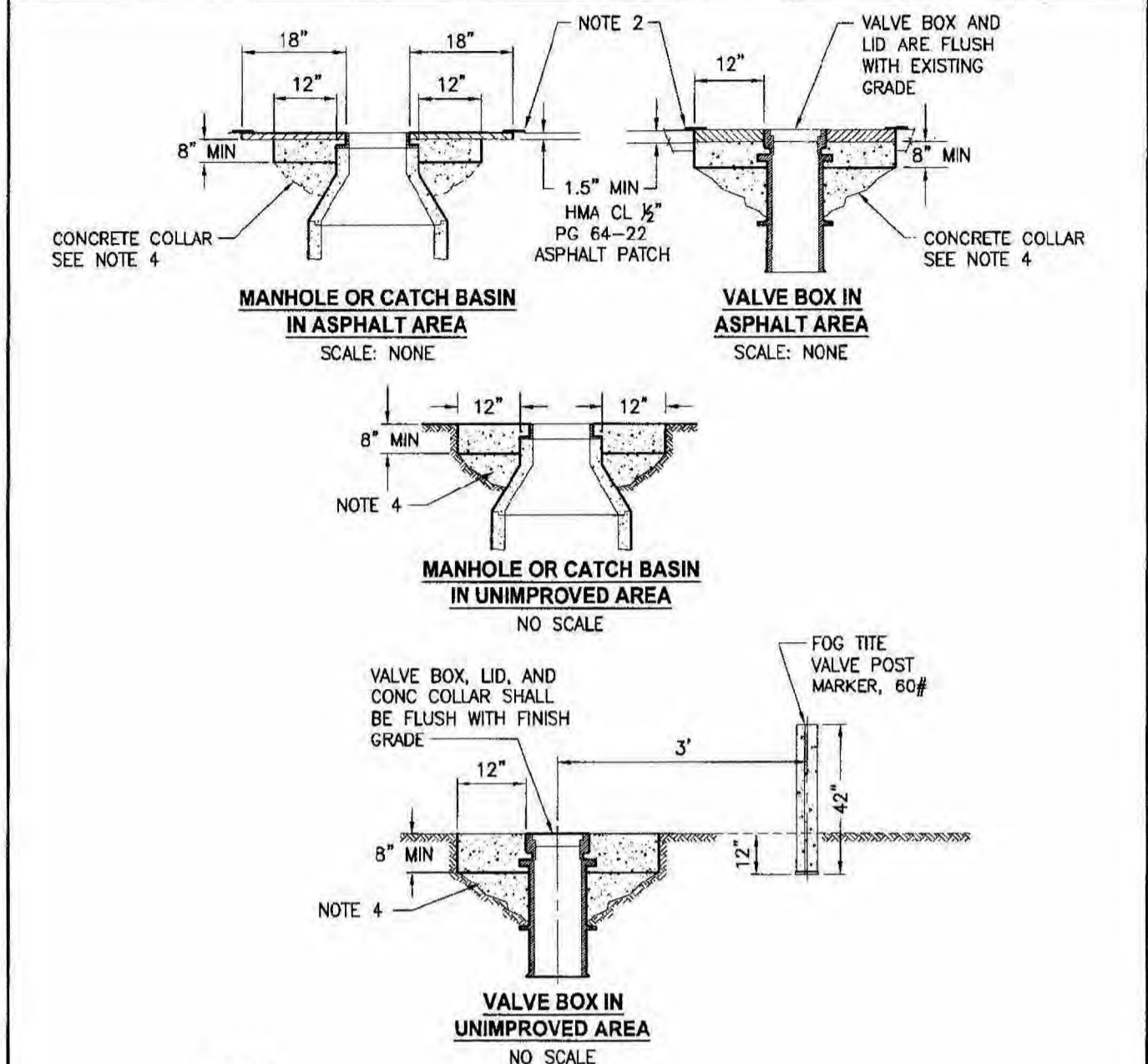


LEGEND
* FLOW LINE ELEVATIONS (REQUIRED ON PLANS)



* TYPICAL 4 LANE ROADWAY CONFIGURATION

*NOTES
FOR ROADWAYS WITH MORE OR LESS LANES THE SAME CONFIGURATION APPLIES, KEEPING THERMOPLASTIC BARS CENTERED ON THE LANE LINES, AND IN THE CENTER OF THE TRAVELED PORTION OF THE LANE TO MINIMIZE TIRE WEAR ON THE THERMOPLASTIC.



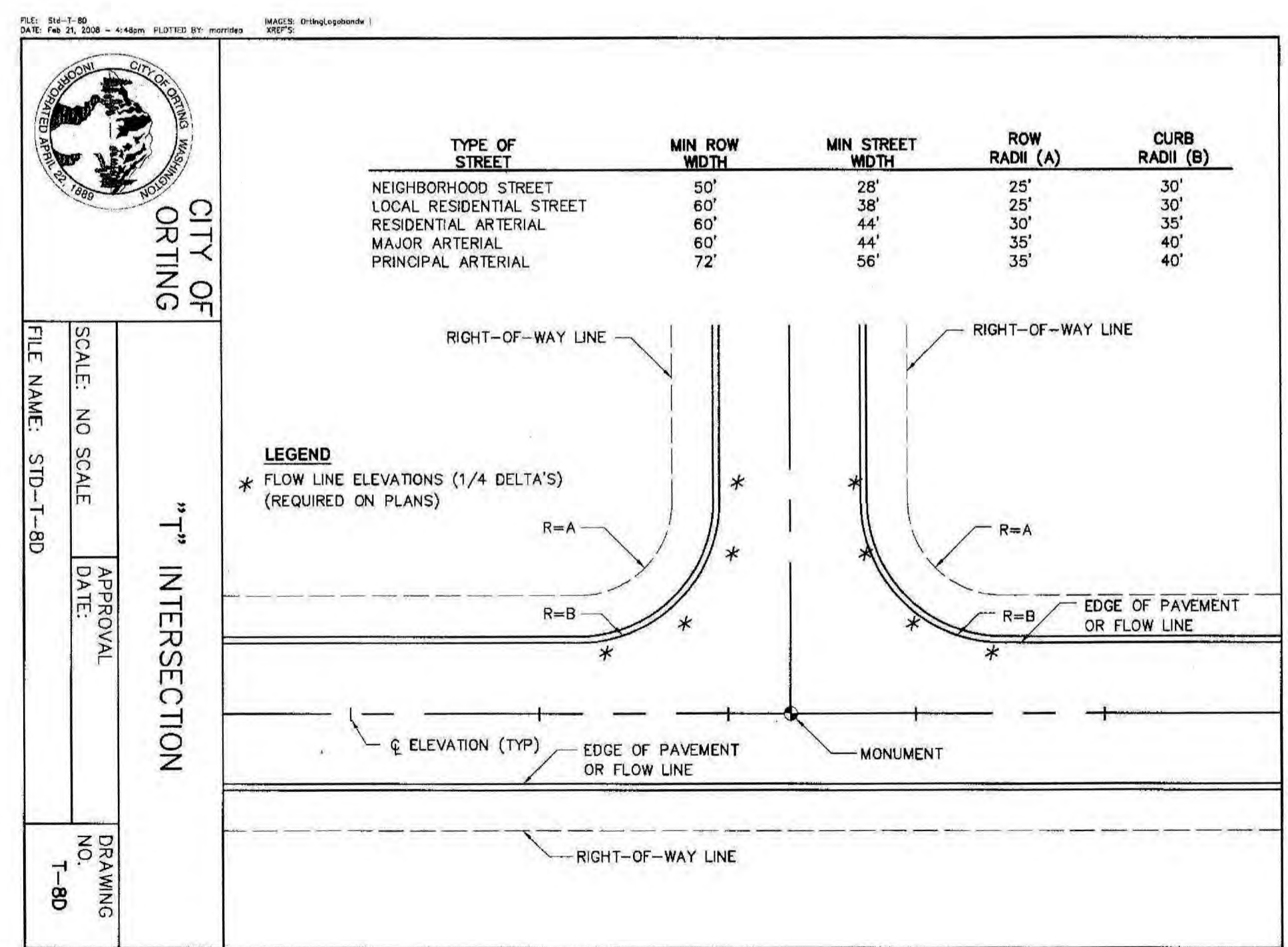
- NOTES
- ADJUSTMENT OF UTILITY STRUCTURES SHALL BE PER STANDARD SPECIFICATION SECTION 7-05.3(1).
 - SURFACE SEAL AT MATCHLINE SHALL BE PG 64.
 - VALVES IN UNIMPROVED AREAS SHALL HAVE A MARKER.
 - 3000 PSI CONCRETE COLLAR, IF OVER-EXCAVATED, BACKFILL WITH CONCRETE.

CITY OF ORTING
FIRE ACCESS REQUIREMENTS
SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-7
FILE NAME: STD-T-7

CITY OF ORTING
CUL-DE-SAC BULB NEIGHBORHOOD STREET
SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-8B
FILE NAME: STD-T-8B

CITY OF ORTING
THERMOPLASTIC CROSSWALK
SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-10
FILE NAME: STD-T-10

CITY OF ORTING
ADJUSTMENT OF NEW AND EXISTING UTILITY STRUCTURES TO FINISH GRADE
SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-12
FILE NAME: STD-T-12



CITY OF ORTING
"T" INTERSECTION
SCALE: NO SCALE
APPROVAL DATE: _____
DRAWING NO. T-8D
FILE NAME: STD-T-8D

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

Designed: FBB
Drawn: JEH
Checked: CAD
Scale: 1"=50'
Date: 09.21.20
Job No.: 17171
Sheet No.: **C15**
15 of 20 Sheets

Project: MEADOWS AT ORTING SOUTH CONSTRUCTION DETAILS
Client: COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD
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Sheet No.: **C15**
15 of 20 Sheets

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bus: (253) 848-4282
Fax: (253) 848-4278
409 5th St. SE, SUITE D
PUYALLUP, WA 98372
ces@cesnw.com

Revision: No. ADDRESS COMMENTS
12.27.19 FBB Int.
Date:

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E
WILLAMETTE MERIDIAN BIERCE COUNTY WASHINGTON

FILE: STD-D-2A
DATE: Feb 27, 2008 10:48am
SCALE: No Scale
APPROVAL: [Signature]

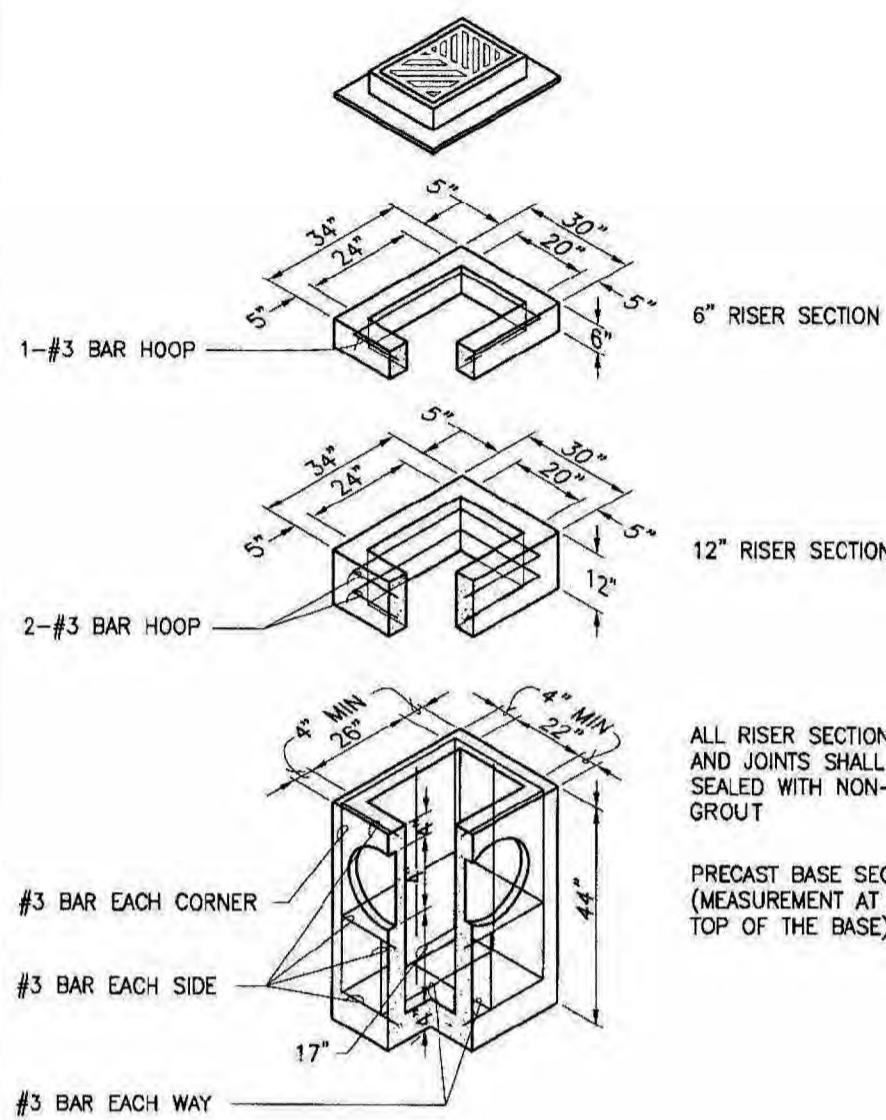


CITY OF ORTING

SCALE: NO SCALE
FILE NAME: STD-D-2A

CATCH BASIN
TYPE 1

DRAWING NO. D-2A



NOTES

- CATCH BASINS TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 198) AND ASTM C 890 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
- AS AN ACCEPTABLE ALTERNATE TO REBAR, WELDED WIRE FABRIC HAVING A MINIMUM AREA OF 0.12 SQUARE INCHES PER FOOT MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A 497 (ASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN THE KNOCKOUTS. THE BOTTOM OF THE PRECAST BASE SECTION MAY BE ROUNDED.
- PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
- KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAXIMUM DIAMETER OF 20". KNOCKOUTS MAY BE EITHER ROUND OR "D" SHAPE. PIPE TO BE INSTALLED IN FACTORY SUPPLIED KNOCKOUTS.
- KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAMETER PLUS CATCH BASIN WALL THICKNESS. THE MAXIMUM DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5'-0".
- THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
- CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-621D. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT.
- FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.

ALL RISER SECTIONS AND JOINTS SHALL BE SEALED WITH NON-SHRINK GROUT

PRECAST BASE SECTION (MEASUREMENT AT THE TOP OF THE BASE)

FILE: STD-D-2B
DATE: Feb 27, 2008 10:48am
SCALE: No Scale
APPROVAL: [Signature]

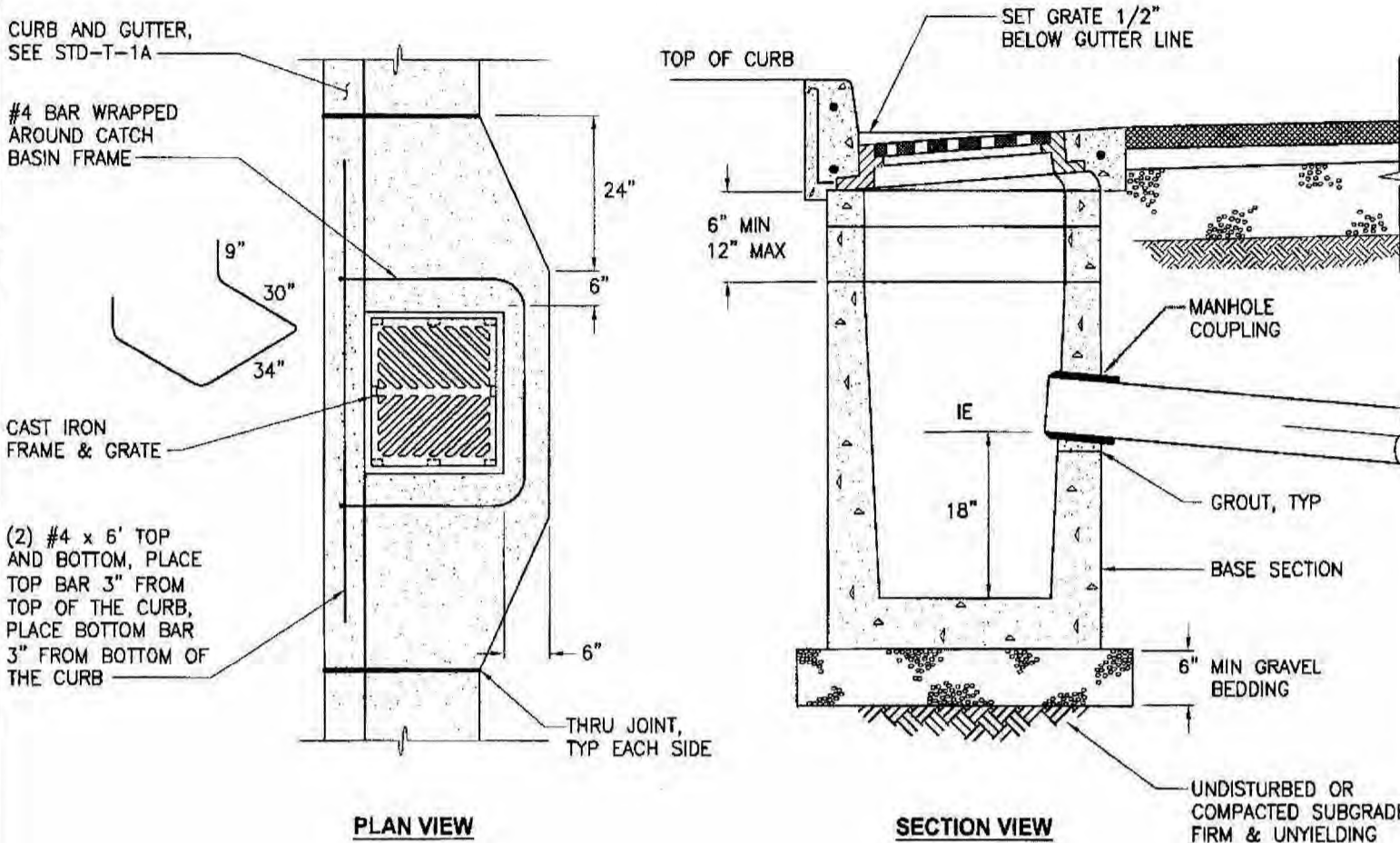


CITY OF ORTING

SCALE: NO SCALE
FILE NAME: STD-D-2B

CATCH BASIN
TYPE 1 PLACEMENT

DRAWING NO. D-2B



PLAN VIEW

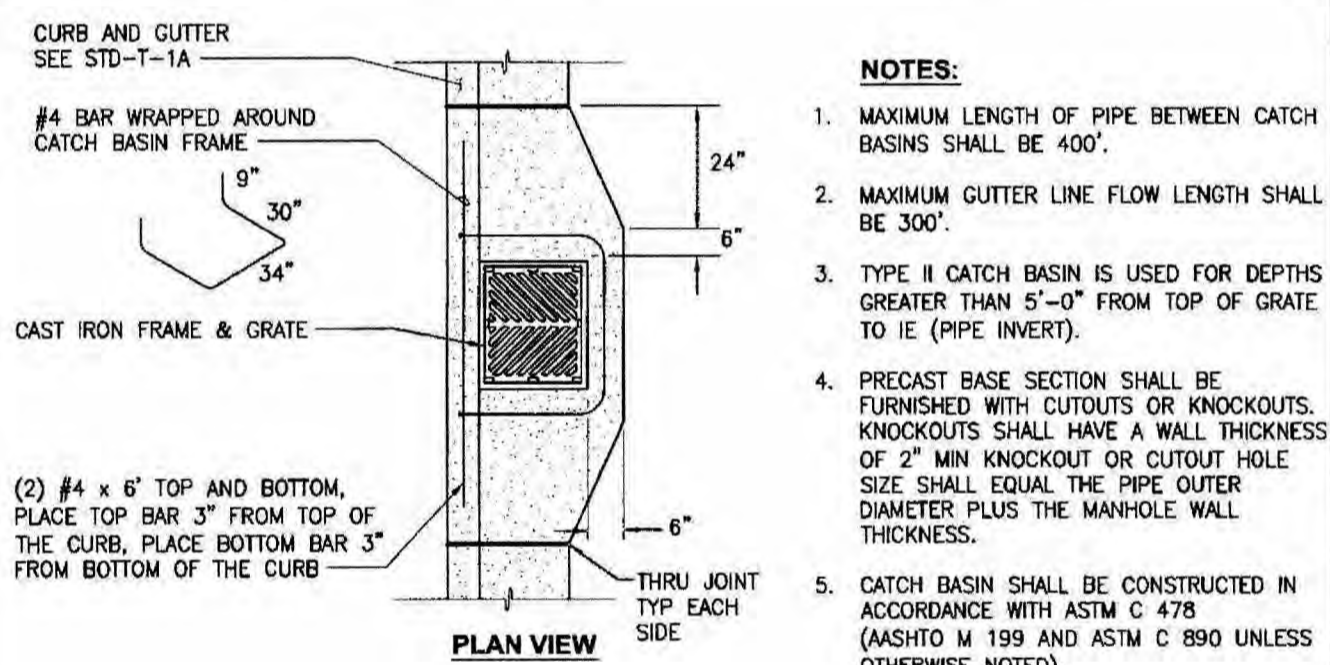
SECTION VIEW

STORM DRAINAGE NOTES

- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH THE APPROVED PLANS AND ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- COMPLY WITH ALL OTHER PERMITS AND OTHER REQUIREMENTS BY THE CITY OR OTHER GOVERNING AUTHORITY OR AGENCY AS MAY BE APPLICABLE.
- ALL STORM MAINS AND DETENTION/RETENTION AREAS SHALL BE STAKED FOR GRADE AND ALIGNMENT BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK, AND CURRENTLY LICENSED IN THE STATE OF WASHINGTON TO DO SO.
- SPECIAL STRUCTURES, OIL/WATER SEPARATORS, AND OUTLET CONTROLS SHALL BE INSTALLED PER THE APPROVED PLANS AND MANUFACTURERS' RECOMMENDATIONS.
- STORM DRAIN PIPE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - PVC PIPE SHALL CONFORM TO ASTM D3034, SDR 35 FOR 4-INCH- THROUGH 15-INCH-DIAMETER PVC PIPE, AND SHALL CONFORM TO ASTM F679 FOR 18-INCH- THROUGH 27-INCH-DIAMETER PVC PIPE, WITH JOINTS AND GASKETS CONFORMING TO ASTM D3212 AND ASTM F477.
 - DUCTILE IRON PIPE CONFORMING TO THE REQUIREMENTS OF THE WSDOT STANDARD SPECIFICATIONS, THICKNESS CLASS AS SHOWN ON THE PLANS.
 - POLYETHYLENE SMOOTH WALL PIPE PER ADVANCED DRAINAGE SYSTEMS (ADS) N-12, "SURE-LOK" BELL AND SPIGOT, CONSTRUCTED PER WSDOT STANDARD SPECIFICATIONS 7-04. NOTE: THIS TYPE OF PIPE WILL ONLY BE APPROVED WITH THE CITY'S SPECIFIC APPROVAL. APPROVAL SHALL BE BASED ON SITE-SPECIFIC CONDITIONS AND IF ADDITIONAL ON-SITE INSPECTION TIME FOR WITNESSING PROPER PIPE INSTALLATION CAN BE SCHEDULED BY THE CITY.
- TRENCHING, BEDDING, AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY STANDARD DWG S-2. MINIMUM COVER ON PVC PIPE SHALL BE 3.0 FEET. MINIMUM COVER ON DUCTILE IRON PIPE SHALL BE 1.0 FOOT.
- A MINIMUM OF 1 FOOT OF COVER SHALL BE PROVIDED OVER STORM PIPES DURING CONSTRUCTION.
- MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND STORM LINES SHALL BE 6" UNLESS OTHERWISE APPROVED.

NOTES

- CATCH BASINS TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 198) AND ASTM C 890 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
- HANDHOLDS IN RISER OR ADJUSTMENT SECTION SHALL HAVE 3" MINIMUM CLEARANCE. STEPS IN CATCH BASIN SHALL HAVE 6" MINIMUM CLEARANCE. NO STEPS ARE REQUIRED WHEN "B" IS 4' OR LESS.
- ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS A. ALL PRECAST CONCRETE SHALL OBTAIN 4000 PSI AT 28 DAYS.
- PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
- KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAMETER PLUS CATCH BASIN WALL THICKNESS. MAXIMUM HOLE SIZE IS 36" FOR 48" CATCH BASIN, 42" FOR 54" CATCH BASIN. MINIMUM DISTANCE BETWEEN HOLES IS 6".
- FRAME AND GRATE OR RING AND COVER SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-621D. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT.
- ALL BASE REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI AND BE PLACED IN THE UPPER HALF OF THE BASE WITH 1" MINIMUM CLEARANCE.
- THE BOTTOM OF THE PRECAST CATCH BASIN MAY BE ROUNDED. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
- TYPE 3 SIMILAR EXCEPT WITH WALL PERFORATIONS FOR STORMWATER EXFILTRATION.

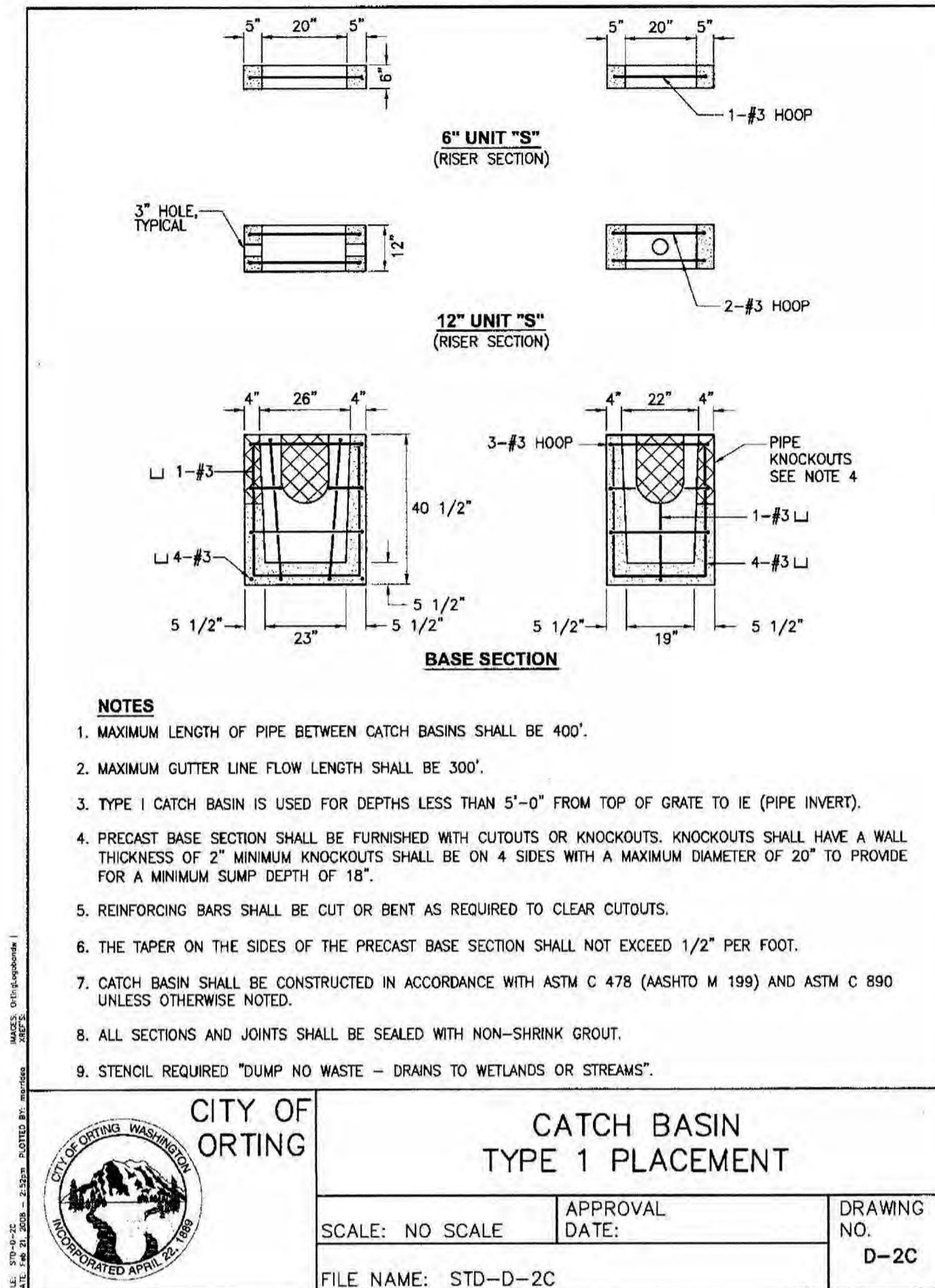


PLAN VIEW

SECTION VIEW

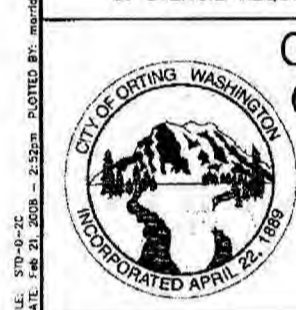
NOTES:

- MAXIMUM LENGTH OF PIPE BETWEEN CATCH BASINS SHALL BE 400'.
- MAXIMUM GUTTER LINE FLOW LENGTH SHALL BE 300'.
- TYPE II CATCH BASIN IS USED FOR DEPTHS GREATER THAN 5'-0" FROM TOP OF GRATE TO IE (PIPE INVERT).
- PRECAST BASE SECTION SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MIN KNOCKOUT OR CUTOUT HOLE SIZE SHALL EQUAL THE PIPE OUTER DIAMETER PLUS THE MANHOLE WALL THICKNESS.
- CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 198) AND ASTM C 890 UNLESS OTHERWISE NOTED).



NOTES

- MAXIMUM LENGTH OF PIPE BETWEEN CATCH BASINS SHALL BE 400'.
- MAXIMUM GUTTER LINE FLOW LENGTH SHALL BE 300'.
- TYPE I CATCH BASIN IS USED FOR DEPTHS LESS THAN 5'-0" FROM TOP OF GRATE TO IE (PIPE INVERT).
- PRECAST BASE SECTION SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM KNOCKOUTS SHALL BE ON 4 SIDES WITH A MAXIMUM DIAMETER OF 20" TO PROVIDE FOR A MINIMUM SUMP DEPTH OF 18".
- REINFORCING BARS SHALL BE CUT OR BENT AS REQUIRED TO CLEAR CUTOUTS.
- THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION SHALL NOT EXCEED 1/2" PER FOOT.
- CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 198) AND ASTM C 890 UNLESS OTHERWISE NOTED.
- ALL SECTIONS AND JOINTS SHALL BE SEALED WITH NON-SHRINK GROUT.
- STENCIL REQUIRED "DUMP NO WASTE - DRAINS TO WETLANDS OR STREAMS".



CITY OF ORTING



CATCH BASIN
TYPE 1 PLACEMENT

SCALE: NO SCALE
FILE NAME: STD-D-2C

APPROVAL DATE:

DRAWING NO. D-2C



CITY OF ORTING

CATCH BASIN
TYPE 2 NOTES

SCALE: NO SCALE
FILE NAME: STD-D-3B

APPROVAL DATE:

DRAWING NO. D-3B



CITY OF ORTING

CATCH BASIN
TYPE 2 PLACEMENT

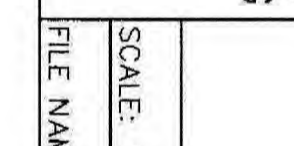
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FILE NAME: STD-D-3C

APPROVAL DATE:

DRAWING NO. D-3C



CITY OF ORTING

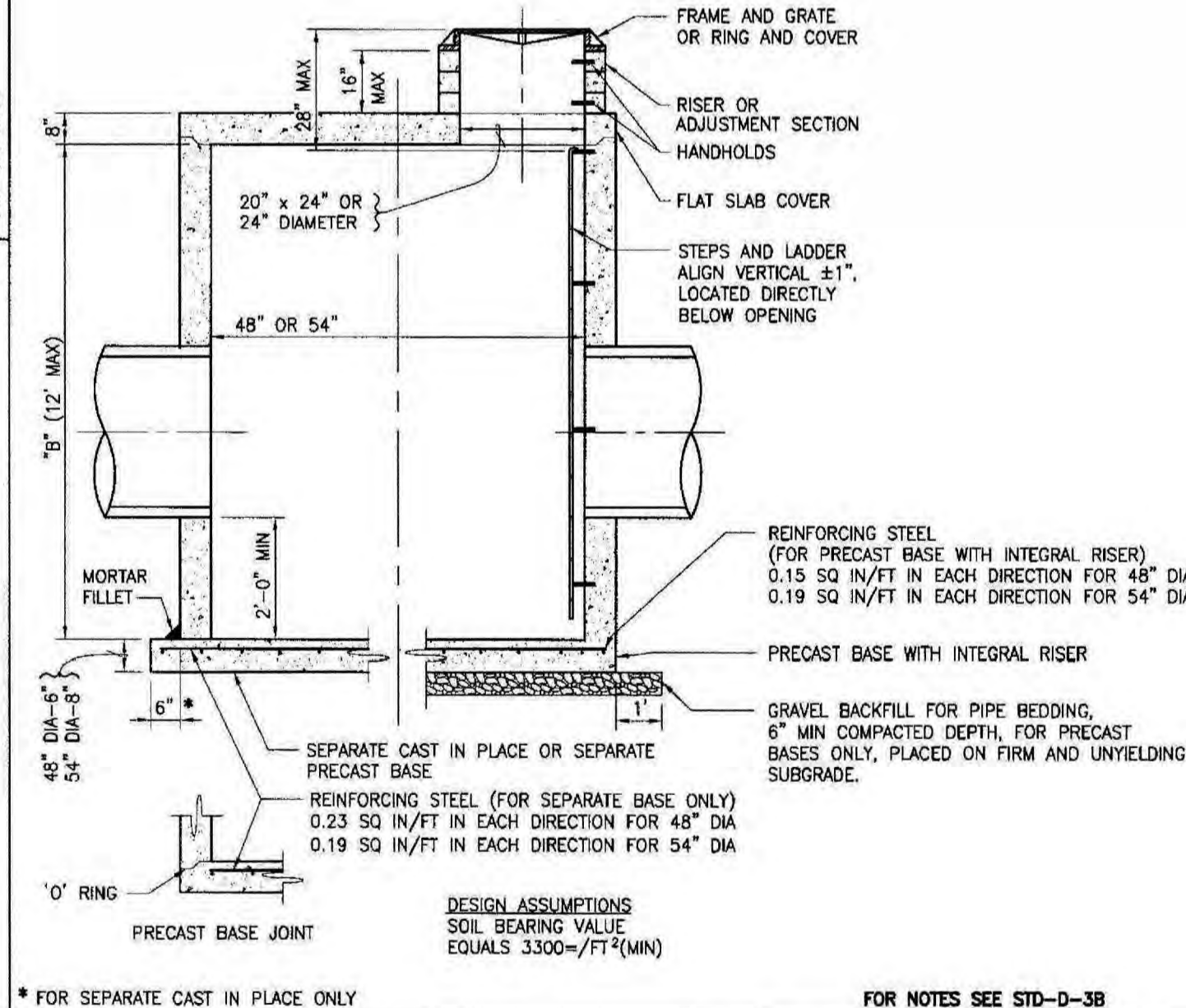


CATCH BASIN
TYPE 2

SCALE: NO SCALE
FILE NAME: STD-D-3A

APPROVAL DATE:

DRAWING NO. D-3A



FOR NOTES SEE STD-D-3B

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CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

OVR's review limited to providing input on operational issues only. OVR has not reviewed the plans for Code compliance.

12.27.19	Date:
FBB	Int.
ADDRESS COMMENTS	Revision:
No.	No.



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
Bis: (253) 848-0382
439 - 28TH ST. NE, SUITE D
PUYALLUP, WA 98372
ceservices@cesanwinc.com

Project: **MEADOWS AT ORTING SOUTH**
STORM DRAINAGE DETAILS

COPPER RIDGE LLC

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

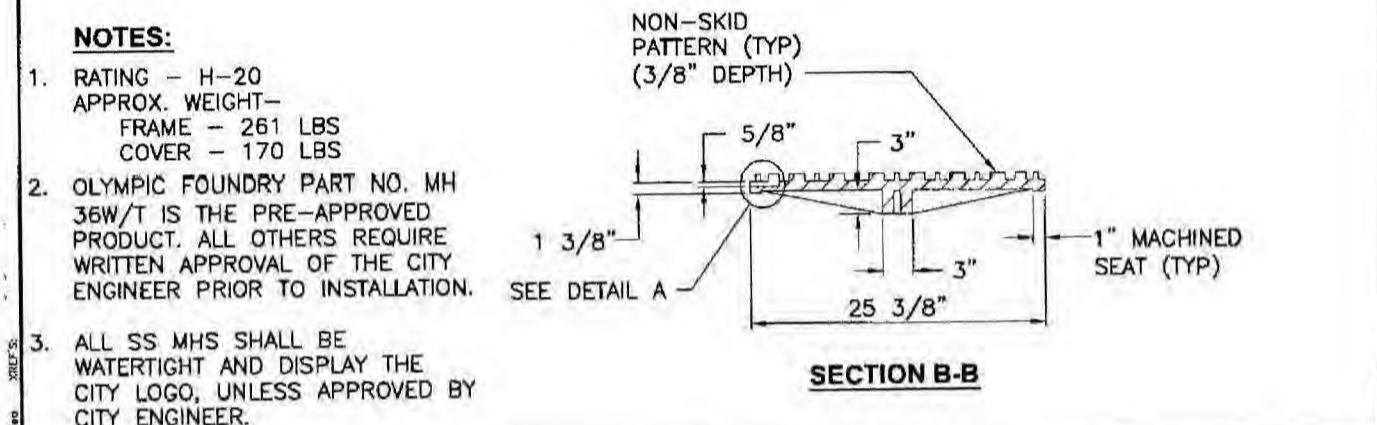
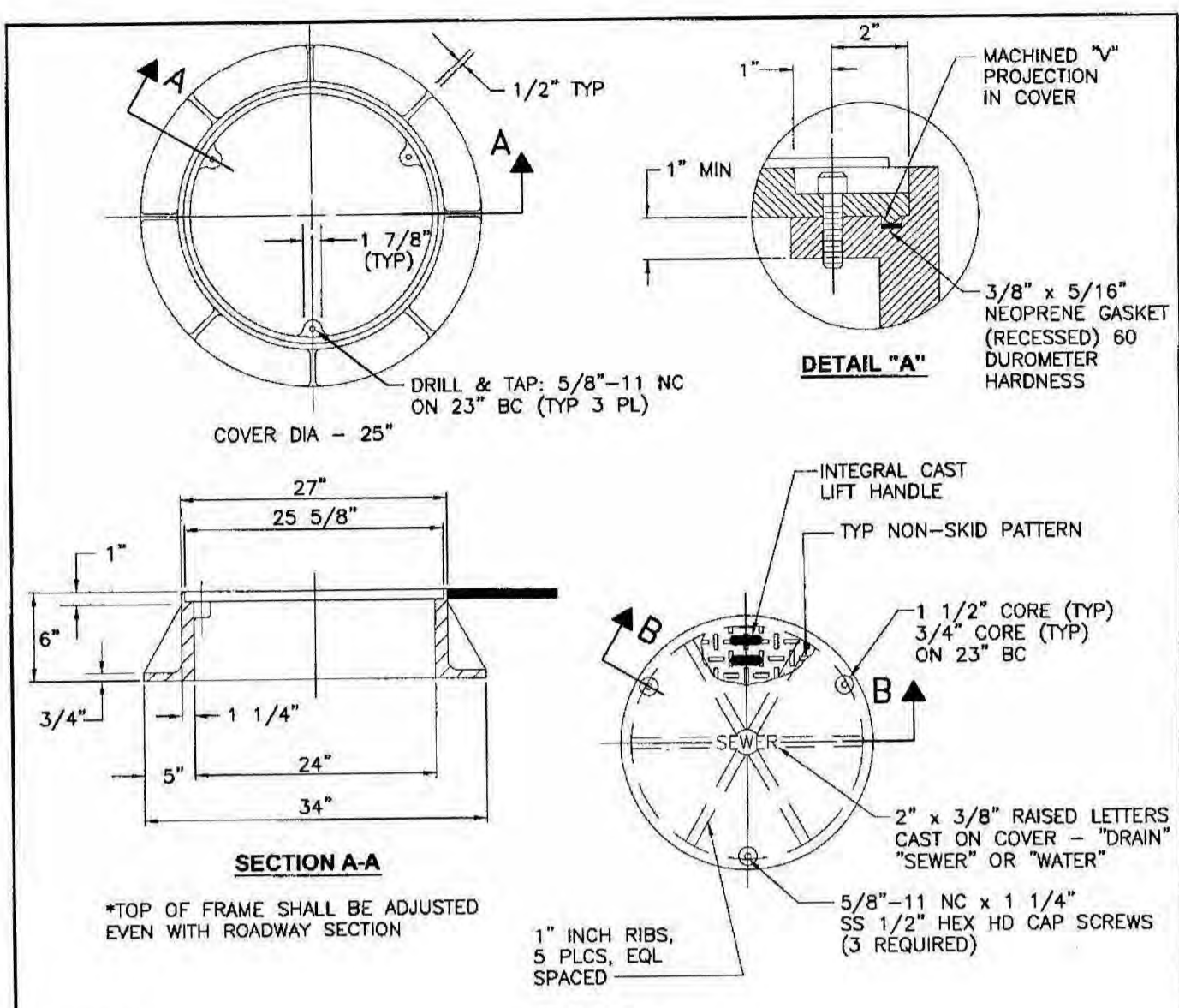
Sheet No.:

C16

16 of 20 Sheets

MEADOWS AT ORTING SOUTH

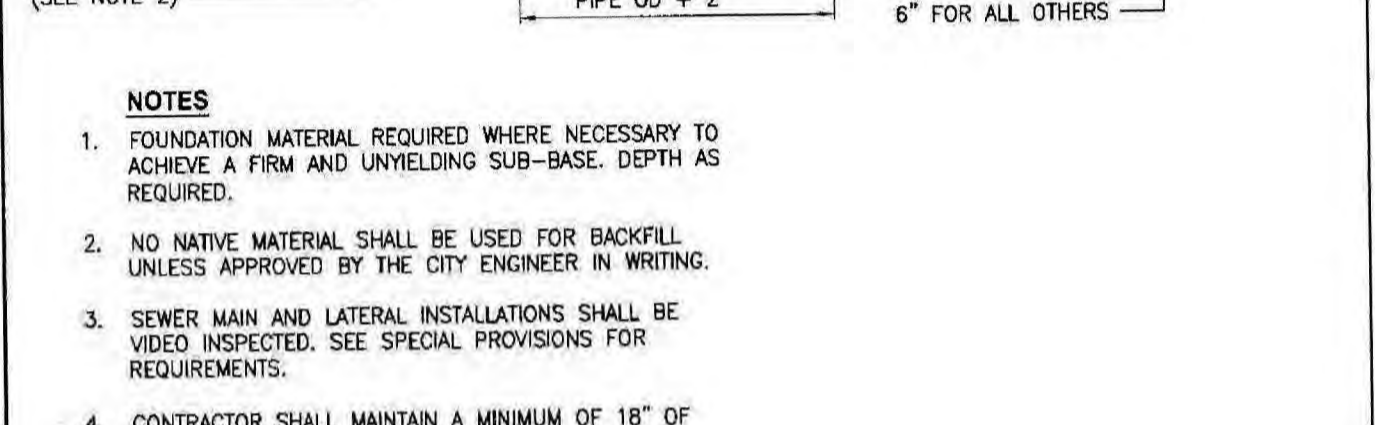
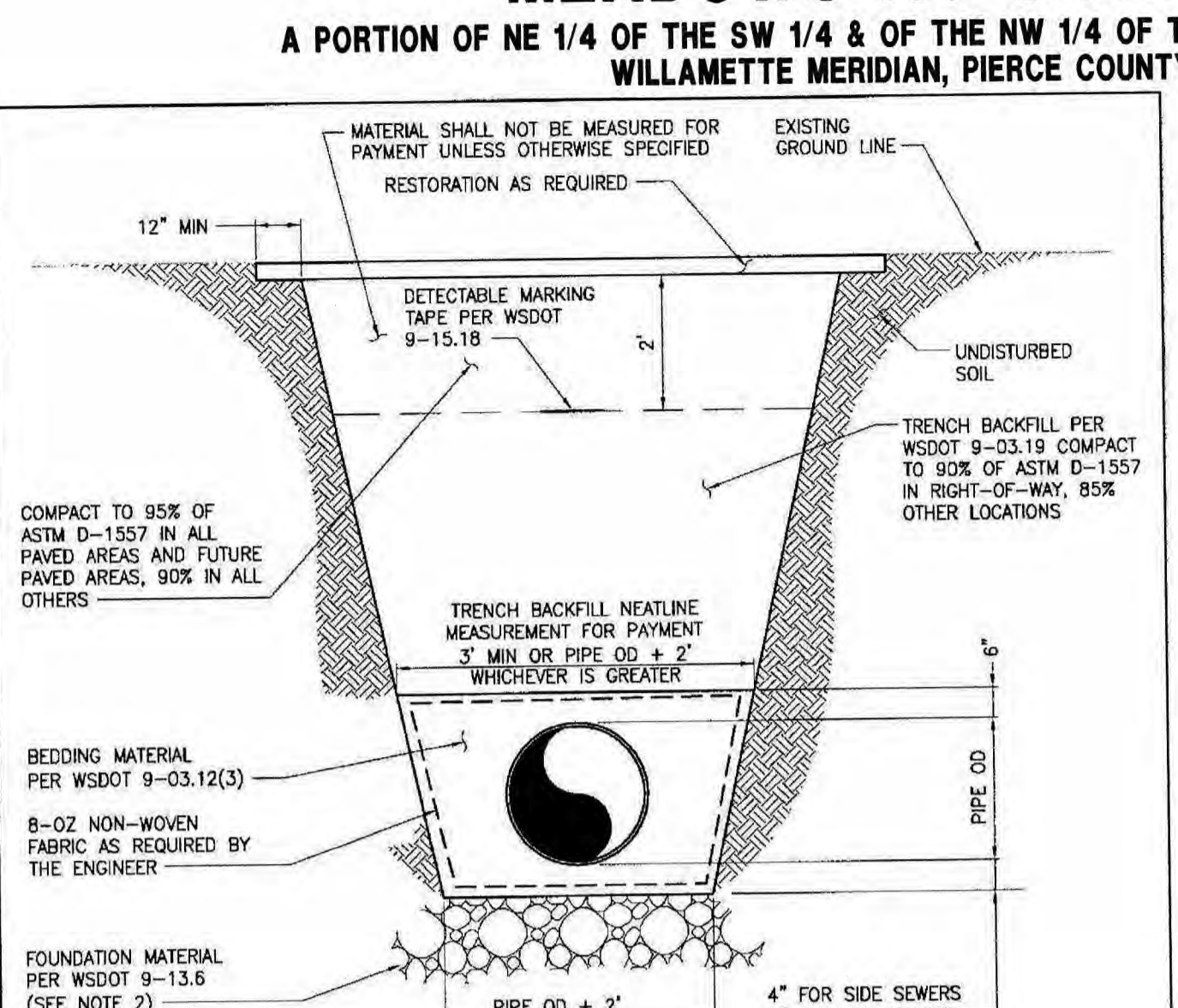
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



CITY OF ORTING
24" WATERTIGHT MANHOLE FRAME AND COVER

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-1A

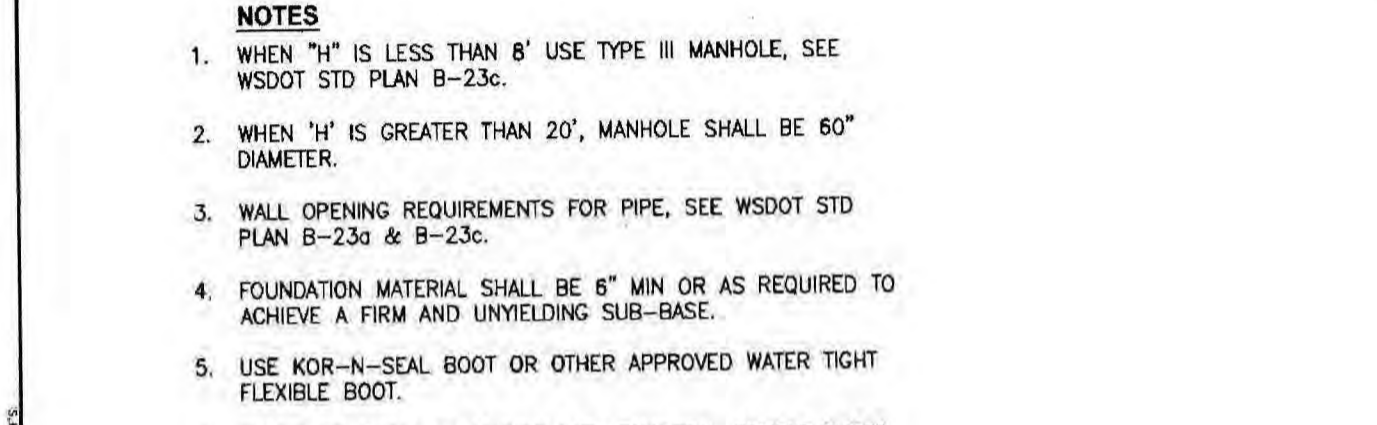
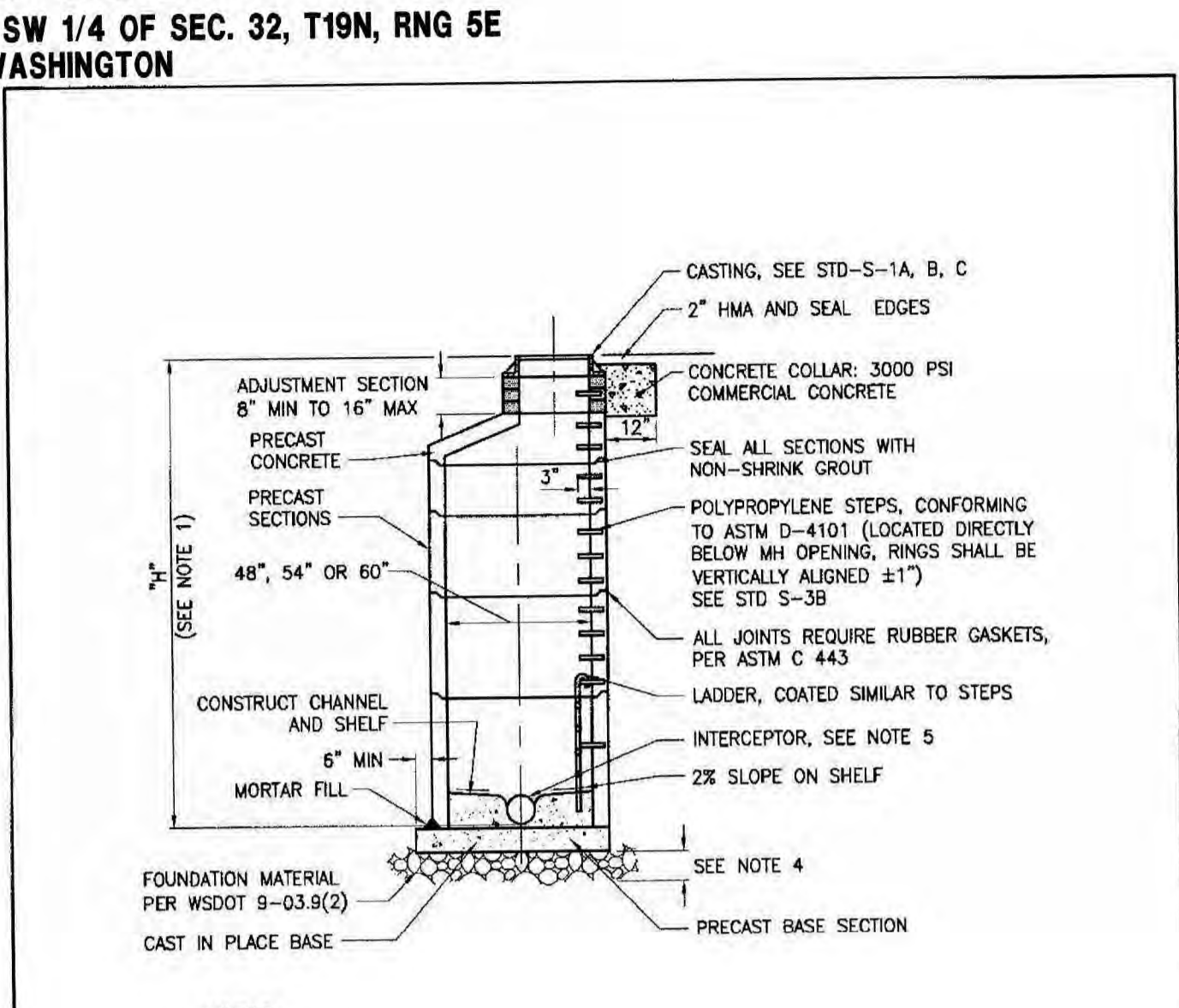
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CITY OF ORTING
SANITARY SEWER OR STORM TRENCH

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-2

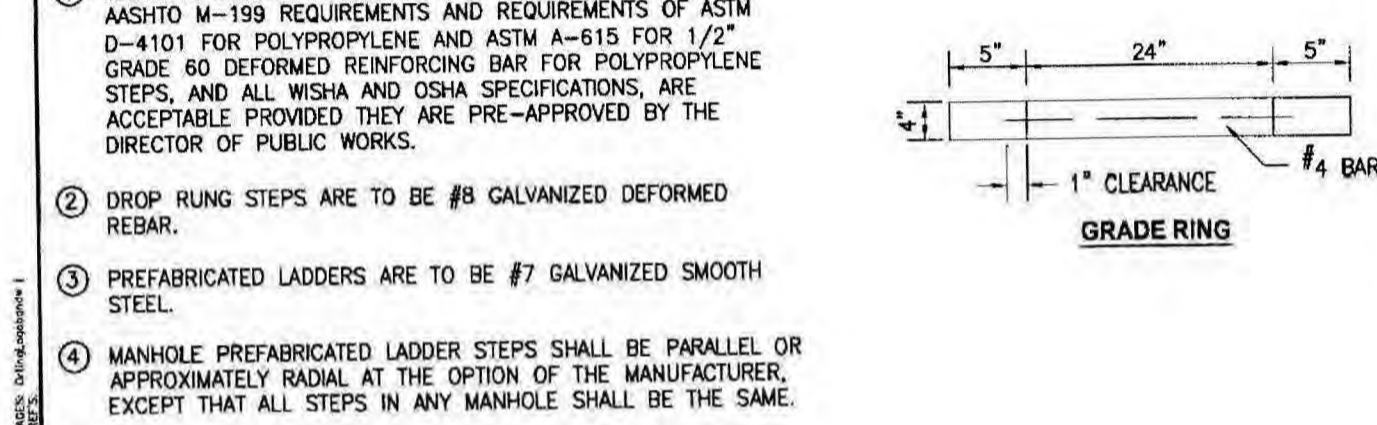
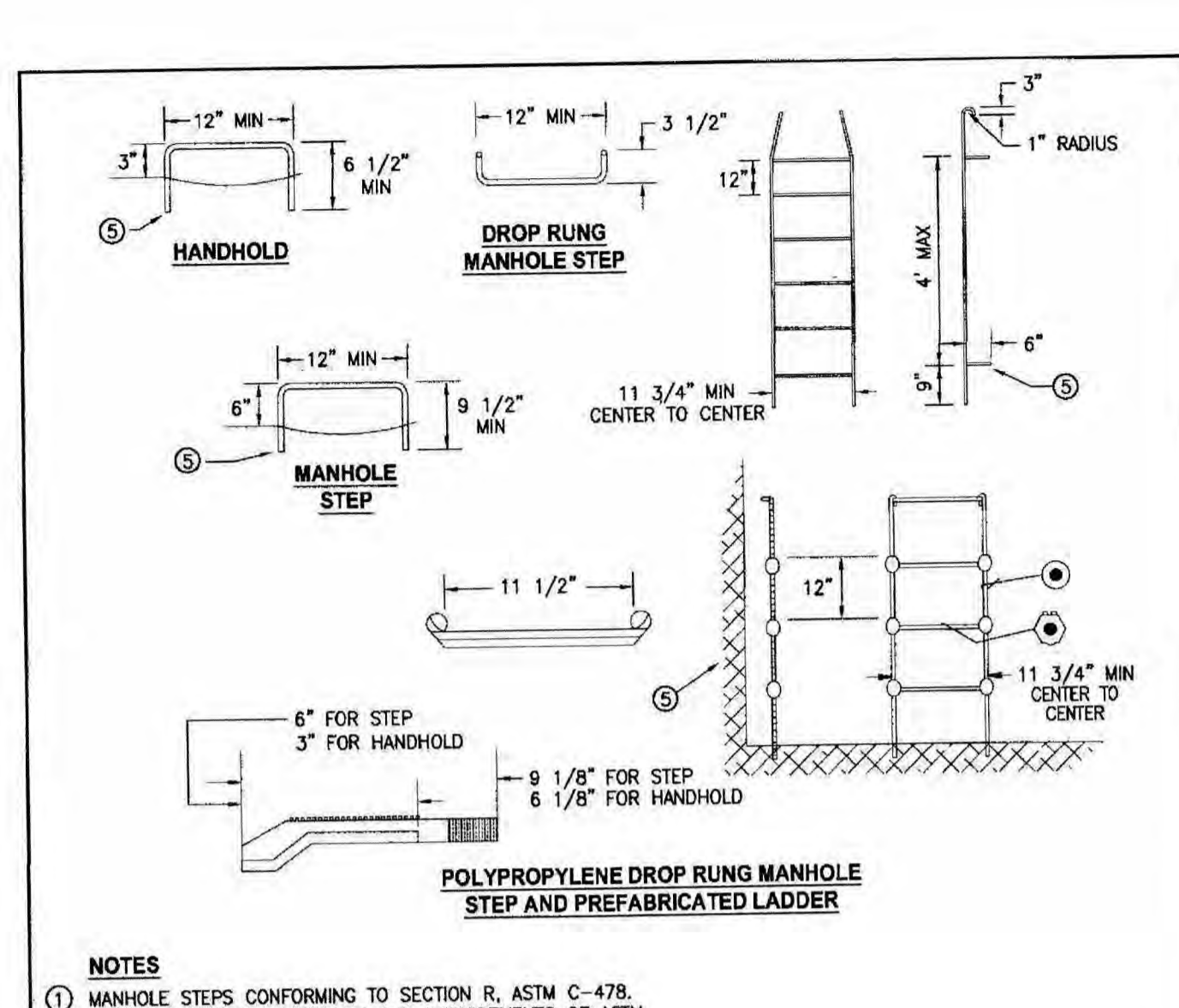
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CITY OF ORTING
TYPE 1 MANHOLE

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-3A

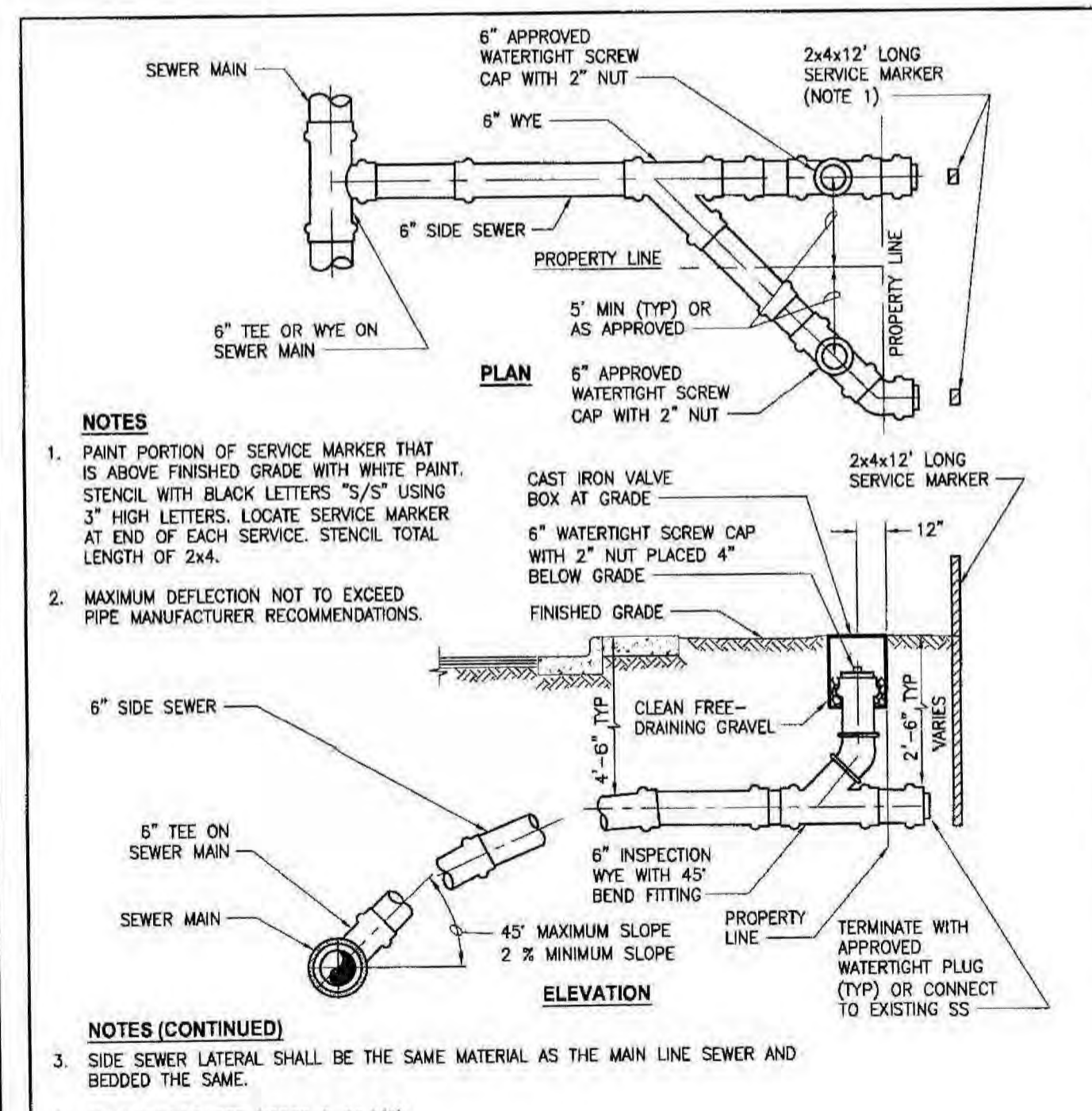
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CITY OF ORTING
MANHOLE RING AND SAFETY STEPS

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-3B

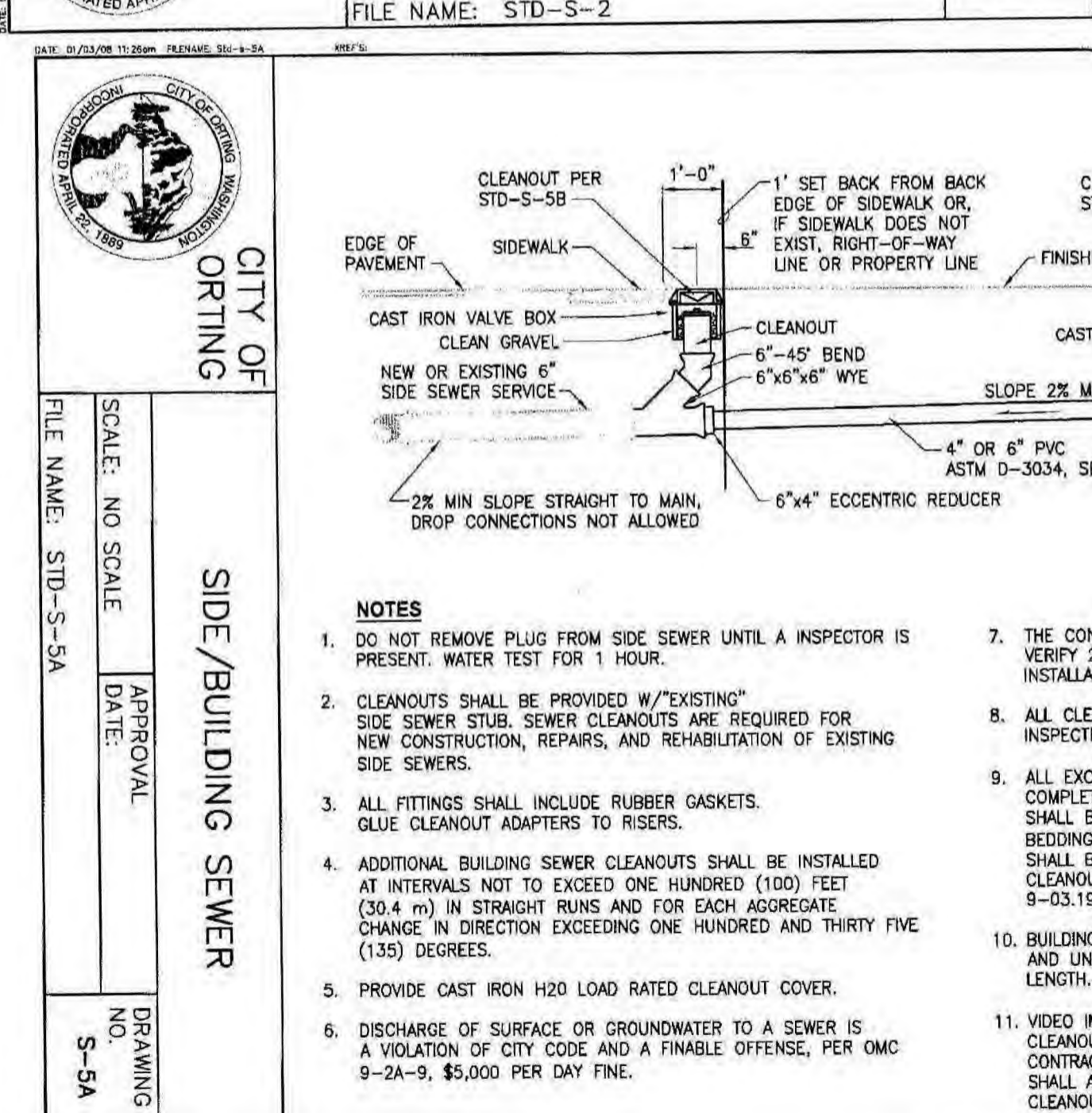
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CITY OF ORTING
TYPICAL SPLIT SIDE SEWER DETAIL

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-5C

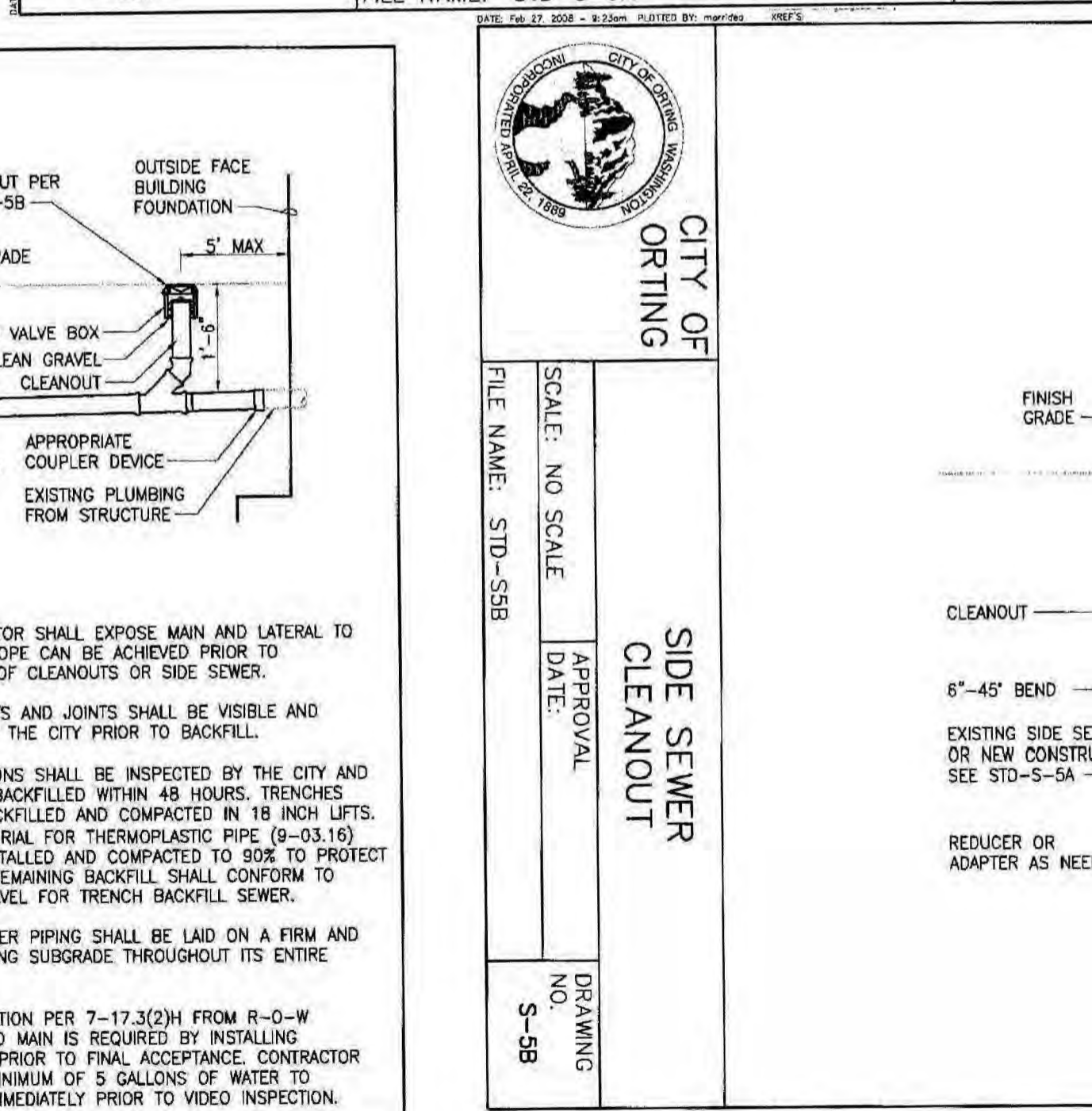
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CITY OF ORTING
SIDE/BUILDING SEWER

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-5A

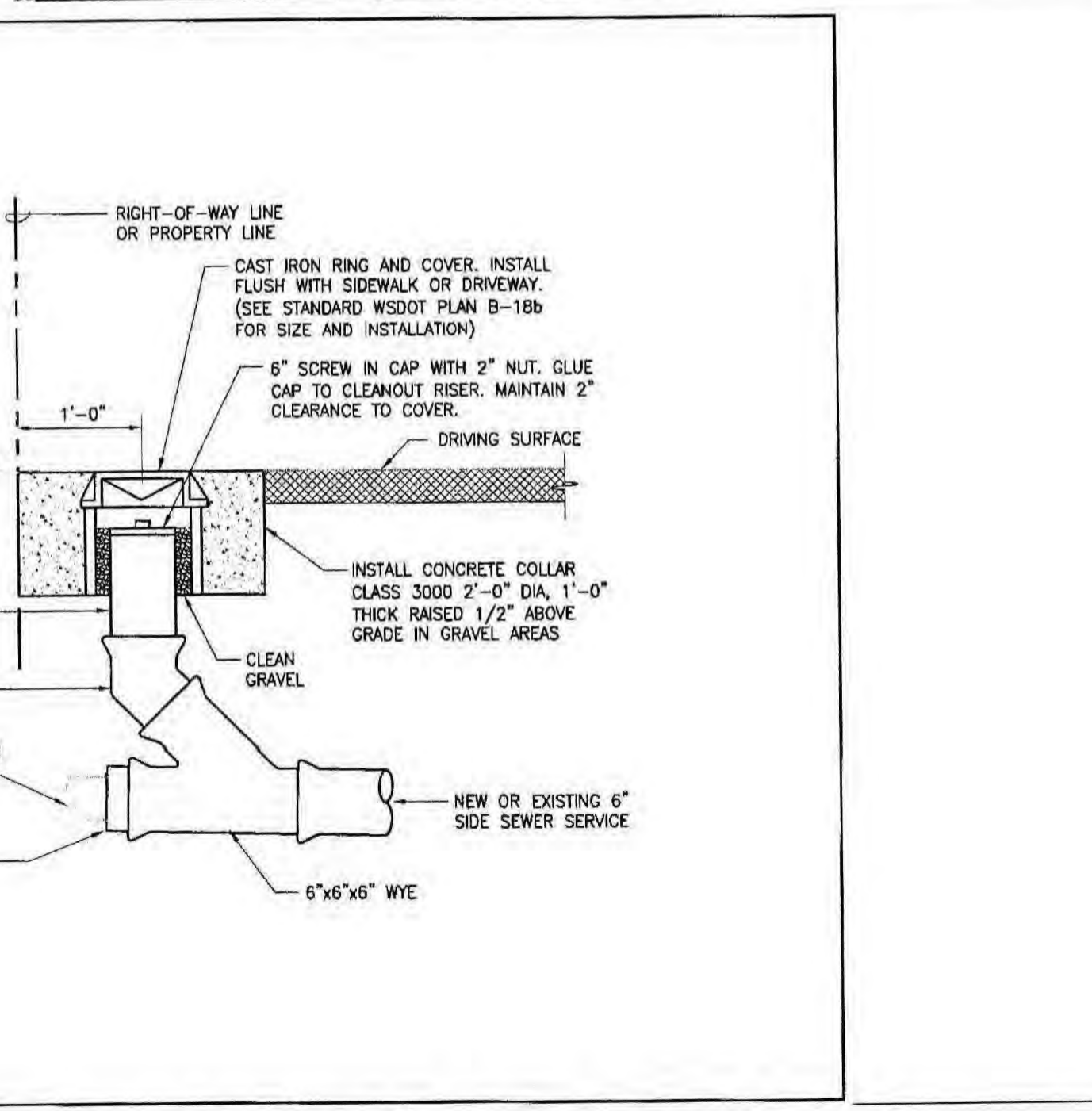
FILE NAME: STD-S-5A



CITY OF ORTING
SIDE SEWER CLEANOUT

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-5B

FILE NAME: STD-S-5B



CITY OF ORTING
SEWER DETAILS

SCALE: NO SCALE APPROVAL DATE: DRAWING NO. S-5D

FILE NAME: STD-S-5D

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CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
Phone: (253) 848-4292
Fax: (253) 848-4278
ceservices@cesnwninc.com

COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Project: **MEADOWS AT ORTING SOUTH**
SEWER DETAILS

Designed: FBB
Drawn: JEH
Checked: CAD

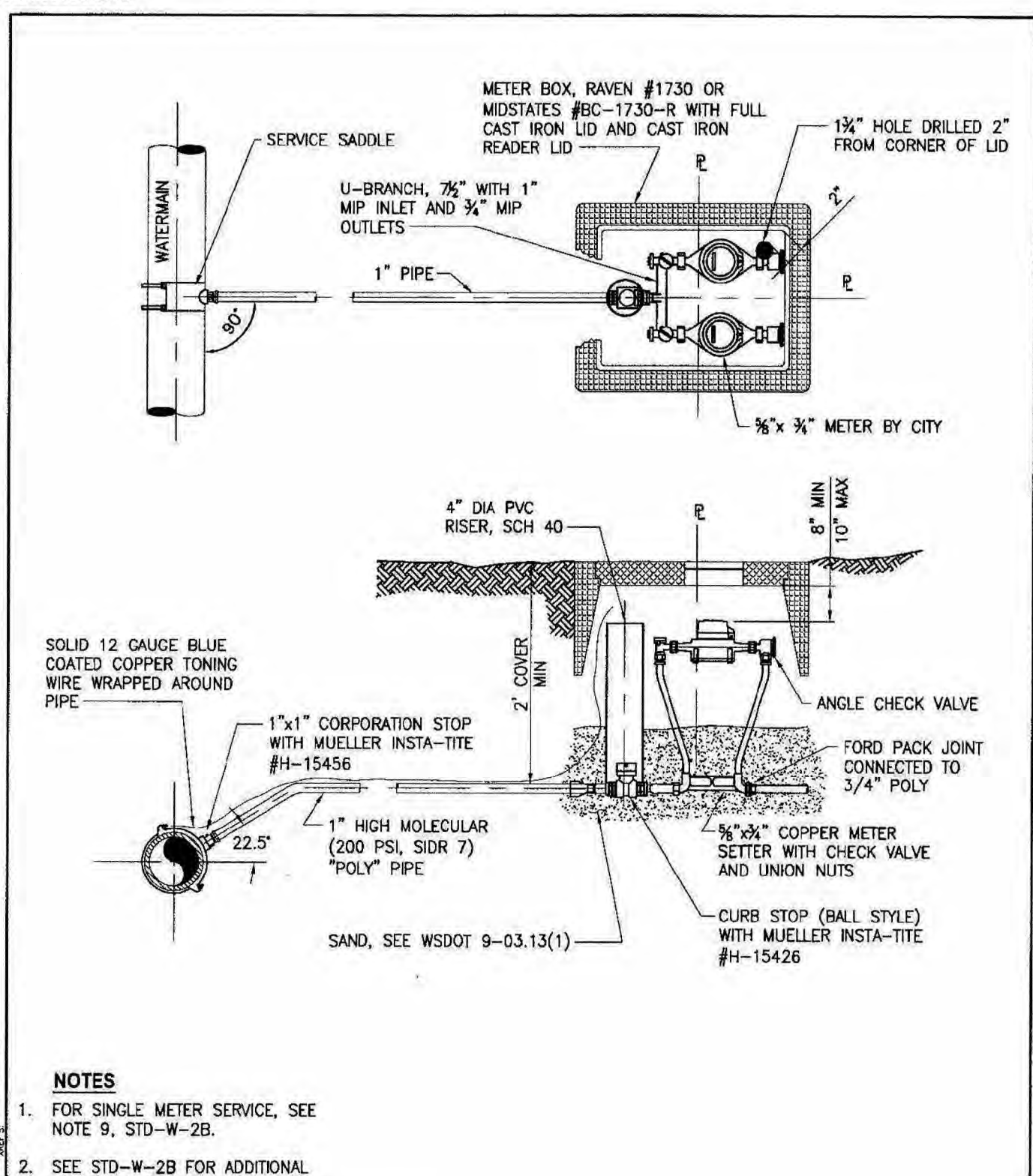
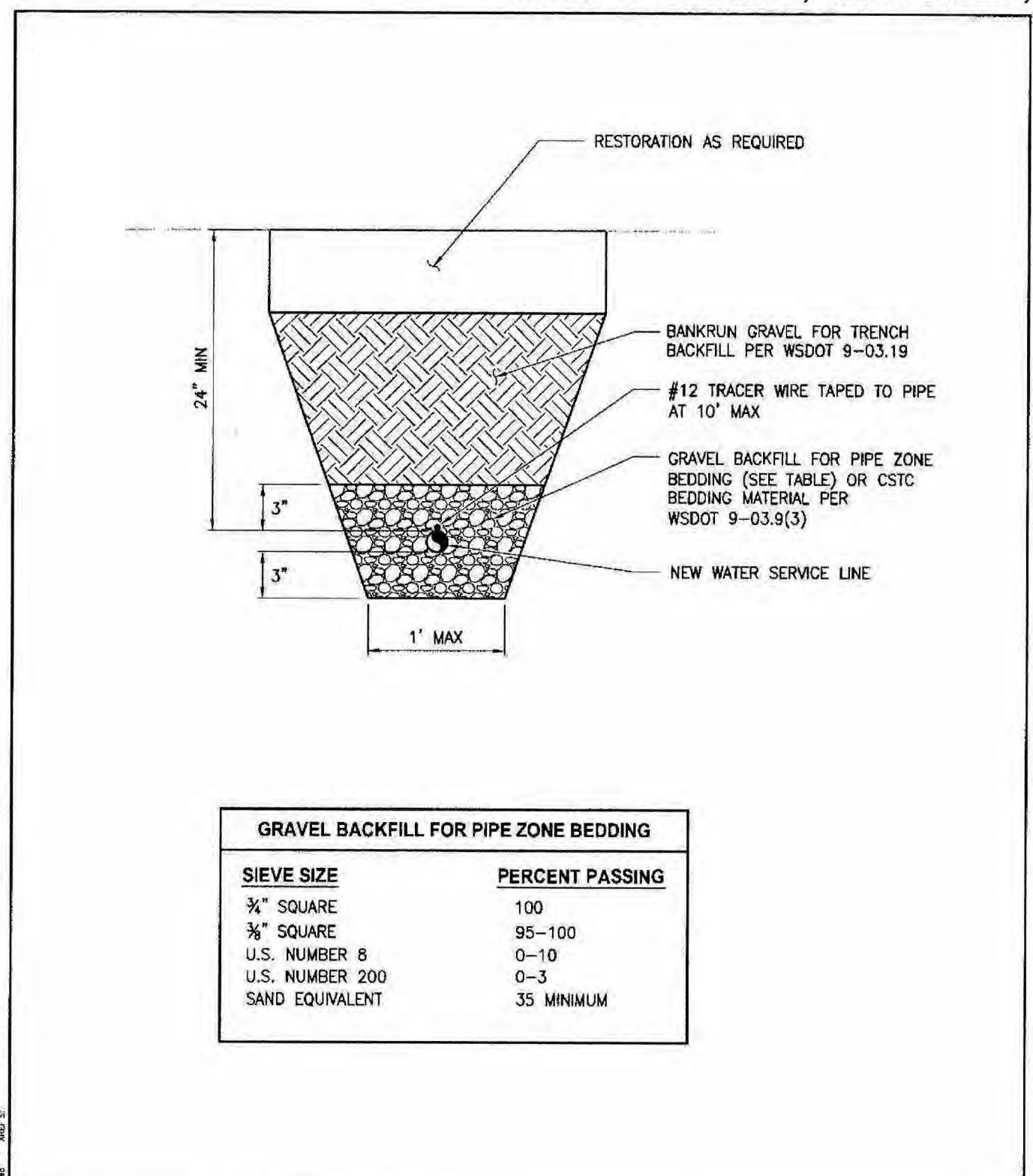
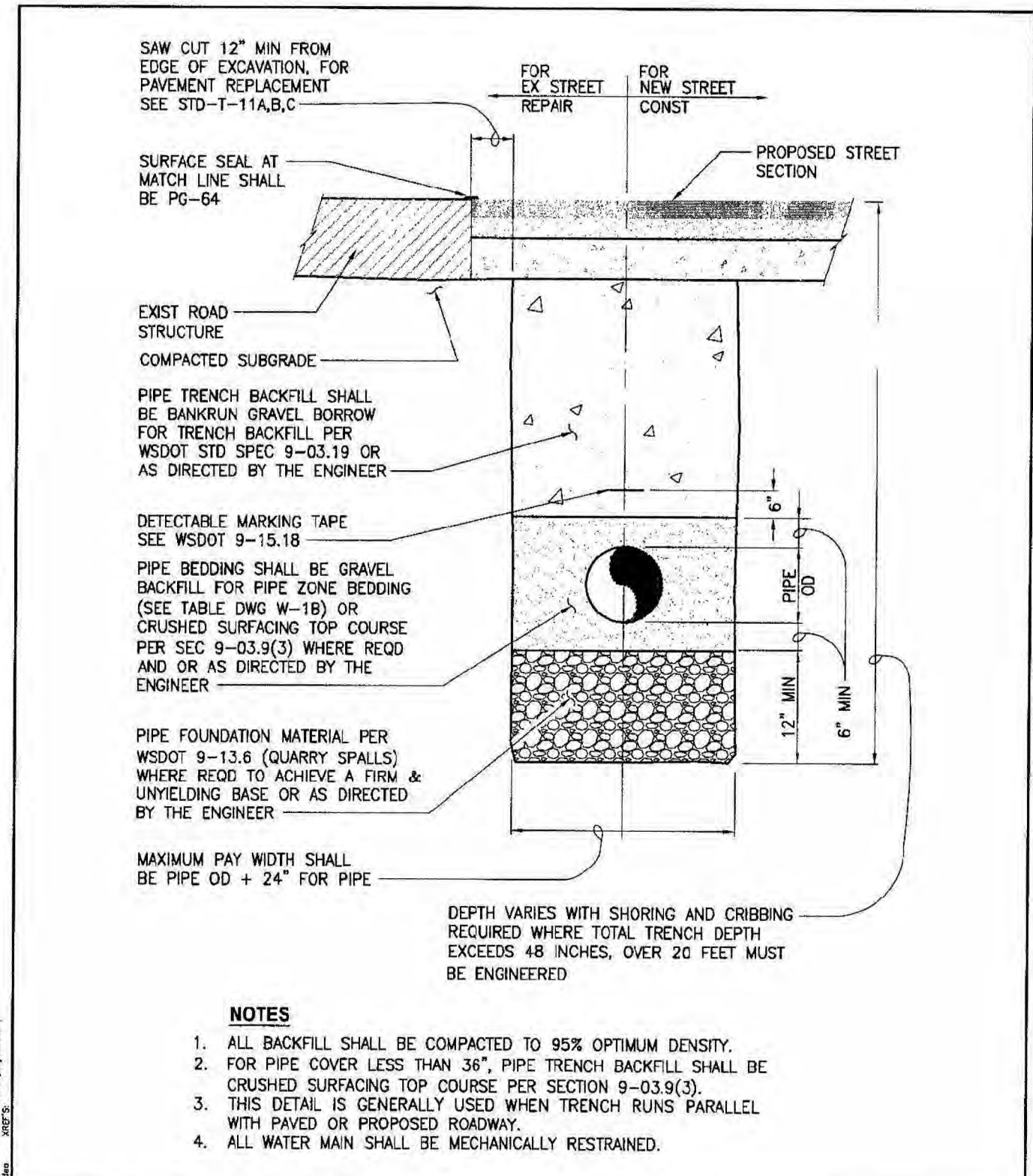
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Date: 09.21.20
Job No.: 17171

Sheet No.: **C17**

17 of 20 Sheets

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E, S5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



NOTES

1. THE CITY SHALL SUPPLY AND INSTALL THE METER AT TIME OF OCCUPANCY.
2. THE WATER METER SHALL BE LOCATED ON THE PROPERTY LINE OR AS DIRECTED BY THE CITY.
3. ALL CONNECTIONS OF "POLY" PIPING SHALL BE MUELLER INSTA-TITE.
4. SERVICE SADDLE: ROMAC 202ES OR FORD FS202. ALL SERVICE SADDLES SHALL HAVE RUBBER GASKET AND IP THREADS.
5. CORPORATION STOP: FORD FB500-4, AYMCDONALD 3131B, MUELLER B-20013.
6. CURB STOP: FORD B-11-444, AYMCDONALD 6101-11N, MUELLER B-20283.
7. U-BRANCH: FORD U-88-43, AYMCDONALD ORUMM, MUELLER H15364.
8. METER SETTERS: FORD VH72-15W-11-33, AYMCDONALD 20-215WCD033, MUELLER B-2404-2 3/4"x3"x15".
9. FOR SINGLE SERVICE, SUBSTITUTE U-BRANCH WITH 1"x3/4" BUSHING AND 3/4"x3" MIP NIPPLE. METER BOX SHALL BE 15"x27"x12".
10. DOUBLE METER SERVICES SHALL BE USED WHERE POSSIBLE AND SHALL BE LOCATED ON THE OPPOSITE PROPERTY LINE OF THE DOUBLE SEWER SERVICE. IF SERVICES CAN NOT BE LOCATED ON OPPOSITE PROPERTY LINES, 10' MIN SEPARATION IS REQUIRED.

CITY OF ORTING

TYPICAL TRENCH AND BEDDING SECTION FOR DIP WATERMAIN

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-1A
FILE NAME: STD-W-1A		

CITY OF ORTING

WATER SERVICE AND BEDDING WITHIN RIGHT-OF-WAY

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-1B
FILE NAME: STD-W-1B		

CITY OF ORTING

5/8"x3/4" DOUBLE & SINGLE METER SERVICE

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-2A
FILE NAME: STD-W-2A		

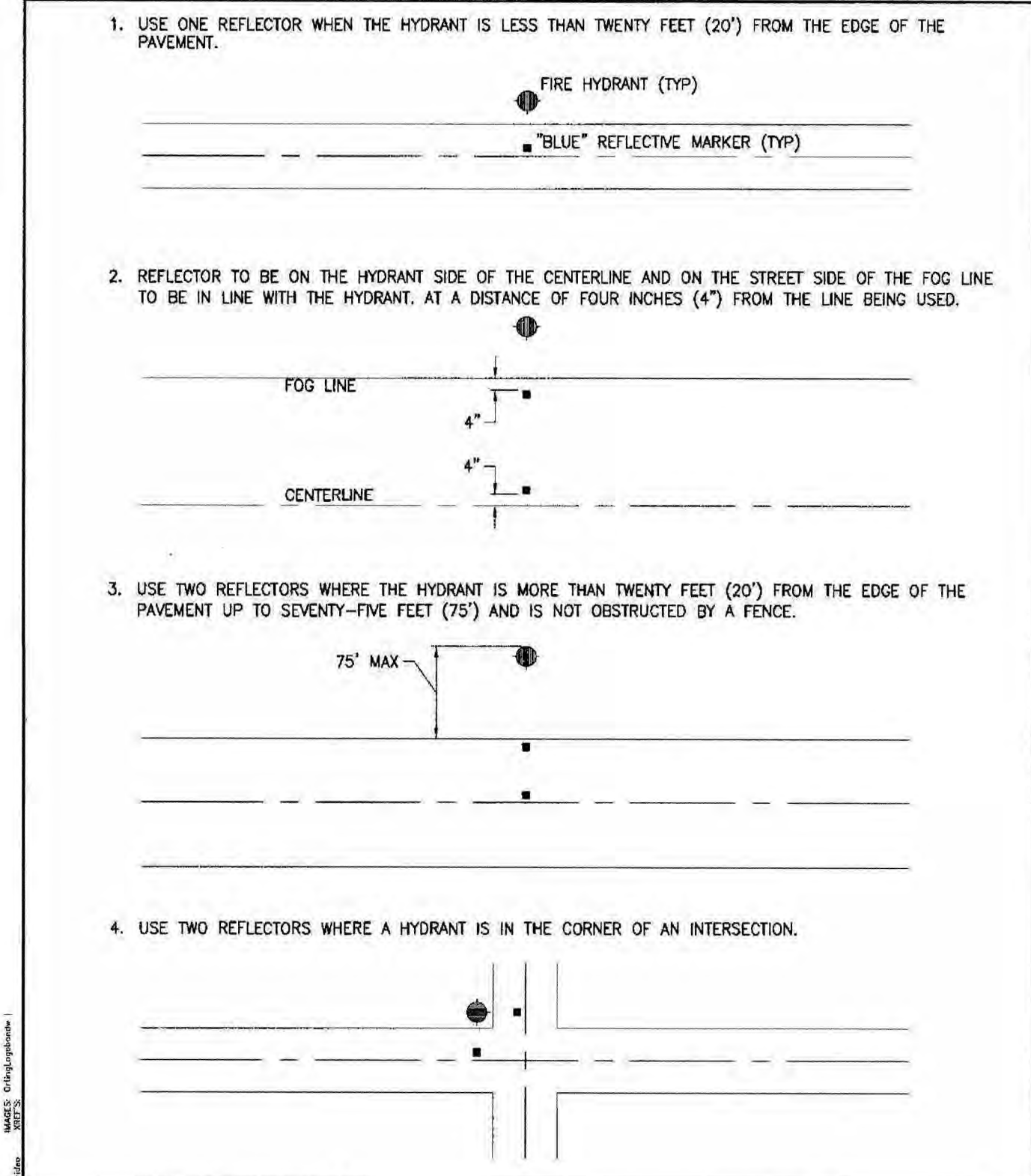
CITY OF ORTING

5/8"x3/4" DOUBLE & SINGLE METER SERVICE NOTES

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-2B
FILE NAME: STD-W-2B		

NOTES

1. FIRE HYDRANT SHALL BE A CENTER OPERATING VALVE SUCH AS M&H, DRESSER, CLOW MEDALLION OR APPROVED EQUIVALENT MEETING ANWA STD S C502. ALL OPERATING NUTS SHALL BE 1 1/4" PENTAGONAL.
2. PAINT HYDRANTS WITH TWO (2) COATS OF "SIREN RED" SEMI-GLOSS DERUSTO PAINT.
3. ALL HYDRANTS SHALL BE 5 1/2" COMMERCIAL WITH 1-1/4 NTS THREADED PORT WITH 1-5" TWO LUG QUARTER TURN STORTZ OR APPROVED EQUAL PUMPER PORT CONNECTOR AND 2-2 1/2" NST, PUMPER PORT TO FACE STREET OR AS DIRECTED BY FIRE DEPARTMENT.
4. ALL FIRE HYDRANTS SHALL BE LOCATED BEHIND SIDEWALK OR AS SHOWN ON PLANS. THE PORT CAP SHALL NOT BE OVER THE SIDEWALK.
5. WHEN FIRE HYDRANTS FALL BEHIND DITCH LINE, PLACE CULVERT IN DITCH FOR MIN OF 10' & BACKFILL WITH CRUSHED SURFACING. RIPRAP ENDS AS NEEDED FOR EROSION CONTROL.
6. NO HYDRANT SHALL BE INSTALLED LESS THAN 10 FEET FROM THE EDGE OF A DRIVEWAY APPROACH.
7. FIRE HYDRANT SHALL FACE THE ADJACENT STREET UNLESS DIRECTED OTHERWISE BY CITY OFFICIALS.
8. ALL PIPE AND FITTINGS THAT WILL COME IN CONTACT WITH THRUST BLOCKS SHALL BE WRAPPED IN PLASTIC.
9. THE HOLDING SPOOL SHALL CLASS 52 DUCTILE IRON, MJ TYPE WITH MEGA-LUG CONNECTORS.
10. 3 GUARD POSTS TO BE INSTALLED IN UNPROTECTED AREAS (4' RADIUS).
11. SEE STD-W-4C FOR GUARD POST DETAILS.



CITY OF ORTING

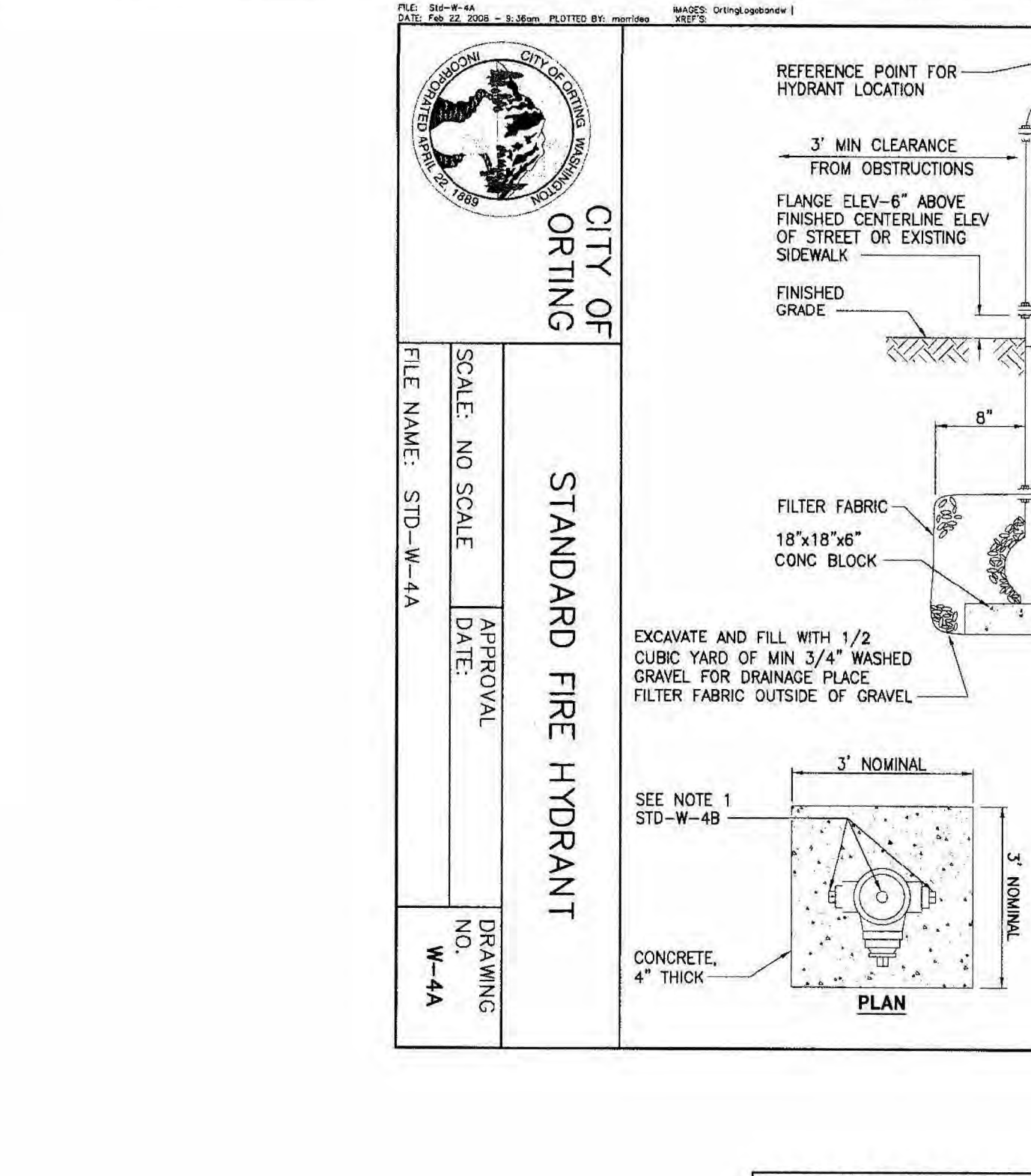
STANDARD FIRE HYDRANT NOTES

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-4B
FILE NAME: STD-W-4B		

CITY OF ORTING

FIRE HYDRANT STREET MARKINGS

SCALE: NO SCALE	APPROVAL DATE:	DRAWING NO. W-5
FILE NAME: STD-W-5		



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CITY OF ORTING

APPROVED FOR CONSTRUCTION

QTY ADMINISTRATOR _____ DATE _____

CITY ENGINEER _____ DATE _____

FIRE CHIEF _____ DATE _____

OVFR's review limited to providing input on operational issues only. OVFR has not reviewed the plans for Code compliance.

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

429 - 29TH ST, NE, SUITE D
PUYALLUP, WA 98372

Phone: (253) 848-4295
Fax: (253) 848-4272
ceservices@cesnwin.com

MEADOWS AT ORTING SOUTH
WATER DETAILS

COPPER RIDGE LLC
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEH
Checked: CAD

Scale: 1"=50'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C18**
18 of 20 Sheets

Revision: _____

Address Comments: _____

No. _____

Revision: _____

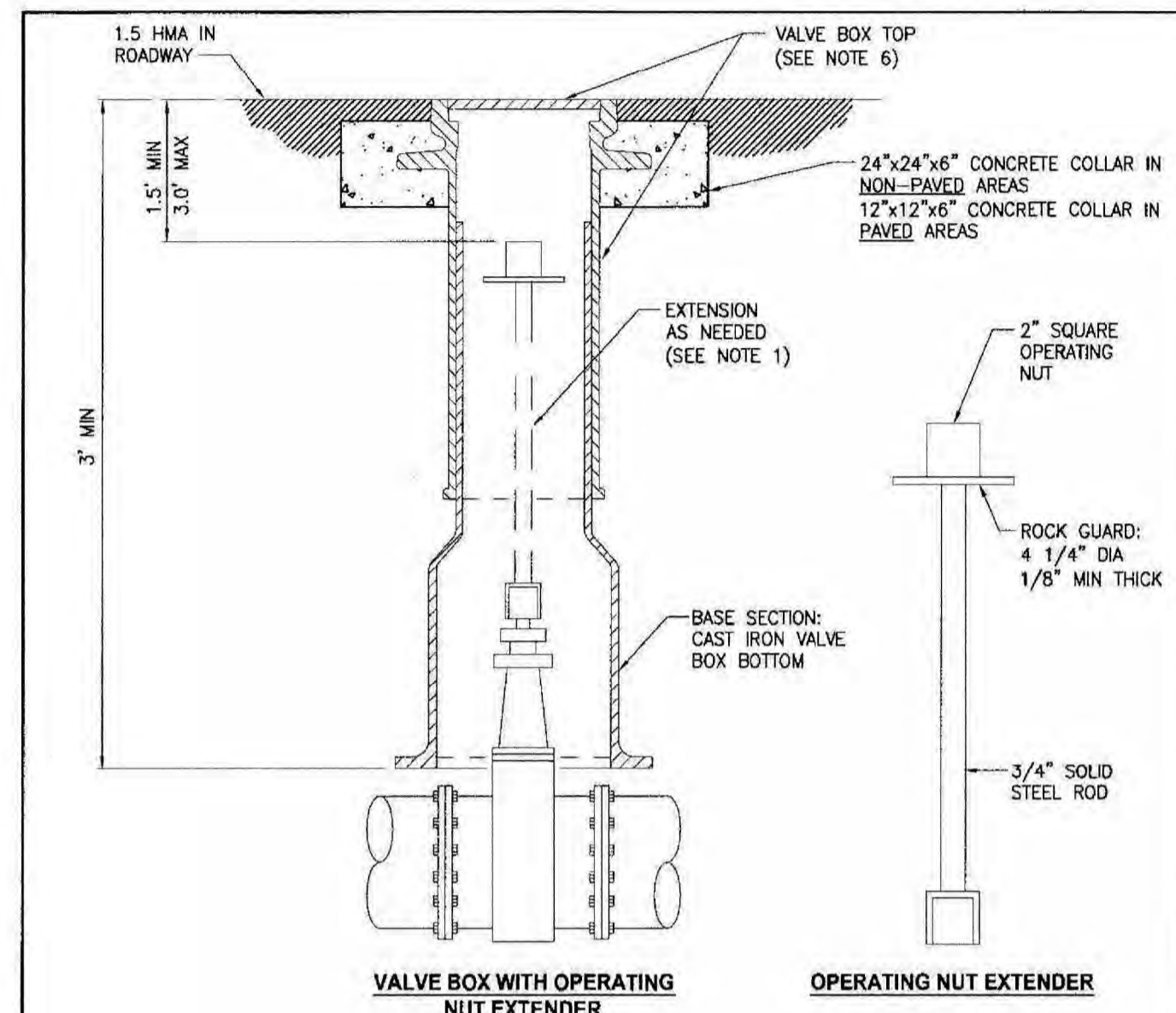
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FBB

Int.

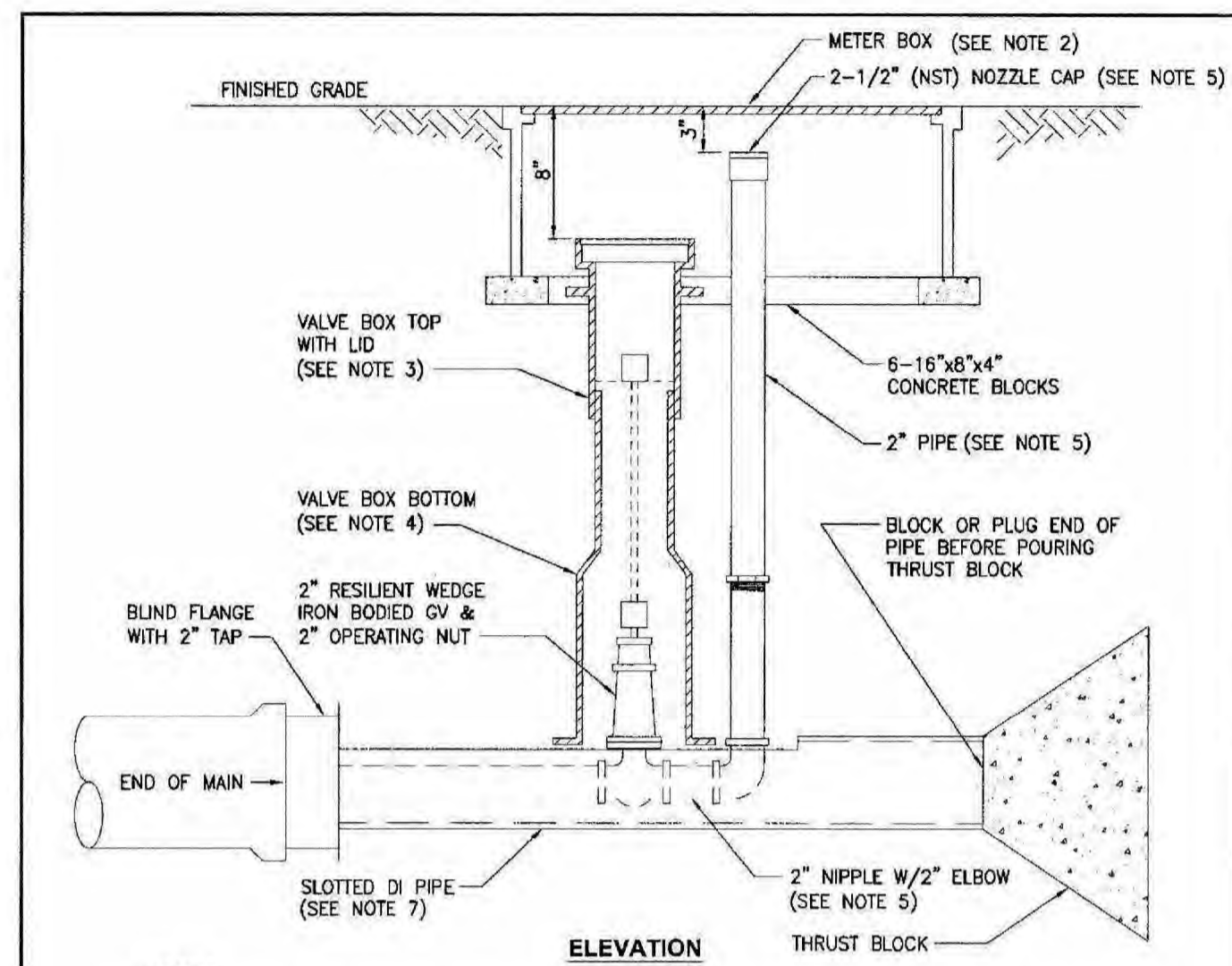
MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9E 5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



- NOTES**
- EXTENSIONS ARE REQUIRED WHEN VALVE NUT IS MORE THAN FOUR FEET BELOW FINISHED GRADE.
 - EXTENSIONS SHALL BE A MINIMUM OF ONE FOOT LONG.
 - EXTENSIONS SHALL BE SIZED AS NOTED, AND PAINTED WITH TWO COATS OF METAL PAINT.
 - EXTENSIONS ARE AS AVAILABLE FROM HD FOWLER OR US FILTER WATERWORKS.
 - LUGS OR STAINLESS CAP SCREWS ON COVER SHALL BE ALIGNED WITH DIRECTION OF WATER FLOW.
 - CAST IRON VALVE BOX TOP WITH COVER MARKED "WATER", 5 7/8" INSIDE DIAMETER W/ LUG TABS POINTING IN DIRECTION OF PIPING.

 CITY OF ORTING	VALVE BOX & OPERATING NUT EXTENDER	
	SCALE: NO SCALE	APPROVAL DATE:
	FILE NAME: STD-W-6	DRAWING NO. W-6



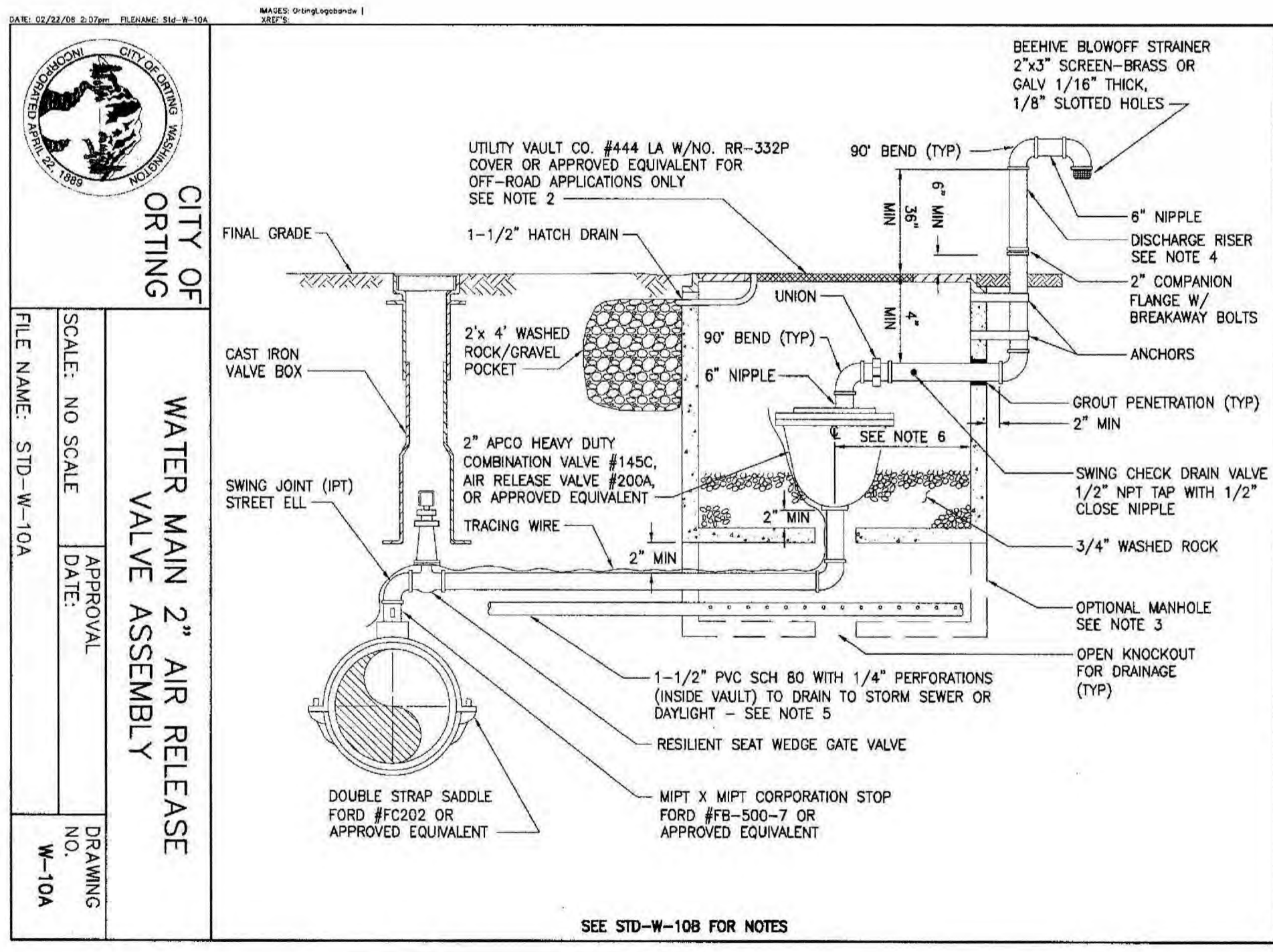
- NOTES**
- THE FOLLOWING ITEMS ARE PRE-APPROVED. ALL OTHERS REQUIRE WRITTEN APPROVAL OF THE CITY ENGINEER.
 - REINFORCED CONCRETE NO. 2 BOX WITH 3/8" STEEL TRAFFIC LID.
 - CAST IRON VALVE BOX TOP OR PRE-APPROVED EQUAL WITH LUG TYPE COVER MARKED "WATER" 5-7/8" INSIDE DIAMETER.
 - BASE SHALL BE COMPATIBLE WITH TOP SECTION, LENGTH AS REQUIRED. USE CAST IRON BOTTOM SECTION OR PRE-APPROVED EQUAL.
 - ALL FITTINGS TO BE BRASS.
 - VALVE MARKER POST REQUIRED FOR PLANTER AREA INSTALLATIONS (SEE STD-W-16).
 - DI PIPE BRACE SHALL BE SLOTTED ON THE TOP AND BOTTOM TO ALLOW DRAINAGE FROM THE BLOW-OFF UPRIGHT.
 - GATE VALVE SHALL BE PLACED PRIOR TO THE BUND FLANGE IF MAIN MAY POTENTIALLY BE EXTENDED IN THE FUTURE.

 CITY OF ORTING	END OF MAIN 2" BLOWOFF ASSEMBLY	
	SCALE: NO SCALE	APPROVAL DATE:
	FILE NAME: STD-W-7B	DRAWING NO. W-7B

 CITY OF ORTING	THRUST BLOCKING
	<p>NOTES</p> <ol style="list-style-type: none"> FITTINGS FLANGED TOGETHER, I.E. VALVES TO TEES ETC., ARE NOT INDICATED FOR CLARITY. REBAR USED IN THRUST BLOCKS SHALL BE ASPHALT TREATED AS FOR SHACKLE RODS. CONCRETE SHALL NOT BE POURED ABOVE THE PIPE SPRINGLINE IN THRUST BLOCKS WITH REBAR. FITTINGS SHALL BE PROTECTED FROM CONCRETE WITH PLASTIC FIRMLY WIRED OR TAPED TO THE FITTINGS. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENGRAVED ON THE PLANS; IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS PRESSURE(S) ALLOWABLE SOIL BEARING STRESS(ES) STATED IN THE SPECIAL SPECIFICATIONS. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL. ALL PIPE FITTINGS & BENDS SHALL HAVE JOINT RESTRAINT, MEGA-LUG OR EQUAL FIELD LOK GASKETS MAY NOT BE USED AT PIPE FITTINGS & BENDS. FIELD LOK GASKETS SHALL BE USED AT ALL PIPE JOINTS.
SCALE: NO SCALE FILE NAME: STD-W-8	APPROVAL DATE: DRAWING NO. W-8

- NOTES**
- ALL PIPE AND FITTINGS TO BE 2" DIA BRASS UNLESS OTHERWISE NOTED.
 - INSTALLATIONS IN AREAS REQUIRING TRAFFIC BEARING VAULTS WITH MANHOLE ENTRY REQUIRE ENGINEER'S APPROVAL.
 - A MANHOLE OF NOT LESS THAN 3'-6" DIAMETER MAY BE USED IN LIEU OF VAULT WITH ENGINEER'S APPROVAL.
 - DISCHARGE RISER SHALL BE INSTALLED IN PLANTER AREAS ONLY. ANCHOR RISER WITH 2"x1/4" STAINLESS STEEL STRAPS AND 3/8" HILT EXPANSION BOLTS. PAINT THE ABOVE GROUND PIPING WITH TWO COATS OF FARWEST WONDERGLO QUICKSET HI-PERFORMANCE ENAMEL, #1100 SERIES, WHITE.
 - INSTALL COMBINATION VALVE IN DRY, FREE DRAINING AREAS WHERE POSSIBLE, OR INSTALL PVC DRAIN PIPE IN AN APPROVED LOCATION.
 - COMBINATION VALVES SHALL BE INSTALLED AT ALL PEAKS & SHARP CHANGES IN GRADIENT. AIR RELEASE VALVES SHALL BE INSTALLED ON LONG HORIZONTAL, ASCENDING, OR DESCENDING STRETCHES AND BE CENTERED WITHIN IT'S VAULT OR MANHOLE.

ASBUILT RECORD NOTE
 THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



 CITY OF ORTING	WATER MAIN 2" AIR RELEASE VALVE ASSEMBLY	
	SCALE: NO SCALE	APPROVAL DATE:
	FILE NAME: STD-W-10A	DRAWING NO. W-10A

SEE STD-W-10B FOR NOTES

 CITY OF ORTING	WATER MAIN 2" AIR RELEASE VALVE ASSEMBLY	
	SCALE: NO SCALE	APPROVAL DATE:
	FILE NAME: STD-W-10B	DRAWING NO. W-10B

CITY OF ORTING
 APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____

CITY ENGINEER _____ DATE _____

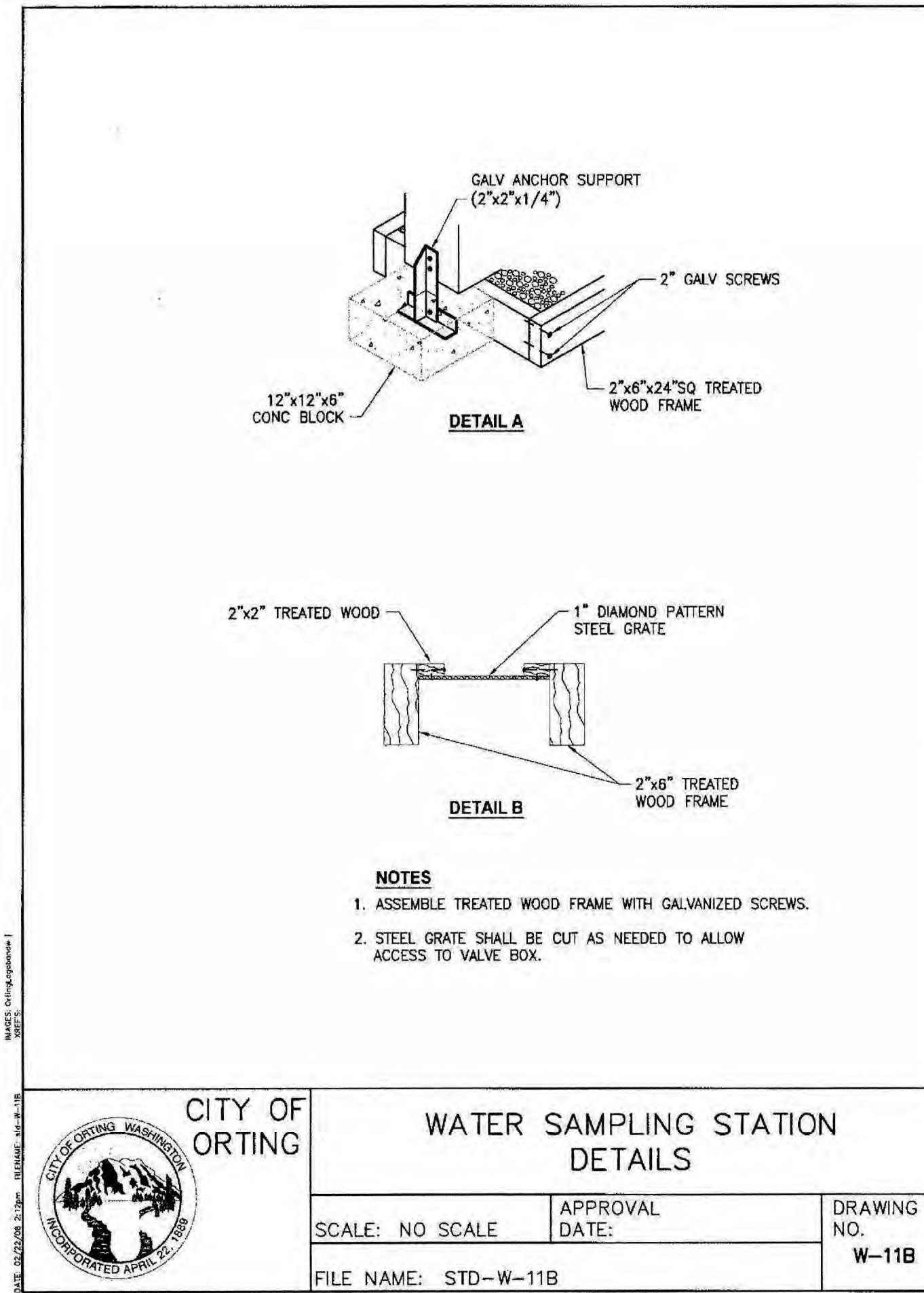
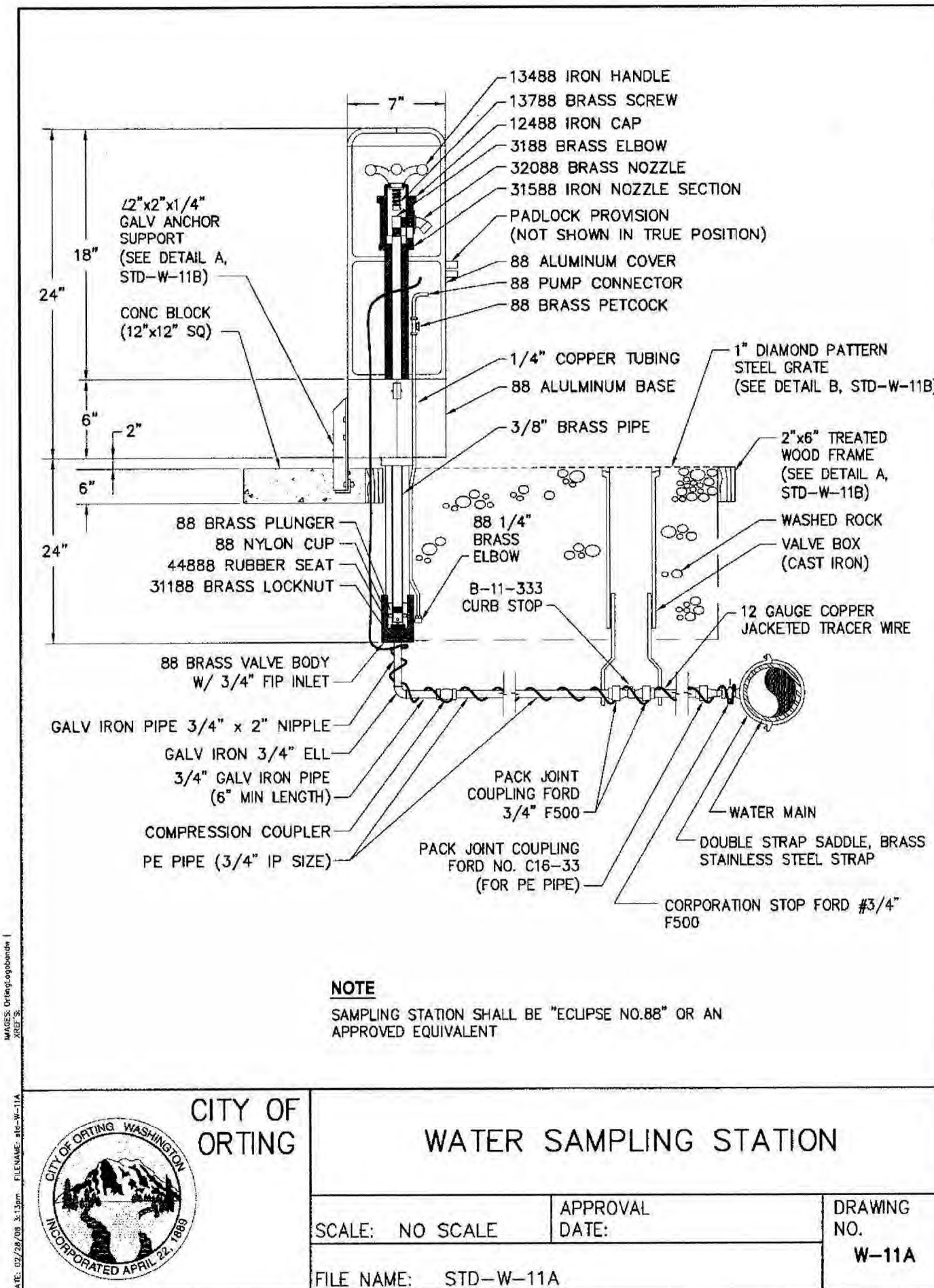
FIRE CHIEF _____ DATE _____

OVR's review limited to providing input on operational issues only. OVR has not reviewed the plans for Code compliance.

	Date: 12.27.19 FBB Int.
	Revision: _____ No. _____ ADDRESS COMMENTS No. _____
C.E.S. NW INC. CIVIL ENGINEERING & SURVEYING Box: (509) 648-4292 Puyallup, WA 98372 ceservices@cesnwinc.com	Project: MEADOWS AT ORTING SOUTH WATER DETAILS Client: COPPER RIDGE LLC P.O. BOX 73790, PUYALLUP, WA 98373
MEADOWS AT ORTING SOUTH WATER DETAILS	Designed: FBB Drawn: JEH Checked: CAD Scale: 1"=50' Date: 09.21.20 Job No.: 17171 Sheet No.: C19 19 of 20 Sheets

MEADOWS AT ORTING SOUTH

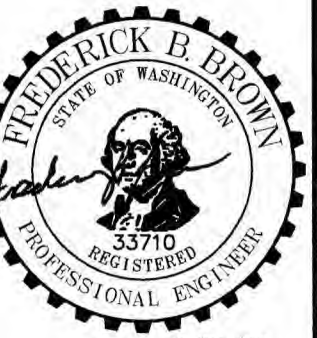
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9G 5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



WATER NOTES

- ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS. ANY DEVIATION FROM THE PLANS WILL REQUIRE APPROVAL FROM THE ENGINEER, CITY AND APPROPRIATE PUBLIC AGENCIES.
- NOTIFY THE CITY OF ORTING 72 HOURS (3 WORKING DAYS) PRIOR TO BEGINNING CONSTRUCTION AND FOR ANY RESTARTS OF WORK.
- THE CITY OF ORTING SHALL BE NOTIFIED 3 WORKING DAYS PRIOR TO THE TIME THE CONTRACTOR WOULD LIKE TO CONNECT TO EXISTING MAINS OR FOR INSTALLATION OF TAPPING TEES. THE CONNECTION SHALL BE DONE IN ACCORDANCE WITH THE CITY REQUIREMENTS. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES WITHIN THE EXISTING SYSTEM; THESE WILL BE OPERATED BY THE CITY OF ORTING PERSONNEL ONLY.
- AIR RELEASE VALVES SHALL BE PROVIDED AT ALL HIGH POINTS IN THE WATER LINE. IF LOCATIONS DIFFER FROM THE APPARENT HIGH POINTS IDENTIFIED ON THE PLANS, THE CONTRACTOR SHALL RECEIVE CITY APPROVAL PRIOR TO INSTALLING THE AIR RELEASE VALVES.
- MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND STORM LINES TO BE 6" UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" OF VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES. IF THIS CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE ENCASEMENT PER SECTION C1-9.1 OF THE WASHINGTON DEPARTMENT OF ECOLOGY CRITERIA FOR SEWAGE WORKS DESIGN MANUAL.
- ALL WATER PIPE DUCTILE IRON CL 52. TRENCHING, BEDDING, AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY STANDARD DWG W-1A. MINIMUM COVER ON PIPE SHALL BE 3.5 FEET.
- ALL JOINTS SHALL BE MECHANICALLY RESTRAINED.
- FIELD LOK GASKETS ARE REQUIRED ON ALL PIPE JOINTS.
- THE WATER MAIN CONSTRUCTION PHASE WILL NOT BE CONSIDERED COMPLETE UNTIL THE INSTALLATION IS ACCEPTABLE TO THE CITY OF ORTING INCLUDING A SATISFACTORY HYDROSTATIC PRESSURE TEST, A SATISFACTORY DISINFECTION TEST, SATISFACTORY FLOW OF SERVICE LINES, AND COMPLETION OF ALL ITEMS ON THE INSPECTOR'S PUNCH LIST.
- WATER SHALL BE TESTED ACCORDING TO SECTION 7-09 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION LATEST EDITION.
- ALL NEW PIPE AND APPURTENANCES SHALL BE DISINFECTION, FLUSHED, AND TESTED IN ACCORDANCE WITH SECTION 7-11.3(12) BEFORE PLACING THE MAINS INTO SERVICE. SAMPLES WILL BE COLLECTED AND BACTERIOLOGICAL TESTS OBTAINED BY THE PROJECT ENGINEER. THE CONTRACTOR SHALL GIVE A MINIMUM OF TWO (2) WORKING DAYS WRITTEN NOTICE PRIOR TO DISINFECTION TEST IS REQUIRED AND ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR TEST RESULTS. NO CHLORINATED WATER SHALL BE DIRECTLY DISCHARGED TO THE SANITARY SEWER OR STORM DRAINAGE SYSTEM WHEN FLUSHING OUT THE WATER MAIN.

ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND ROAD SYSTEMS WAS FIELD SURVEYED BY ME OR UNDER MY DIRECTION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE APPLYING IT FOR ANY PURPOSE.



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
408 - 98th St. NE, Suite D
Puyallup, WA 98372
Bus: (253) 848-4282
Fax: (253) 848-4278
ces@cesnw.com

Project: **MEADOWS AT ORTING SOUTH WATER DETAILS**
Client: **COPPER RIDGE LLC**
P.O. BOX 73790, PUYALLUP, WA 98373

Designed: FBB
Drawn: JEF
Checked: CAD
Scale: 1"-50'
Date: 09.21.20
Job No.: 17171

Sheet No.: **C20**
20 of 20 Sheets

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
CITY ENGINEER _____ DATE _____
FIRE CHIEF _____ DATE _____

OVFR's review limited to providing input on operational issues only. OVFR has not reviewed the plans for Code compliance.

12.27.19	Date:
FBB	Int.
	Revision:
	No.
	ADDRESS COMMENTS



Auditor's Office
2401 S. 35th St., Rm 200
Tacoma, WA 98409

Election Center
2501 S. 35th St., Ste. C
Tacoma, WA 98409



Auditor's Office
253-798-7427

Elections
253-798-VOTE (8683)



Website
PierceCountyAuditor.org

Email
Auditor@PierceCountyWa.gov

Recording Map Checklist (WAC 332-130)

This form must accompany the map when it is presented for Recording. Any changes will need a new legibility form.

Type of Map Plot - Meadows at Irving South

Acceptable Media:

- For Counties exempted from permanently storing the document filed, acceptable media are:
 - Any standards material compatible with county processes; or electronic version of the original.
 - ALL** signatures and seals must be original and, on hard copy made with **permanent black ink.**
 - The media submitted for filing must not have any material on it that is affixed by adhesive.

Legibility:

- The documents submitted, including paper copies, must have uniform contrast throughout the document.
- No information, on either the original or copies, should be obscured or illegible due to cross hatching, shading, or as a result of poor drafting technique such as lines drawn through text or improper pen size selection (letters or number filled in such that 3's, 6's or 8's are indistinguishable).
- Signatures and seals must be legible on the prints or the party placing the seal must be otherwise identified in the notary jurat.
- Text must be 0.08 inches or larger; line widths shall not be less than 0.008 inches (vicinity maps, land surveyor's seals and certificates are excluded).

Indexing:

- The recording officer's information block must be on the bottom or right edge of the map.
- A title block (shows the name of the preparer and is on each sheet of multiple sheets).
- An auditor's certificate (on the first sheet of multiple sheets, although Vol./Pg. and or AFN must be entered by the recording officer on each sheet).
- A surveyor's certificate (on the first sheet of multiple sheets; seal and signature on multiple sheets).

• **The map must provide the following indexing data:**

- S-T-R and the quarter-quarter(s) or approximate quarter-quarter(s) of the section in which the surveyed parcel lies.
- Optional: A graphic representation of the section divided into quarter-quarters may be used with the quarter-quarter(s) in which the surveyed parcel lies clearly marked;

Miscellaneous:

- If the function of the document submitted is to change a previously filed record, it must also have:
 - A title identifying it as a correction, amendment, alteration or change to a previously filed record,
 - A note itemizing the changes.
- For records of survey:
 - The sheet must be 18" X 24"
 - The margins must be 2" on the left and 1/2" for the others, when viewed in landscape orientation.
 - In addition to the map being filed there must be two prints included in the submittal; except that, in counties using imaging systems fewer prints, as determined by the Auditor, may be allowed.



 Map is approved for Recording

 Map is NOT approved for Recording (make corrections noted above)

Reviewed by KIM E Date 8-27-2020



PIERCE COUNTY ASSESSOR-TREASURER RESIDENTIAL OR COMMERCIAL REAL PROPERTY

TAXPAYER'S CLAIM FOR REDUCTION OF ASSESSMENTS RESULTING FROM DESTROYED PROPERTY OR FROM LOSS OF VALUE IN A DECLARED DISASTER AREA Chapter 84.70 RCW

NOTICE: *This claim for reduction of assessments and for the abatement of taxes must be filed with the county assessor within three years after the date of destruction or loss of value.*

SECTION I

This is to notify you that I hereby claim relief under the provision Chapter 84.70 RCW and petition for adjustment on the applicable assessment or tax roll.

Taxpayer/Contact Person _____ Daytime Phone _____

Mailing Address _____ Property Address _____

Email _____

Parcel # _____ Residential Property Commercial Property

Description of property destroyed: (Attach photos of damage and estimate of repair costs if available, from insurance company or contractor)

Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for Adjustment, Abatement or Refund.

Will damaged/destroyed property be repaired/replaced? Yes No Projected Date of repair/replacement _____

Cause of destruction (i.e. fire, flood, demolition, etc.) _____ Date of destruction (Mo/Day/Yr.) _____

Taxpayer's signature _____ Date signed _____

SECTION II

ASSESSOR'S USE ONLY

DP# _____

Claim Qualifies Does not qualify for the following reason: Date filed with assessor _____

- | | | |
|--|---|---|
| <input type="checkbox"/> Claim Not Filed w/in 3 Year Limit | <input type="checkbox"/> Improvements were not being assessed | <input type="checkbox"/> Partial Demolition |
| <input type="checkbox"/> Improvements already removed from tax rolls | <input type="checkbox"/> Deferred Maintenance | <input type="checkbox"/> Condemnation |
| <input type="checkbox"/> Drug Labs | <input type="checkbox"/> Infestation/Rot | <input type="checkbox"/> Earth Settlement |
| <input type="checkbox"/> Vandalism | <input type="checkbox"/> Minimal damage, no effect on market | <input type="checkbox"/> Voluntary destruction |
| <input type="checkbox"/> Access denied, no documentation submitted | <input type="checkbox"/> Destruction is not date specific | <input type="checkbox"/> Home Improvement Exemption |
| <input type="checkbox"/> Tax exempt | <input type="checkbox"/> Claim qualifies but does not provide additional tax relief, frozen senior value is lower than the appraised value. | |
| <input type="checkbox"/> Destruction to land only | | |
| <input type="checkbox"/> Other/Comments _____ | | |

Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for Adjustment, Abatement or Refund.

ASSESSOR'S DETERMINATION OF REDUCTION IN VALUE FOR THE _____ TAX YEAR

1. True cash value of property prior to destruction \$ _____

2. True cash value of remaining property \$ _____

3. Total amount of loss of value \$ _____

4. Number of days remaining in year from date of destruction _____ ÷ 365 = _____

5. Amount of reduction (line 3 x line 4) \$ _____

I hereby certify my determination of the amount of reduction for the assessment year _____ is as shown on line 5.

Date _____ Assessor _____ Date sent to taxpayer _____

SECTION III

NOTICE TO TAXPAYER: If you disagree with the amount of reduction noted in Section II, you may appeal the amount of reduction to the Pierce County Board of Equalization within sixty (60) days of notification from the Assessor-Treasurer or July 1 of the year of reduction, whichever is later. Pierce County Board of Equalization (253) 798-7415 www.piercecountywa.org/boe

Mail This Completed Form To: Pierce County Assessor – Treasurer's Office
2401 South 35th St, Room 142
Tacoma, WA 98409

Please direct all questions regarding this form to (253) 798-7145.

www.piercecountywa.org/atr



Pierce County Assessor-Treasurer
2401 South 35th Street, Room 142
Tacoma, WA 98409
(253) 798-6111
www.piercecountywa.org/atr

**INFORMATION AND INSTRUCTIONS FOR REAL PROPERTY APPLICATIONS FOR
REDUCTION OF ASSESSMENTS DUE TO DESTRUCTION OF PROPERTY OR
LOSS OF VALUE IN A DECLARED DISASTER AREA
(RCW 84.70.010)**

WHO MAY APPLY

Any owner or contract purchaser whose real or personal property has been placed on the assessment roll that year and is destroyed, in whole or in part, *OR* is located in an area that has been declared a disaster by the governor and has been reduced in value by more than 20% may apply. If property is destroyed or reduced in value by a cause other than a declared disaster, the specific cause and date of destruction must be listed on claim form (i.e. fire mm/dd/yr., flood mm/dd/yr., earthquake mm/dd/yr., demolition mm/dd/yr., etc.)

**Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for
Adjustment, Abatement or Refund.**

(Adjustments to Value Will be Made In The Following Year's Taxes)

PROPERTY SUBJECT TO REDUCTION

Any property which is destroyed or reduced in value due to a disaster as described in the paragraph above *may qualify* for a pro rata adjustment. As the reduction in value provided by this law is calculated on a pro rata basis, the cause of destruction or reduction in value must have resulted from a date-specific incident or event. No relief shall be given to any person who is convicted of arson with regard to the property for which relief is sought.

APPLICATION PERIOD

Claims must be filed within three years of destruction or reduction in value.

WHERE TO APPLY

Forms may be obtained from the Pierce County Assessor-Treasurer's Office, 2401 S 35th St, Tacoma, WA 98409; telephone (253) 798-6111 or on the web at www.piercecountywa.org/atr

DUTY OF COUNTY ASSESSOR

The county assessor shall calculate the amount of reduction in market value, if any, the taxpayer may be entitled to, and shall notify the taxpayer of the determination.

TAXPAYER RIGHT TO APPEAL ASSESSOR'S DETERMINATION

If the taxpayer disagrees with the amount of reduction determined by the county assessor, he/she may appeal the amount of reduction to the Pierce County Board of Equalization within sixty (60) days of notification from the Assessor-Treasurer or July 1 of the year of the reduction, whichever is later.

Pierce County Board of Equalization
(253) 798-7415
2401 South 35th St, Room 176
Tacoma WA 98409
www.piercecountywa.org/boe

REPLACING DESTROYED PROPERTY

If destroyed property is replaced prior to the valuation date of July 31st as contained in RCW 36.21.080 (1) or RCW 36.21.090, the taxable value for that year shall not exceed the value as of the appropriate valuation date.

From: [Jenny Cho](#)
To: [Don Babineau](#)
Cc: [Jennifer Caldwell](#)
Subject: RE: Meadows at Orting South Final Plat review comments
Date: Thursday, September 3, 2020 10:46:24 AM
Attachments: [image001.jpg](#)

Hi Don,

Thank you for the attachments, it's approved.

From: Don Babineau <dbabineau@cesnwinc.com>
Sent: Friday, August 28, 2020 9:35 AM
To: Jenny Cho <jenny.cho@piercecountywa.gov>
Cc: Jennifer Caldwell <jcaldwell@cesnwinc.com>
Subject: Meadows at Orting South Final Plat review comments

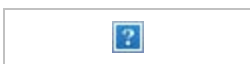
Good morning Jenny,

Attached are the items we have prepared in response to your August 12, 2020 final plat review comments for the Meadows at Orting South project located in the City of Orting.

Please review the materials and do not hesitate to contact me if anything else is needed.

Thank you,

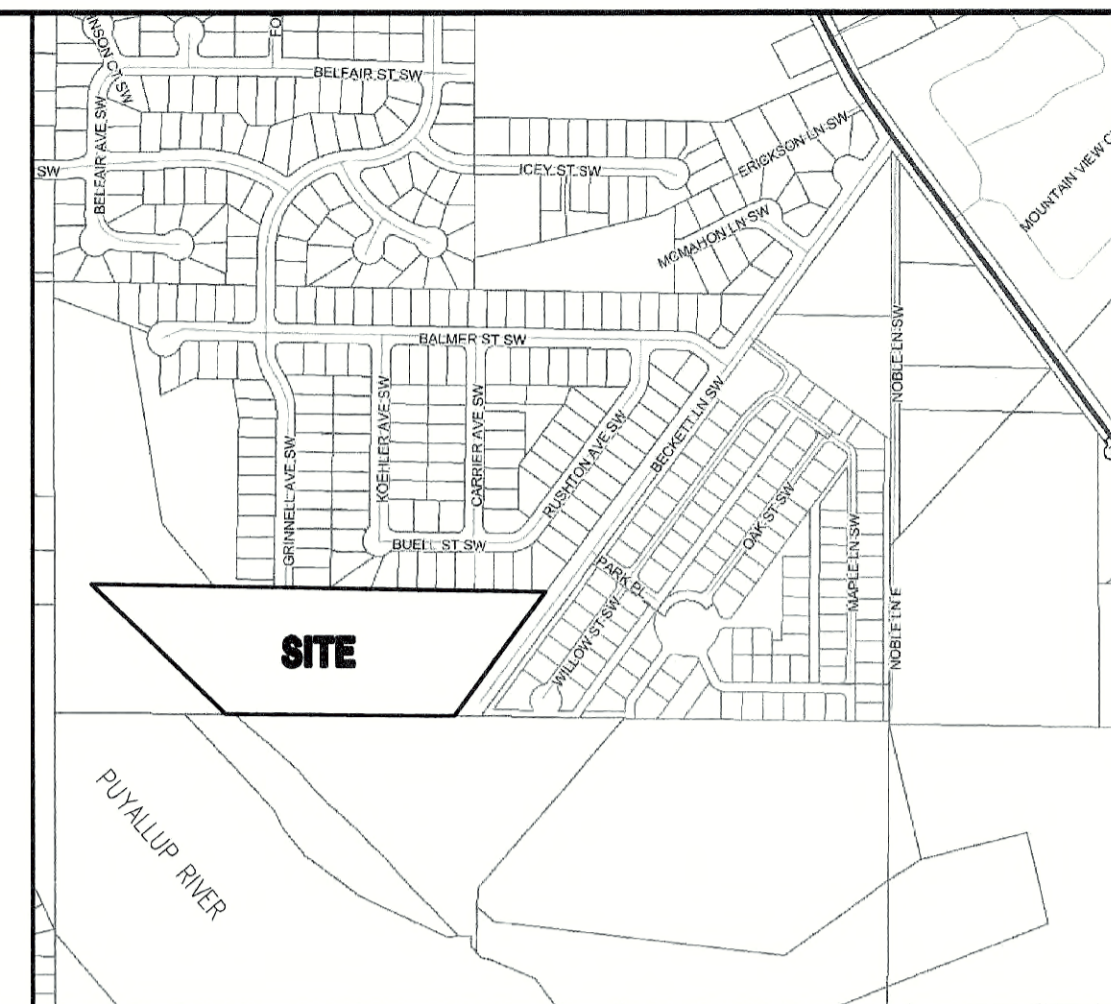
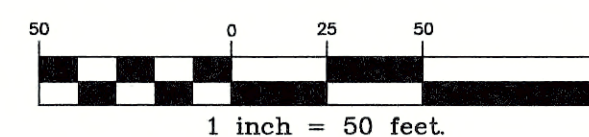
Don Babineau
Senior Planner



429 29th Street NE – Ste D
Puyallup, WA 98372
253.848.4282
dbabineau@cesnwinc.com

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R5E
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



VICINITY MAP
NTS

EXISTING	DESCRIPTION	PROPOSED
	MONUMENT	
	MONUMENT LINE	
	PROPERTY LINE	
	RIGHT OF WAY LINE	
	EASEMENT LINE	
	BUILDING SETBACK LINE	
	CHAIN LINK FENCE	
	WOOD FENCE	
	CURB & GUTTER	
	EDGE OF DIRT ROAD	
	EDGE OF PAVEMENT	
	CONTOURS	
	STREET SIGN	
	STORM DRAIN CATCH BASIN	
	STORM DRAIN MANHOLE	
	STORM DRAIN CLEANOUT	
	STORM DRAIN LINE	
	ROOF DRAIN LINE	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	SANITARY SEWER LINE	
	SANITARY SEWER STUB	
	FIRE HYDRANT	
	WATER VALVE	
	WATER METER	
	WATER BLOW OFF	
	THRUST BLOCKING	
	WATER MAIN	
	SWALE	
	LUMINAIRE	
	POWER/UTILITY POLE	
	GUY WIRE	
	ASPHALT CONCRETE	
	ASPHALT OVERLAY	
	CEMENT CONCRETE	
	WETLAND BUFFER	

SITE STATISTICAL BREAK DOWN

EXISTING ZONING:	RESIDENTIAL-CONSERVATION (RC)
GROSS SITE AREA:	RESIDENTIAL-URBAN (RU)
-ROAD R.O.W.:	436,071 SQ. FT. (10.01 AC.)
NET AREA:	29,635 SQ. FT. (0.68 AC.)
ACCESS TRACTS A-C	5,828 SQ. FT. (0.13 AC.)
STORM POND TRACT D	29,705 SQ. FT. (0.68 AC.)
WETLAND/BUFFER TRACT E	211,367 SQ. FT. (4.85 AC.)
TOTAL LOTS PROPOSED:	20 LOTS
SMALLEST PROPOSED LOT:	7,260 SF
LARGEST LOT AREA:	12,648 SF
AVERAGE LOT AREA:	7,986 SF
FRONT YARD:	25 FEET
SIDE YARD:	8 FEET
SANITARY SEWER MANHOLE:	10 FEET
REAR YARD:	25 FEET
CORNER YARD:	20 FEET
MAX. BLDG. HT.:	35 FEET
MAX. COVERAGE:	30% (RU ZONING)

SITE ADDRESS

403 BECKETT LN SW
ORTING, WA 98360

PARCEL NUMBERS

0519323054

OWNER/DEVELOPER

COPPER RIDGE, LLC
PO BOX 73790
PUYALLUP, WA. 98373
PHONE (253) 677-9234

SURVEY BY

C.E.S. NW INC
429 - 29TH STREET NE, SUITE D
PUYALLUP, WA 98372
(253) 848-4282

VERTICAL DATUM:

NAVD88 (PER THE WASHINGTON STATE REFERENCE NETWORK)

BASIS OF BEARING:

NAD 83-2011 (EPOCH 2010.00), WASHINGTON SOUTH ZONE

UTILITIES

SEWER: CITY OF ORTING
WATER: CITY OF ORTING
CABLE: COMCAST - CENTURY LINK
TELEPHONE: COMCAST - CENTURY LINK
REFUSE: MURREY'S DISPOSAL
GAS: PUGET SOUND ENERGY
SCHOOL: ORTING SCHOOL DISTRICT
POWER: PUGET SOUND ENERGY
FIRE: ORTING VALLEY FIRE & RESCUE

TRENCH NOTE

IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)B, IT SHALL BE SHORED AND CRIBBED. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR WORKER SAFETY AND CES NW INC. ASSUMES NO RESPONSIBILITY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW.

FILL SPECIFICATION

FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW, ORDINANCE, CODE, REGULATION, RULE, ORDER, OR STANDARD. ONLY EARTH MATERIAL SHALL BE PLACED IN FILLS.

LEGAL DESCRIPTION

(PER FIRST AMERICAN TITLE INSURANCE COMPANY ALTA COMMITMENT NO. 4260-2940371, DATED SEPTEMBER 11, 2017)

PARCEL A

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131 FEET;
THENCE NORTH 89°57'37" EAST, 300 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

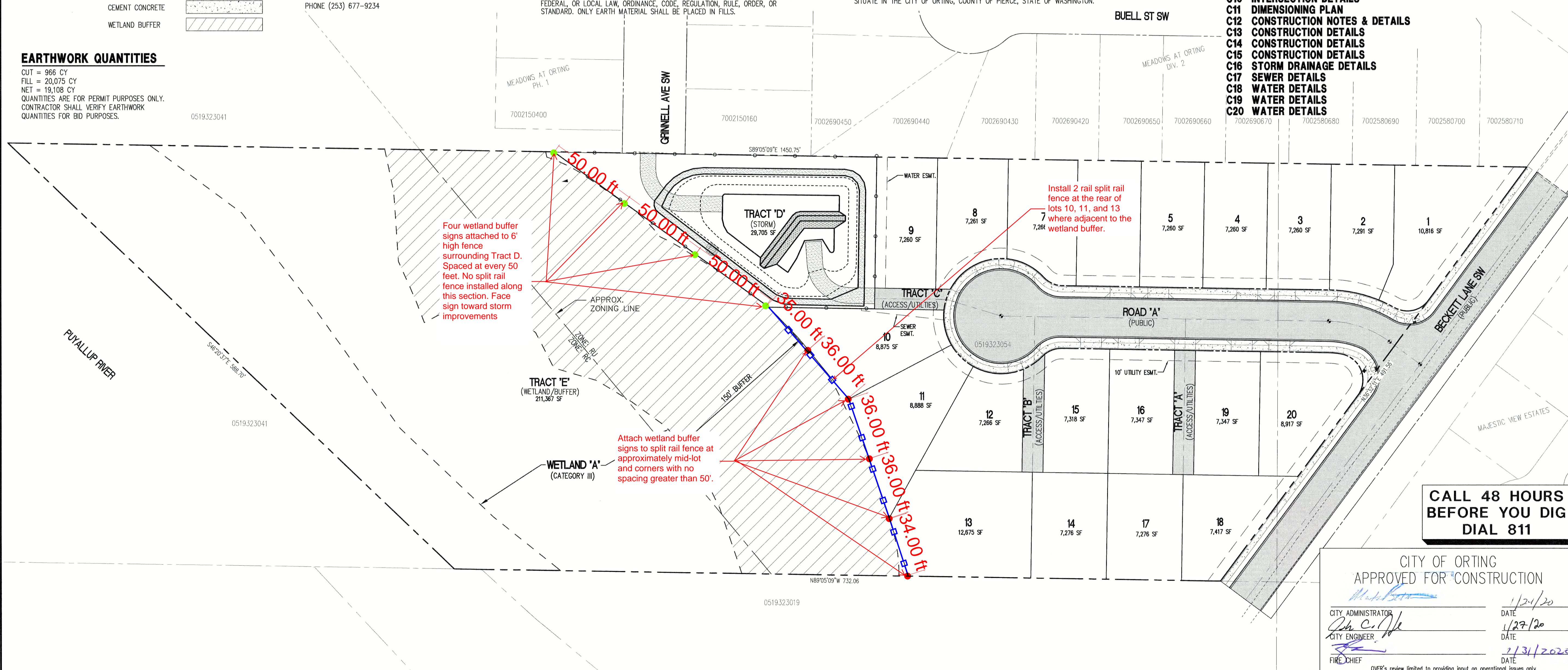
SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

EARTHWORK QUANTITIES

CUT = 966 CY
FILL = 20,075 CY
NET = 19,108 CY
QUANTITIES ARE FOR PERMIT PURPOSES ONLY.
CONTRACTOR SHALL VERIFY EARTHWORK QUANTITIES FOR BID PURPOSES.

SHEET INDEX

- C1 COVER SHEET
- C2 T.E.S.C. PLAN
- C3 TESC NOTES & DETAILS
- C4 ROAD 'A', TRACT 'D' ROAD & STORM PLAN & PROFILE
- C5 BECKETT LANE SW ROAD & STORM PLAN & PROFILE
- C6 STORM POND PLAN & SECTIONS
- C7 STORM POND DETAILS
- C8 ROAD 'A', TRACTS 'A', 'B', & 'D' WATER & SEWER PLAN & PROFILE
- C9 BECKETT LANE SW WATER PLAN & PROFILE
- C10 INTERSECTION DETAILS
- C11 DIMENSIONING PLAN
- C12 CONSTRUCTION NOTES & DETAILS
- C13 CONSTRUCTION DETAILS
- C14 CONSTRUCTION DETAILS
- C15 CONSTRUCTION DETAILS
- C16 STORM DRAINAGE DETAILS
- C17 SEWER DETAILS
- C18 WATER DETAILS
- C19 WATER DETAILS
- C20 WATER DETAILS



CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

1/24/20
DATE

1/27/20
DATE

2/3/2020
DATE

CITY ADMINISTRATOR
CITY ENGINEER
FIRE CHIEF

DESIGNED: FBB
DRAWN: JEH
CHECKED: CAD

SCALE: 1"=50'
DATE: 12.27.2019
JOB NO.: 17171

SHEET NO.: **C1**

1 of 20 Sheets

Project: MEADOWS AT ORTING SOUTH COVER SHEET

Client: COPPER RIDGE LLC

P.O. BOX 73790, PUYALLUP, WA 98373

253-677-9234

Revision: No. _____

Address Comments: _____

Int. _____

Date: 12/27/19

Professional Engineer Seal: FREDRICK B. BECKEN, No. 35710, Registered Professional Engineer, State of Washington, License No. 1-23-2020

C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

Bus: (253) 848-4282
Fax: (253) 848-4276
ceservices@cesnwinc.com

429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360

Phone: (360) 893-2219 FAX: (360) 893-6809

www.cityoforting.org

State Environmental Policy Act (SEPA)
Mitigated Determination of Non-Significance
Copper Ridge/Meadows 4 Preliminary Plat (PP-2018-01)
RE-ISSUE

The City of Orting has completed an environmental analysis, including review of pertinent and available environmental information and preparation of an Environmental Checklist for the following proposal:

Description of Proposal: The applicant has requested preliminary plat approval of the below referenced parcel into 20 single-family residential lots, a new public road (Road A), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E).

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The proposed single family lots range from 7,260sf to 12,884sf with a proposed net density of 5.53 dwelling units per acre. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be accessed by two access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban Low.

Location of Proposal: The proposal is located at 403 Beckett Lane SW, Orting Washington 98360. Pierce County Parcel Number 0519323054.

Lead Agency: City of Orting, Washington

Agency Contact: Emily Terrell, AICP, City Planner, eterrell@cityoforting.org, 360.893.2219 Ext. 142

Applicant: Craig Deaver, Principal, CES NW Inc., 310 29th Street, NE, Suite 101, Puyallup, Washington

Environmental Determination: The City of Orting has determined that this proposal will not have a probable significant adverse impact on the environment. Pursuant to WAC 197-11-350(3), the proposal has been clarified, changed, and conditioned to include necessary mitigation measures to avoid, minimize or compensate for probable significant impacts. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist, comments by the public and other entities, and other information that is available upon request. The necessary mitigation measures are listed below, and the Environmental Checklist is attached.

Supporting Information: Information used to reach this determination and applicable State and City policies, regulations and procedures are available for public review at the City of Orting, 110 Train Street, Orting, Washington.

Mitigating Conditions: The following mitigation conditions are required for project approval.

1. The project shall conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.
2. The applicant shall post a landscape maintenance bond pursuant to OMC 13-5-2(H) and (I) for all perimeter landscaping, landscaping around the proposed storm pond and for all street trees.
3. The applicant shall create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plan material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.
4. The Stormwater Pond shall be fenced with a six-foot-tall fence.
5. The applicant is prohibited from developing more than 30% impervious surfaces on the gross site area.
6. The applicant shall install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N.
7. The applicant shall install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O).
8. The applicant shall post a performance bond to assure that the wetland buffer fence is maintained (SMP 5.07.A.03.P).
9. The 8-inch watermain shall be looped with the existing system, likely extending to Grinnell Ave SW. Final design shall be approved by the City Engineer prior to issuance of civil permits.

Comment Period: The comment period for this Environmental Determination is 14 days from the date of issuance noted below (WAC 197-11-502). If significant comments are received, the City may

issue a revised SEPA determination. If the City issues a revised determination, the City will re-open a new 14-day comment period.

Appeals: The City of Orting's environmental determination may be appealed by filing an application with the Orting City Planner within ten (10) days of the end of the final SEPA comment period pursuant to OMC 15-14-7-5-G.

Responsible Official:



Mark Bethune, City Administrator



Date

OFFICE OF THE HEARING EXAMINER

CITY OF ORTING

REPORT TO THE CITY COUNCIL

PROJECT Copper Ridge/Meadows 4 Preliminary Plat and Variance (PP-2018-1)

APPLICANT: Craig Deaver CES NW Inc.

LOCATION OF PROPOSAL: 403 Becket Lane SW, Orting

SUMMARY OF REQUEST

The applicant requested two items: first, preliminary plat approval of a parcel into 20 single family residential lots including a new public road (Road A), three access tracts. (Tracts A, B, and C), a storm tract (Tract D) and a wetland with buffer (Tract E) and second, two related variances. The first is a setback variance for Lot 18, reducing the 25' front setback to 8' along Beckett Lane SW and the second would be to allow the perimeter landscaping on this lot to fit within the requested reduced setback. The applicant has proposed a fence on the inside of the perimeter landscaping to enhance screening. A more detailed analysis of the request is provided in the City of Orting Staff report and recommendation dated March 26, 2019, attached as Exhibit 1.

PUBLIC HEARING

A public hearing was held on April 11, 2019. The public comment period ended on August 1, 2018. During that period, comment was received and reviewed from residents from a nearby development, the Puyallup Tribe, Pierce County, the Department of Ecology and the Department of Fish and Wildlife. Issues of traffic congestion and water accumulation were raised and addressed by the city representatives and the developer.

The hearing convened at the City of Orting Multi-Purpose Center located at 202 Washington Avenue South, Orting, Washington, on April 11, 2019. Present were the applicant, City of Orting staff and three members of the public.

Testimony was taken at the hearing from the applicant, the city staff and members of the public and Vicky Bishop, who described the scope of the anticipated residence.

PRELIMINARY PLAT APPROVAL

1. OMC section 12-5-3 describes the review criteria for the approval of a preliminary plat. In most instances, the City Planning Commission would

review the application and make a recommendation to the City Council. However, because this hearing also includes an application for a variance, which is within the provenance of the City Hearing Examiner, the recommendation on both issues will be made by the Hearing Examiner.

2. The issues to be considered when reviewing a preliminary plat application are:
 - A Whether the proposed plat conforms with State and Municipal law.
 - B Whether provisions have been made for public health, safety, general welfare, open spaces, drainageways, streets, alleys or other public ways, transit stops, water supplies, sanitary waste disposal, parks and recreation, playgrounds, schools, sidewalks and other items to assure safe walking conditions for students.
 - C Whether the general public interest will be served by the plat.
 - D Whether the plat is in conformity with zoning ordinances, the existing comprehensive plan or other land use controls.
 - E Whether roads are properly dedicated, with appropriate deeds and title reports or marked private
 - F That there be appropriate provision for public improvements or impact fees.
 - G That in lieu of completion of any required component, an appropriate performance bond may substituted.

- 3 The City Staff report has addressed each of these issues.
 - A That the proposal is in conformity with all applicable zoning requirements, the comprehensive plan and any other existing land use requirements or controls.
 - B That a new public road will be constructed to city standards and will be dedicated to the city and properly documented, that all lots will be appropriately accessed, that an appropriate waiver of damage claims will be obtained.
 - C That the applicant will pay appropriate impact fees for streets.
 - D That in lieu of a park, the applicant will pay appropriate park impact fees.
 - E That the applicant is posting a bond for maintenance of perimeter landscaping, wetland delineation and fencing.
 - F That appropriate provisions have been made to address items described in Section 2 A-C above.

VARIANCE

The following criteria are to be examined before a variance is granted:

- 1 That there are special circumstances applicable to the subject property that do not apply generally to other properties in the same vicinity or zone.
- 2 That the variance is necessary for the preservation and enjoyment of a substantial property right or use enjoyed by other properties in the same vicinity or zone which, because of special circumstances, this property does not enjoy.
- 3 That granting the variance will not be materially detrimental to the public welfare or injurious to other properties in the area.
- 4 That the comprehensive plan will not be adversely affected.

The City Staff has addressed each of these items.

- 1 There are special circumstances. The developer is placing a fewer number of homes on this site than might otherwise occur, occasioned by the existing wetlands and buffer area. Without this variance, the developer would lose one additional lot for a home site. Without the variance, which reduces setback, the effective area of the lot will make building a home unfeasible.
- 2 The applicant has a substantial property right in the ability to develop the property to its maximum potential. The applicant has already suffered a significant loss of building potential because of the wetland and buffers and it is appropriate to minimize further property right loss.
- 3 As mitigated, the variance will not be detrimental to public welfare. Appropriate requirements for perimeter landscaping and fencing will minimize any detrimental effects caused by a new development in the city.
- 4 Nothing in the proposal adversely affects the comprehensive plan in place for the city.

City Staff has recommended the approval of both the Preliminary Plat and the variances.

RECOMMENDATION TO THE COUNCIL

After reviewing all of the application material, conducting a site visit and conducting a public hearing, the Hearing Examiner adopts the recommendations of city Staff as detailed on Exhibit 1, and recommends to the council that the Preliminary Plat be approved and the variances be granted. I am cognizant of concerns raised about traffic congestion and area flooding and believe that the city has addressed those issues, both in the requirements set forth for this plat as well as other aspects of city planning in such a way that those concerns are mitigated appropriately. I am also cognizant that other residents in the area may feel that some of their territorial views will be affected, but there is no view easement or other requirement in place for the city to address those issues. By definition, areas of Urban Residential Zoning have neighboring homes affecting views and in my opinion, the city staff recommendations as

well as the plan of the developer do as much as is practical to address or minimize any negative effects. I do not believe that the project will be detrimental to the public or detrimental to other properties in the area.

Dated this 30th day of April, 2019.



ANTONI H. FROEHLING
Hearing Examiner



City of

ORTING WASHINGTON

Small Town,
Big View

Staff Recommendation

Project Name: Copper Ridge/Meadows 4 Preliminary Plat and Variance (PP-2018-01)

Applicant: Mr. Craig Deaver
Principal CES NW Inc

Puyallup, WA 98373

Project Address: 403 Beckett Lane SW
Orting, WA 98360

Site Legal Description: APN 0519323054

Date of application: June 13, 2018

Date of Notice of Complete Application: July 10, 2018

Date of Staff Report: March 26, 2019

Date of Public Hearing: April 11, 2019

City Staff Contacts: Emily Terrell, AICP City Planner JC Hungerford, PE City Engineer

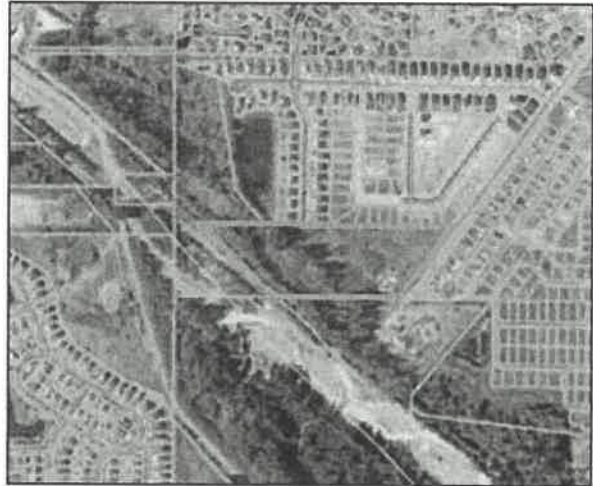
Requested Approvals: Preliminary Plat Subdivision Approval & SEPA Environmental Review

Staff Recommendation: Approval Subject to Conditions

Public Comment Period: The public comment period ended August 1, 2018 at 5:00 pm. Public comment was received from Smith (Ex. 14), the Residents of Meadows in Orting (Ex. 15), and Lisa Coville via phone. Public comment was also received from the Puyallup Tribe, Pierce County, the Department of Ecology and the Department of Fish and Wildlife.

SEPA Determination: The SEPA Responsible Official issued a Determination of Non-Significant Impact – Mitigated was published on January 9, 2019. The Appeal period ended January 30, 2019. No appeal was filed.

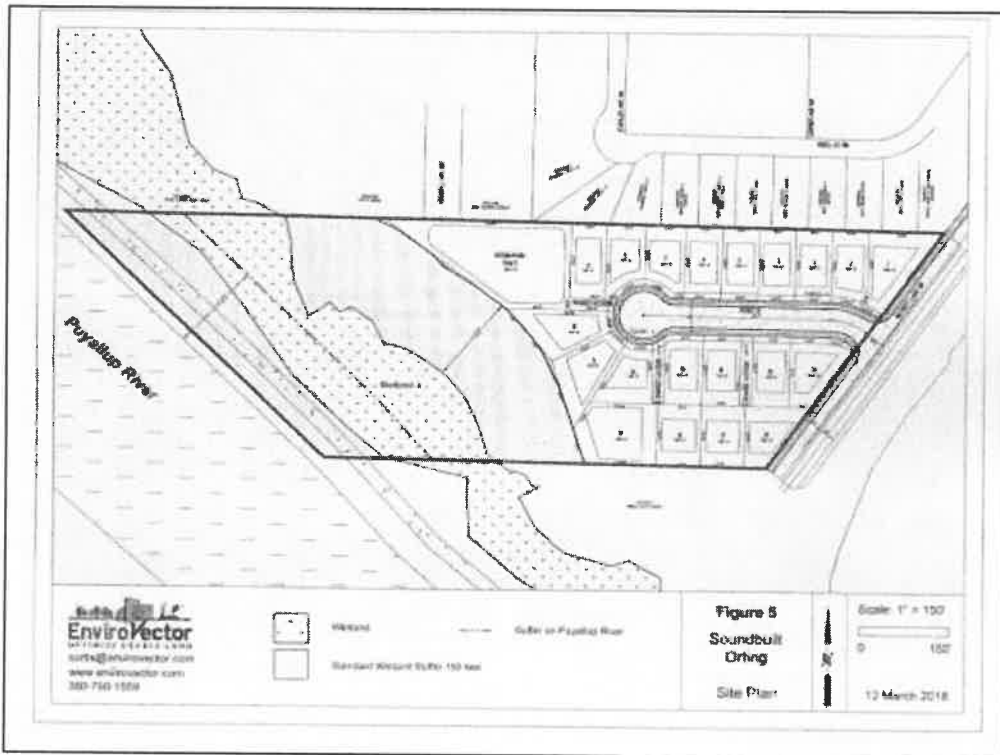
Public Notice: Notice of the Land Use Application and Notice of the Hearing were separately mailed to property owners within 500 feet of the property, posted on site



and at City Hall, and published in the newspaper of record for a minimum of 14 days each.

Exhibits:

1. Staff Report
2. Project Narrative by C.E.S. NW Inc (March 14, 2018)
3. City of Orting Development Permit Application (June 13, 2018)
4. Legal Descriptions for APN 0519323054
5. Title Report for APN 0519323054 (January 23, 2018)
6. Response to Reviewer's Comments (April 20, 2018)
7. Lot Closure Calculations by C.E.S. NW Inc.
8. SEPA Checklist (March 14, 2018, revised May 31, 2018)
9. Geotechnical Engineering Study by Earth Solutions NW (February 5, 2018, revised April 24, 2018)
10. Critical Areas Report by EnviroVector (March 14, 2018, revised June 8, 2018, revised February 19, 2019)
11. Preliminary Storm Drainage Report by C.E.S. NW Inc (March 2018, revised April 2018)
12. Topographic Survey by C.E.S. NW Inc (January 30, 2018, revised May 2, 2018)
13. Preliminary Plat Site Plat by C.E.S. NW Inc (March 1, 2018, revised April 25, 2018)
14. Comment Letter by Brittnee and Chris Smith (August 2, 2018)
15. Comment Letter by the Residents of Meadows in Orting (July 29, 2018)
16. Traffic Report by Heath and Associates (November 2018)
17. Landscape Plan by Bradley Design Group (December 2018)
18. SEPA MDNS (January 9, 2019)
19. Email from Elizabeth Bockstiegel of WA DFW (February 5, 2019)
20. Comment letter from the Department of Ecology (February 8, 2019)
21. Comment letter from Pierce County (January 30, 2019)



Findings of Fact

1. Project Description:

The applicant has requested preliminary plat approval of the above referenced parcel into 20 single-family residential lots, a new public road (Road A), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E). The applicant has further requested two related variances. The applicant has requested a setback variance for Lot 18 from the required 25-foot front yard setback along Beckett Lane SW to an 8-foot (OMC 13-5-1-C Table 1 and OMC 13-5-1-C-1). Lot 18 is a through lot pursuant to OMC 13-5-1-C-4, which without the requested variance would require a 25-foot landscaped perimeter and right of way setback. The applicant has requested a further variance to OMC 13-5-2-E-1 to allow the perimeter landscaping on this lot to fit within the requested reduced setback. The applicant has proposed a fence on the inside of the perimeter landscaping to enhance screening.

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The proposed single family lots range from 7,260sf to 12,884sf with a proposed net density of 5.53 dwelling units per acre. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be

accessed by two access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban Low.

2. Adequacy of Infrastructure/Public Services. The project will be served by adequate infrastructure and public services as follows:

A. Water & Sewer Service

The City of Orting will provide water and sewer services. City of Orting Public Works staff indicate there are adequate facilities to serve the proposed development. The proposal has been designed in accordance with the City of Orting Development Standards Special Provisions and Standard Details (Revised July 2013).

The proposed sanitary sewer service will be via an 8-inch main that will gravity feed down to the existing main located at the southern end of Grinnell Avenue Southwest. Each proposed sewer stub for every lot will gravity feed to the main located within Road A. The applicant has proposed the installation of six sanitary sewer manholes (3 within Road A, one at the western end of access Tract C and one at the northeastern corner of the storm pond within Tract D and one within the property boundaries adjacent to the terminus of Grinnell Lane SW. The proposal conforms with the City of Orting Development Standards, Drawings No. S-1A through S-9, as required.

The applicant is proposing to extend the existing 8-inch water main along the entire project frontage of Beckett Lane SW. Thrust blocking will be installed at the southern extent of this water main. An intersecting 8-inch water main with thrust blocking will be installed along the length of Road A. Water valves will be installed for each lot at the corner markers between each adjacent lot and 1 ½-inch or 2-inch lines will be extended down each Access Tract (Tracts A, B and C). The proposal conforms with City of Orting Development Standards, Drawing Nos. W-1A, 1B, W-3, W-6 to W-18B, as required. A SEPA Mitigation measure will require the 8-inch watermain to be looped with the existing system, likely extending to Grinnell Ave SW.

The applicant will offset impacts to the City's sewer and water system through payment of General Facility Charges and Facility Enhancement Fees.

These fees are due at the time of building permit issuance. The current water General Facility Charge is \$4,267.97 per Equivalent Residential Unit (ERU). The current 1% Water Facility Enhancement Surcharge is \$42.65 per ERU. The current Sewer General Facility Charge is \$ \$9,198.73 per ERU with a 1% Wastewater Facility Enhancement Charge of \$91.69 ERU.

B. Police & Fire Protection

Police staff did not respond to the request for review. City staff assume there is adequate police services to serve the development. The Orting Valley Regional Fire Department indicated there are adequate fire and emergency services to serve the development. The applicant is proposing a cul-de-sac along Road A to allow for a fire truck turn around. The cul-de-sac, as proposed, does not meet the City's requirements. Therefore, a SEPA mitigation measure will require the applicant to redesign the proposed cul-de-sac to meet City of Orting Standard Details T-8A, T-8B, and T-8C. None of the access tracts is longer than 150' and therefore do not require hammerhead turn arounds (City of Orting Development Standards, Drawing Nos. T-7 and T-8B). A fire hydrant will be installed to City standards on the north side of Road A (City of Orting Development Standards, Drawing No. W-4A, 4B, 4C, W-5 and W-19, as required).

C. Drainage

Lisa Colville expressed concern about drainage from the development. The applicant provided a preliminary storm drainage report prepared by CES NW (Ex. 11). As proposed, the project will provide adequate storm drainage facilities and comply with Department of *Ecology Stormwater Management Manual for Western Washington*, Volumes I-V. The applicant is proposing installation of a storm drainage line extending from a storm drain catch basin within Beckett Lane SW from the southern project boundary to meet with another catch basin located at the intersection with Road A. From there, the storm drain line will extend along the northern boundary of Road A with three catch basins located in Road A. The storm drain line will then extend to a storm drain manhole located at the edge of the stormwater pond adjacent to the western terminus of Tract C. The storm drainage will be routed to a 30,275sf storm pond (Tract D) before being discharged via another storm line and storm drain manhole located at the northwestern corner of the storm pond. All storm drainage will ultimately flow into the wetlands adjacent to the Puyallup River along the western boundary of the subject parcel. The storm drainage facilities are designed to conform to City of Orting Development Standards, Drawing Nos. D-1A to D-6, as required.

A SEPA Mitigation Condition will require the project to conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.

A SEPA Mitigation Condition will require the applicant to provide a six-foot-tall fence surrounding the storm pond.

The applicant will offset impacts to the City's Drainage System through the payment of General Facility Charges and a Stormwater Surcharge. These fees are due at the time of building permit issuance. The current Storm General Facility Charge is \$1,022.56 per ERU. The current 1% Stormwater Surcharge is \$10.23 per ERU.

D. Parks/Open Space

Several residents expressed a desire to see a park in the development. The first three phases of the Meadows at Orting do not include any park space, whereas other subdivisions in the city do have parks (Ex. 15). Residents expressed an interest in seeing a park in this phase of the development. The City of Orting requires developers to either provide park land at the rate of 980 sf/household or pay a Park Impact Fee. No land for park dedication is proposed in the development. The applicant will offset the increase in usage for public parks through the payment of a Parks Impact Fee per OMC 13-6-7(B) Table 15-6-2. The impact fee is due at the time of building permits. The Park Impact fee is currently \$830 per dwelling unit.

The subject parcel is partially within the Residential Conservation zone. It is encumbered with wetlands and is within the Shoreline Master Program shoreline jurisdiction. The gross site area is 436,071sf (10.01 acres). The wetland and buffer (Tract E) will be 211,367sf (4.85 acres) or 48% of the gross land area. Therefore, significant open space will be provided.

E. Streets

The Smiths and the Residents at Orting Meadows all expressed concern about the traffic into and out of Orting (Ex. 14 & 15). Traffic delays on SR 162 are a daily issue with an ever-increasing amount of traffic. Some of this traffic is bound for Orting. Other traffic is through traffic to neighboring towns and to developments built in the County. Traffic outside of the Orting City limits is not subject to concurrency. State routes are exempted from local concurrency. Therefore, the issue of regional traffic is not a subject of this application.

The applicant provided a Traffic Report prepared by Heath and Associates (November 2018) (Ex, 16). The applicant will offset impacts by paying the City's Traffic Impact Fee and providing half street improvements along Beckett Lane SW.

Beckett Lane SW is a northeasterly-southwesterly, two-lane road with a posted speed limit of 25 mph. The cross section of the road is 44-wide travel lanes with sidewalks, curbs and gutter. Parking is allowed on the south side of the street near the project.

The new Road A will intersect at an approximate 90-degree angle with Beckett Lane SW. It would be desirable to have Road A connect to Grinnell Avenue SW at its present southern terminus. This would create looped roads and allow for additional access points for the subdivision phase to the north. However, there is insufficient space within the lot to allow for the connection without impacting the onsite wetlands or buffers.

The project is creating a net new 19 units and replacing an existing unit. Health and Associates estimates the development will result in 19 new PM Peak Hour Trips and a total Average Daily Trips of 179 trips. The applicant will offset impacts to the City's transportation system through payment of a Transportation Impact Fee. This fee is due at the time of building permit issuance. The current Transportation Impact Fee is \$2,149 per PM peak hour trip.

F. Access

The proposed lots will be served by a new public road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be accessed by two private access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. The half street improvements along Beckett Lane SW, Road A and the three Access Tracts will be designed to comply with City of Orting Development Standards, Drawing Nos. T-1A through T-2B, T-5A through T-5B, and T-8B, T-8D, T-9-T-10, and T-12, as required.

G. Sidewalks

Sidewalks and landscape strips will be provided along the project frontage at Beckett Lane SW as well as both sides of Road A. No sidewalks will be provided for the Access Tracts. The sidewalks along Beckett Lane SW will connect to existing sidewalks at the north property boundary. Sidewalks and planter strips will be designed to conform to City of Orting Development Standards, Drawing Nos. T-3B through T-4C.

H. Transit

There are no transit services available in the City of Orting. None are proposed by the development. Given the lack of transit services, no provisions for transit access are required.

I. Landscaping

The applicant submitted a Landscape Plan prepared by the Bradley Design Group (December 2018) (Ex. 17). The plan demonstrates a mix of trees, shrubs and ground covers and corresponding irrigation as required by OMC 13-5-2(C).

The Orting Municipal Code requires a perimeter buffer around all new subdivisions. This buffer must retain significant trees (OMC 13-5-2-(D)). The applicant does not intent to retain any of the existing trees on site within the development area. The applicant is providing a wetlands buffer that will retain all existing vegetation from the development area west to the Puyallup River.

Pursuant to OMC 13-5-2(E), the applicant has provided perimeter landscaping with a mix of evergreen trees and shrubs. The applicant has also proposed a six-foot solid fence on the portions of the plat proposed for residential development. Given the full plat contains wetlands, buffers and shoreline areas that are greater in width than the development portions, the fence will be less than 50% of the total width of the plat (OMC 13-5-2(E)(2)(c)).

The landscape plan relies on the adjacent homeowners to irrigate and maintain the perimeter landscaping along both Road A and the Beckett Lane SW right of way. Therefore, a SEPA Mitigating Condition will require the applicant to post a maintenance bond pursuant to OMC 13-5-2(H) and (I). A further SEPA Mitigating Condition will require applicant to create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plant material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.

J. Parking

All residential dwellings are required to have two off-street parking spaces per unit. These spaces must be at least 160sf in area exclusive of access drives or aisles. The width may not be less than 8 feet. Each space must have adequate provision for ingress and egress. The application does not include building footprints. There is adequate area on each lot to meet the parking requirement. The City will require the applicant to demonstrate adequate off-street parking for each lot at the time of building permit review.

K. Schools

The Smiths and the Residents at Orting Meadows (Ex. 14 & 15) each expressed concerns about the impacts to the Orting School District. District schools are already overcrowded. However, the last two levy measures failed. The City of Orting is a pass-through entity for the District's school impact fees. The proposed development will add 19 new single-family homes. These homes will be serviced by the Orting School District. Impacts to the school district will be offset by payment of school impact fees based on the Fee Schedule in OMC 15-6-7 Table 16-6-1. Effective February 13, 2007, the maximum fees for single-family dwelling units is \$2,780 per unit.

3. Adverse Impacts. As conditioned and mitigated, no adverse impacts are anticipated resulting from the proposed project. Specific issues are addressed below.

A. Shoreline

The project site abuts the Puyallup River. Portions of the site lie within the Urban Conservancy area of the Orting Shoreline Master Program. Shoreline development is proposed within 300 feet of a shoreline jurisdictional wetland (SMP 5.07.A.03.C). Therefore, the applicant provided a wetlands analysis prepared by EnviroVector (Ex. 10). No development is proposed within the wetlands or buffers (SMP 5.07.A.03.D). The wetlands and buffers are proposed to be maintained within their natural condition (SMP 5.07.A.03.G).

The development will be farther than 150 feet from the Ordinary High Water Mark of the Puyallup River and should not impact anadromous fish habitat (SMP 5.07.B.03.C). No parking facilities are proposed within the shoreline jurisdiction (SMC 5.08).

Though public access is required by the Orting Shoreline Master Program, providing public access in this location is infeasible given the entire frontage

to the shoreline area is impacted by wetlands and buffers. Therefore, the staff recommend the applicant not be required to provide public access pursuant to SMP 5.09.03.B.1 and J.

As noted in the Drainage section above (Finding of Fact 2C), the development will comply with the City's adopted stormwater standards (SMP 5.12.03.A). No development will occur within the floodplain. As noted in Finding of Fact No. 1, on September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain. No shoreline protection measures or bulkheading will be required to create the new residential lots (SMP 6.07.04.B). As noted above, the staff is recommending the commission exempt the application from the requirements for providing shoreline access due to the presence of extensive wetlands and buffers between the development and the shoreline (SMP 6.07.04.C). All setbacks have been shown on the plat (SMP 6.07.04.D and E). No development is proposed in wetlands, floodways, geologically hazardous areas or over water (SMP 6.07.04.F).

A SEPA Mitigating Condition will require the applicant to install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N. An additional SEPA Mitigating Condition will require the applicant to install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O). Finally, a SEPA Mitigating Condition will require the applicant to post a performance bond to assure that the fence is maintained (SMP 5.07.A.03.P).

A SEPA Mitigating Condition will prevent the applicant from developing the lots with more than 30% impervious surfaces based on the gross area of the full plat. No development will occur within 150 feet of the OHWM. The underlying zoning restricts the height of any building to 35 feet (SMP 6.07.05).

The new roads and utilities will not extend into the shoreline environment (SMP 6.09.03 and 6.10.03).

B. Wetlands

As proposed, no impacts to wetlands are anticipated. The applicant provided a critical areas report prepared by EnviroVector (Ex. 10). There is one jurisdictional wetland located on the western portion of the subject property. This wetland connects to the Puyallup River hydrologically through a channel on the southern portion of the subject property. The wetland is physically separated from the river by a levy and road. Wetland A is a total of 12.69 acres. Of this 77,220sf (1.77 acres) is on the subject site. Wetland A is a Category II wetland with a required buffer of 150 feet. No development is proposed in the wetland or within the required buffer. Several recommended conditions of approval relate to the buffer protection as noted above in Finding of Fact No. 3A.

C. Views

A chief concern of all the public commenters was views. The residents of Buell Street SW paid a premium fee for their lots because they had unobstructed views of Mount Rainier and the farmland to the south. They were told there would be no further phases for the Meadows and that the land to the south would remain open space. The subject property has two parcels. One is zoned Residential Conservation (RC). This zone has a lot size of two acres. Additionally, this area is predominately within the Shoreline Master Program jurisdiction and is completely encumbered by wetlands and their buffers. This portion of the subject parcel will not be developed. The other parcel is zoned Residential Urban with a density of 6 du/acre. This area is proposed for a total of 20 homes including the demolition and replacement of an existing home.

The City of Orting does not have any specific requirements for preservation of views. The development is in conformance with the requirements of the Residential Urban zone and will meet with the height and density requirements of that zone. There are no further actions the City can require with respect to the concerns expressed by the public with respect to views. The City was not party to any sales of the prior phases and will not be party to the sales within this phase and therefore cannot comment on the issues raised by the public with respect to premium lots or the value of the adjacent housing. The development, as mitigated, is in conformance with the Orting Municipal Code and, as noted in Finding of Fact No. 4, is consistent with the Orting Comprehensive Plan.

D. Compatibility

Two issues brought up by adjacent homeowners (Ex. 14 & 15) were privacy and compatibility. With respect to privacy, neighbors noted they had purchased lots they thought would not have adjacent homes. As noted in Finding of Fact No. 3C, the development, as proposed, will conform to the Orting Municipal Code and the Orting Comprehensive Plan. The development will be consistent in use, intensity, appearance and density to adjacent residential development. As the zoning implements the Comprehensive Plan and the development as mitigated will conform to the zoning code, the development will be compatible with surrounding uses. With respect to privacy, each lot will conform to the appropriate front, rear and side yard setbacks. The applicant has proposed perimeter landscaping and fencing next to adjacent residential uses as described in Finding of Fact 2I.

E. Hazards

There are no discernable hazards presented by the proposal. The applicant will be required to provide a temporary erosion and sediment control plan as well as best management practices for construction spills. Ms. Smith noted that traffic is such that evacuation in the event of a lahar will be difficult. She suggested this is a justification for limiting development. The City of Orting is working on plans for a lahar evacuation bridge. As noted in Finding of Fact 2E, the City cannot control or influence traffic on state routes. We are required by the Growth Management Act to permit development that is in conformance with our zoning codes and Comprehensive Plan. As noted

above in Finding of Fact No. 3C, this proposed development, as mitigated, meets these criteria.

4. Consistency with Comprehensive Plan. The project is consistent with the following policies of the Orting Comprehensive Plan.

- Pol. LU 5.2** The Residential Urban (RU) land use category is intended for areas that are suitable for residential development with the provision of full services. It includes existing exclusively residential subdivisions that have been platted at an average density of six units per acre. The maximum density of development in the RU district shall be six units per acre except that one additional unit may be allowed on a lot that is at least 150% larger than the minimum lot area.
- Pol. LU 5.6** Ensure that the City's development regulations require new development to be in the best interest of the surrounding property, the neighborhood, or the City as a whole, and generally in harmony with the surrounding area.
- Pol. LU 5.7** Planning Commission review of residential developments should be focused on the height of structures, noise and lighting impacts and providing adequate open space.
- Pol. LU 11.1** All development activities shall be located, designed, constructed and managed to avoid disturbance of and minimize adverse impacts to fish and wildlife resources, including spawning, nesting, rearing and habitat areas and migratory routes.
- Pol. LU 11.2** Prohibit the unnecessary disturbance of natural vegetation in new development, in accordance with the Critical Areas Ordinance.
- Pol. LU 11.4** Seek to retain as open space wetlands, river and stream banks, ravines, and any other areas that provide essential habitat for endangered or threatened plant or wildlife species.
- Pol. LU 11.5** Protect wetlands to enable them to fulfill their natural functions as recipients of floodwaters and as habitat for wildlife through the critical areas ordinance.
- Pol. LU 11.8** The City shall consider the impacts of new development on water quality as part of its review process and require any appropriate mitigating measures. Impacts on fish resources shall be a priority concern in such reviews.
- Pol. LU 11.9** The City Shoreline Master Program shall govern the development of all designated Shorelines of the State within Orting. Lands adjacent to these areas shall be managed in a manner consistent with that program.
- Pol. LU 13.1** Coordinate new development with the provision of an adequate level of services and facilities, such as schools, water, transportation and parks, as established in the capital facilities element.
- Pol. LU 13.2** Ensure that new development does not outpace the City's ability to provide and maintain adequate public facilities and services, by allowing new development to occur only when and where adequate facilities exist or will be provided.

- Pol. LU 13.3** The City will coordinate concurrency review. Developers shall provide information relating to impacts that the proposed development will have on public facilities and services. The City shall evaluate the impact analysis and determine whether the development will be served by adequate public facilities.
- Pol. H 1.7** Accommodate Orting's fair share of the County's housing needs through the designation of adequate residential land for development and the achievement of the city's housing policies.
- Pol. T 15** Require safe, attractive sidewalks on all new streets. Implement a program to improve pedestrian and bicycle use of existing streets.
- Pol. T 30** Maintain and apply standardized transportation impact mitigation procedures and strategies.
- Pol. CF 3.1** Development shall be allowed only when and where all public facilities are adequate and only when and where such development can be adequately served by essential public services without reducing levels of service elsewhere.
- Pol. CF 3.5** A development shall not be approved if it causes the level of service on a capital facility to decline below the standards set forth in CF Policy 3.3 and 3.4, unless capital improvements or a strategy to accommodate the impacts are made concurrent with the development for the purposes of this policy. "Concurrent with the development" shall mean that improvements or strategy are in place at the time of the development or that a financial commitment is in place to complete the improvements or strategies within six years.
- Pol. CF 3.7** Require that development proposals are reviewed by the various providers of services, such as school districts, sewer, water, and fire departments, for available capacity to accommodate development and needed system improvements.
- Pol. CF 3.8** New or expanded capital facilities should be compatible with surrounding land uses; such facilities should have a minimal impact on the natural or built environment.
- Pol. CF 8.3** The City should require new development to provide onsite storm drainage and all off-site improvements necessary to avoid adverse downstream impacts.

Conclusions of Law

1. Authority

Pursuant to OMC 15-4-1, Tables 15-4-1 and 15-4-2, Preliminary Plats are Type IV land use decisions determined by the City Council after an open record hearing. Variances are Type III decisions by the Hearing Examiner. Generally, the Planning Commission holds an open record hearing on a preliminary plat and makes a recommendation to the City Council. However, in this case, the jurisdiction is the Hearing Examiner because of the Type III Variance request (OMC 15-4-2-B). Therefore, the Examiner will make a recommendation to the City Council. The City Council will hold a closed record hearing before issuing

a final decision. The final decision of the City Council may be appealed to the Pierce County Superior Court (OMC 15-10-6).

2. Review Criteria

OMC 12-5-3 governs the review criteria for approval of preliminary plats. OMC 13-6-3-C governs the review criteria for Variances. The review criteria are quoted below in italic and applied through the corresponding conclusions of law.

A. Preliminary Plat Approval Criteria

OMC 12-5-3: Criteria for Approval:

The planning commission shall make an inquiry into the public use and interest proposed to be served by the establishment of the subdivision and/or dedication, shall hold an open record public hearing, and shall consider:

A. Conformity: Whether the preliminary plat conforms to chapter 8 of this title and with title 15 of this code;

B. Specific Provisions: If appropriate provisions are made for, but not limited to, the public health, safety and general welfare, for open spaces, drainageways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school; and

C. Public Interest: Whether the public interest will be served by the subdivision and dedication.

OMC 12-8-1: General Requirements for Approval of Subdivision:

In addition to the criteria for approval applicable to an individual application, all subdivisions must meet the following general requirements in order to be approved:

A. Land Use Controls: No subdivision may be approved unless written findings of fact are made that the proposed subdivision or short subdivision is in conformity with any applicable zoning ordinance, comprehensive plan or other existing land use controls.

B. Dedications; Generally:

1. An offer of dedication may include a waiver of right of direct access to any street from any property, and if the dedication is accepted, any such waiver is effective. The city may require such waiver as a condition of approval.

2. Roads not dedicated to the public must be clearly marked "private" on the face of the plat.

3. Any dedication, donation or grant as shown on the face of the plat shall be considered to all intents and purposes, as a quitclaim deed to the said donee(s) or grantee(s) for his/her/their use for the purpose intended by the donor(s) or grantor(s).

4. If the plat or short plat is subject to a dedication, the certificate or a separate written instrument shall contain the dedication of all streets and other areas to the public, and individual(s), religious society(ies) or to any corporation, public or private, as shown on the plat or short plat, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. Said certificate or instrument of dedication shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided and recorded as part of the final plat.

5. Every plat and short plat containing a dedication filed for record must be accompanied by a title report confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.

6. Dedication of land to any public body, provision of public improvements to serve the subdivision, and/or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be required as a condition of subdivision approval. No dedication, provision of public improvements or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be allowed that constitutes an unconstitutional taking of private property.

C. Dedication Of Public Park: The planning commission shall recommend naming of streets and parks within proposed subdivisions. If preliminary plats include dedication of land for public parks with areas greater than required for subdivision approval and the proponents request commemorative names, the planning commission shall consider such requests. The city council shall adopt the names as part of final plat approval.

D. Release From Damages: The city shall not as a condition to the approval of any subdivision require a release from damages to be procured from other property owners.

E. Flood, Inundation Or Swamp Conditions: A proposed subdivision may be disapproved because of flood, inundation, or swamp conditions. Construction of protective improvements may be required as a condition of approval, and such improvements shall be noted on the final plat. No plat shall be approved covering any land situated in a floodway as provided in Revised Code of Washington chapter 86.16 without the prior written approval of the state department of ecology.

F. Bonds: In lieu of the completion of the actual construction of any required improvements prior to the approval of a short or final plat, the planning commission or city council may accept a bond, approved as to form by the city attorney, in an amount and with surety and conditions satisfactory to it, or other secure method, providing for and securing to the city the actual construction and installation of such improvements within a period specified by the city and expressed in the bonds. In addition, the city may require the posting of a bond securing to the city the successful operation of improvements for up to two (2) years after final approval. All bonded improvements shall be designed and certified by or under the supervision of a registered civil engineer prior to the acceptance of such improvements.

B. Staff Response

- B.i. Conformity – Land Use Controls** As described in Finding of Fact No. 1-3, as mitigated and as conditioned, the proposed subdivision is in conformity with all applicable zoning requirements, the Orting Comprehensive Plan and other existing land use controls.
- B.ii. Conformity – Dedication of Roads** As noted in Finding of Fact No. 2F, the proposal will create a new public road built to City standards. The roadway will be dedicated to the City. Access to Lots 13-14, and 17-19 will be accessed by two private access tracts (Tracts A and B), respectively. The stormwater pond will be private and accessed via Tract C. All lots and Tracts will be directly accessible from the new private road. A recommended condition of approval will require the applicant to record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.
- The applicant provided a title report demonstrating ownership of the property. The plat will contain the signatures of all those with ownership interest in the property.
- As noted in Finding of Fact No. 2D, the applicant will pay impact fees for streets in accordance with the City’s adopted transportation improvement program, the City’s Comprehensive Plan, and OMC Title 15 Chapter 6.
- B.iii. Conformity – Dedication of Parks** As noted in Finding of Fact No. 2D, the applicant will pay park impact fees pursuant to OMC Title 15-6-7(B). The proposal does not include a public or private park dedication.
- B.iv. Conformity – Release from Damages** No release from damages from other property owners was required or will be required as a condition of approval.

- B.v. Conformity – Flood, Inundation or Swamp Conditions** As noted in Finding of Fact No. 1 and 3A, portions of the project site are located within the floodplain. However, all of the developable portion of the site is outside of the floodplain and not subject to Title 14 OMC Flood Control.
- B.vi. Conformity – Bonds** SEPA Mitigation Measures (Ex. 18) required the applicant to post bonds for maintenance of the perimeter landscaping and the wetland delineation fence. The City and applicant may agree to further bond conditions prior to final plat approval. Final plat approval will not be given until all required infrastructure is in place, inspected and approved or the applicant has posted an appropriate bond.
- B.vii. Specific Provisions** As noted in Finding of Fact No. 2, appropriate provisions have been made the public health, safety and general welfare (FOF No. 2B), for open spaces (FOF No. 2D), drainageways (FOF No. 2C), streets or roads, alleys, other public ways (FOF No. 2E-F), transit stops (FOF No. 2H), potable water supplies, sanitary wastes (FOF No. 2A), parks and recreation, playgrounds (FOF No. 2D), schools and school grounds (FOF No. 2K), and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school (FOF No. 2G).
- B.viii. Public Interest** As noted in Finding of Fact No. 4, the proposal implements the Comprehensive Plan for this zone which, therefore, serves the public interest.
- C. Variance Approval Criteria** **OMC 13-6-3-C Criteria for Approval:**
- Decision Criteria: Before any variance may be granted, it shall be shown:*
- 1. That there are special circumstances applicable to the subject property or to the intended use such as shape, topography, location, or surroundings that do not apply generally to the other property or class of use in the same vicinity and zone;*
 - 2. That such variance is necessary for the preservation and enjoyment of a substantial property right or use possessed by other property in the same vicinity and zone but which because of special circumstances is denied to the property in question;*
 - 3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvement in such vicinity and zone in which the subject property is located;*
 - 4. That the granting of such variance will not adversely affect the comprehensive plan.*

D. Staff Response

- D.i Special Circumstances** There are special circumstances related to this subject property that do not generally apply to other properties in the same vicinity or zone. As noted in Finding of Fact No. 3A-B, the property is encumbered by both shoreline areas and shoreline wetlands. The shorelines and wetlands plus their associated buffers encumber 4.85 acres of the 10.01-acre total property. The applicant has proposed a development density of 4 du/ac in a 6 du/ac zone. If the wetlands and shoreline did not encumber the property, the applicant would be able to develop the site with significantly more homes. The applicant has requested a variance from the right of way setback requirement on Lot 18 and the associated perimeter landscaping buffer width. Without the variances, the applicant would not be able to develop Lot 18 and would lose that lot, further reducing the site's development potential.
- D.ii. Substantial Property Right** The variances are necessary to preserve the applicant's substantial property right to develop the lot to the maximum permissible density given the restriction of the zone and the requirements for critical areas and shoreline preservation. Other properties within the zone, including the adjacent property to the north, have been able to develop to the full development density in the Residential Urban zone. The critical areas prevent development of this site to the minimum residential density required by the zone. The variances, if approved, will allow the applicant to develop 20 lots instead of 19 on a property that if unencumbered might develop up to a maximum of 60 lots.
- D.iii. Public Welfare** As mitigated and with the recommended conditions of approval, granting the variances will not be materially detrimental to the public welfare or injurious to the surrounding property. The January 4, 2019 SEPA MDNS required the applicant to maintain perimeter landscaping along the public right of way through posting of appropriate bonds (SEPA MDNS Mitigation Measure #2) and to create a homeowners association charged with maintaining the perimeter landscaping (SEPA MDNS Mitigation Measure #3). A recommended condition of approval will require the applicant to construct a six-foot tall solid wood fence between the perimeter landscaping and the development envelope of Lot 18. This will provide screening for the public as viewed from the right of way while also providing privacy for the homeowner of Lot 18.
- D.iv. Comprehensive Plan** As noted in Finding of Fact No. 4, the project as mitigated and conditioned is consistent with the Orting Comprehensive Plan. Approval of the variances will not adversely affect the Comprehensive Plan.

Recommendation

Based on the Findings of Fact and Conclusions of Law stated above, the Staff recommends the Hearing Examiner recommend approval of the proposed preliminary plat and the right of way and perimeter landscaping width variances to the City Council, subject to the following recommended conditions of approval:

1. The project shall conform to SEPA Mitigating Conditions as listed in the January 4, 2019 SEPA MDNS (Ex. 18).
2. The applicant shall record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.
3. The applicant shall provide a six-foot, solid wood fence between the perimeter landscaping and the building envelope for Lot 18. The perimeter landscaping shall be open to the Beckett Lane SW right of way.