

Councilmembers

Position No.

1. Tod Gunther
2. John Kelly
3. Tony Belot
4. John Williams
5. Gregg Bradshaw
6. Greg Hogan
7. Scott Drennen



Orting City Council
Special Meeting Agenda
Virtual. Orting, WA
November 24th, 2020
7 p.m.

REVISED

MAYOR JOSHUA PENNER, CHAIR

1. CALL SPECIAL MEETING TO ORDER, PLEDGE OF ALLEGIANCE, AND ROLL CALL.

The City is utilizing remote attendance for Councilmembers and City employees. Please note: OPMA rules regarding provision for the public in a space have been suspended by proclamation of the Governor. The meeting is however, available for the public. To join the meeting on a computer or mobile phone: use this link: <https://bluejeans.com/129750645?src=calendarLink>

Phone Dial-in +1.408.419.1715 or +1.408.915.6290

Meeting ID: 129 750 645

2. BRIEFING- Representative Andrew Barkis and JT Wilcox.

 **Mayor Penner**

3. STAFF RECOGNITION

 **Mayor Penner**

4. PUBLIC COMMENTS: Comments may be sent to the City Clerk at: jmontgomery@cityoforting.org by 3pm on November 24th, 2020, and will be read in to the record at the meeting. In the case of a question, the chair will refer the matter to the appropriate administrative staff member or committee.

5. CLOSED RECORD HEARING

A. Meadows Final Plat

 **Emily Adams**

Read the Rules for a Closed Record Hearing.

Motion: To Adopt Resolution No 2020-39, A Resolution of the City of Orting, WA, approving the Final Plat for Meadows at Orting South. .

6. HEARINGS

A. AB20-88-Adopting the 2021 Budget- Ordinance No. 2020-1066, An Ordinance of the City Of Orting, Washington Relating to the Annual Budget for Fiscal Year 2021; Adopting the City of Orting 2021 Budget; Adopting The Job Classification And Pay Range For Employees.

 **Scott Larson**

Open the Hearing and Announce the Title, Read the Rules. Briefing by Staff, Public Comments Taken, Council Comments or Questions, Close Hearing. Consider Motion

Motion: To Adopt Ordinance No. 2020-1066, An Ordinance of the City Of Orting, Washington Relating to the Annual Budget for Fiscal Year 2021; Adopting the City of Orting 2021 Budget and The Job Classification And Pay Range For Employees.

B. AB20-90- Comprehensive Plan Amendment Requests-Ordinance No. 2020-1067, An Ordinance of the City of Orting, relating to land use and zoning; adopting amendments to the comprehensive plan;

 **Emily Adams**

Open the Hearing and Announce the Title, Briefing by Staff, Public Comments Taken, Council Comments or Questions, Close Hearing. Consider Motion

Motion: To adopt Ordinance No. 2020-1067 relating to land use and zoning; adopting amendments to the comprehensive plan; providing for severability; and establishing an effective date

Any Requests For Consent Agenda Items To Be Pulled For Discussion?

7. CONSENT AGENDA

- A. Special Meeting Minutes of October 24th, 2020
- B. Regular Meeting Minutes of October 28th, 2020
- C. Payroll and Claims Warrants.
- D. **AB20-92-** Adopting Resolution No. 2020-42, authorizing the Mayor to execute an Inter local Agreement for Emergency Management Services.
- E. **AB20-93-** Adopting the Orting City Council Legislative Priorities for 2021 as prepared.
- F. **AB20-94-** Approving Resolution No. 2020-40, A Resolution Of The City Of Orting, Washington, Declaring Attached List Of Firearms Surplus To The Needs Of The Police Department And Authorizing The City Administrator To Dispose Of It In A Commercially Reasonable Manner.
- G. **AB20-98-** Approving The Attached Scope And Budget For Professional Services As Described In The Attached Puyallup River Outfall Scope Of Work For Final Design And Permitting In The Amount Of \$76,164.88.

8. OLD BUSINESS

- A. **AB20-83-**2021 Property Taxes- Resolution No. 2020-37- A Resolution of the City Of Orting, Washington, Requesting the Highest Lawful Levy.
✚ **Scott Larson**

Motion: To Adopt Resolution No. 2020-37, A Resolution Of The City Of Orting, Washington, Requesting The Highest Lawful Levy.

- B. **AB20-91-** Ordinance 2020-1069, An Ordinance Of The City Of Orting, Washington, Relating To Mayoral Salary; Amending Orting Municipal Code Section 1-6- authorizing an annual salary of \$30,000.
✚ **Mayor Penner**

Motion: To Adopt Ordinance 2020-1069, An Ordinance Of The City Of Orting, Washington, Relating To Mayoral Salary; Amending Orting Municipal Code Section 1-6-3; Authorizing An Annual Salary Of \$30,000.

- C. **AB20-95-** Council Committee Selection for the Year 2021
✚ **Deputy Mayor Hogan/ Mayor Penner**

Motion: To Approve The Proposed Amendment To Section 3.9 (E) Of Council Rules As Presented.

- D. **AB20-75-** Council Rule Change- 3.9 and 8.5-Election of Deputy Mayor.
✚ **CM Gunther /CM Williams**

Motion: To Adopt The Rule Changes To Section 8.5 And 3.9 As Presented.

- E. **AB20-75.2**-Council Rule Change 4.1 – Council Comment Time.
✚ **CM Gunther/CM Williams**

Motion: ***To Amend Section 4.1 Order Of Business Adding Council Comment Time To The End Of Each Regular Council Meeting Agenda As Presented.***

- F. **AB20-85**- Fireworks Code Amendment, Ordinance NO. 2020-1068, an Ordinance of the City Of Orting, Washington, Pertaining To the Discharge of Fireworks; Amending Orting Municipal Code 5-7-1 to Limit Discharge Hours.
✚ **CM Gunther/ CM Williams**

Motion: ***To Adopt Ordinance No. 2020-1068 an Ordinance of the City Of Orting, Washington, Pertaining To the Discharge of Fireworks; Amending Orting Municipal Code 5-7-1 to Limit Discharge Hours.***

9. NEW BUSINESS

- A. **AB20-99**- CARES Non-Profit Grants, Additional Application.
✚ **Scott Larson**

Motion: ***To Adopt Resolution No 2020-41, A Resolution Of The City Of Orting, Washington, Declaring A Public Purpose And Authorizing A City Grant Of Funds To Non-Profit Organizations For Covid-19 Relief.***

10. EXECUTIVE SESSION

11. ADJOURNMENT- ***Motion:*** *Move to Adjourn.*



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Regular Meeting Dates
Subject: Closed record hearing – Copper Ridge LLC/ Meadows at Orting South Final Plat	AB20-89			
		N/A	11.18.20	11.24.20
	Department: Planning			
	Date Submitted: 11.17.20			
	Cost of Item: <u>\$NA</u>			
Amount Budgeted: <u>\$NA</u>				
Unexpended Balance: <u>\$NA</u>				
Bars #:				
Timeline:				
Submitted By:		Emily Adams (Planner)		
Fiscal Note:				
Attachments: Staff Report and Exhibits, Resolution				
<p>SUMMARY STATEMENT: Copper Ridge LLC has requested final plat approval to subdivide parcel 0519323054 into 20 single-family residential lots, a new public road (Cope St SW), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E). City Council approved the Preliminary Plat in May 2019.</p> <p>The Planning Commission has reviewed the final plat documents, the staff report, and held a public hearing and recommends to the Council approval of the final plat.</p>				
<p>RECOMMENDED ACTION: MOTION: <i>To Adopt Resolution No 2020-39, A Resolution of the City of Orting, WA, approving the Final Plat for Meadows at Orting South.</i></p>				

**CITY OF ORTING
WASHINGTON
RESOLUTION NO. 2020-39**

**A RESOLUTION OF THE CITY OF ORTING,
WASHINGTON, APPROVING THE FINAL PLAT FOR THE
PLAT OF MEADOWS AT ORTING SOUTH.**

WHEREAS, the Orting City Council approved the preliminary plat and variance application for Meadows 4 (now referred to as Meadows at Orting South) with conditions on May 29, 2019; and

WHEREAS, on June 18, 2020 property owner Copper Ridge LLC submitted an application to the City for final plat on a 10.02-acre lot located at 403 Beckett Lane SW in the City of Orting, County of Pierce, State of Washington; and

WHEREAS the application was circulated among City staff for review and a Notice of Application was issued on October 19, 2020; and

WHEREAS, the application for final plat has been reviewed pursuant to the criteria for final plat review in Orting Municipal Code (OMC) Title 12, Chapter 6, Section 5 and staff have found the criteria and conditions of preliminary plat approval have been satisfied; and

WHEREAS, in accordance with OMC 15-4-1 the Orting Planning Commission held an open record public hearing on November 9, 2020 and recommended approval of the final plat by a 5-0 vote; and

WHEREAS, Orting City Council held a closed record hearing at its special meeting on November 24, 2020 and reviewed the final plat application;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORTING, WASHINGTON AS FOLLOWS:

Section 1. Findings. The City Council hereby finds that the plat of Meadows at Orting South (aka Meadows 4) meets the criteria for approval of a final plat application pursuant to the criteria in OMC 12-6-5 and preliminary plat conditions. Attached hereto and incorporated by this reference as Exhibit A is the Staff Report, containing findings of fact that the Council hereby adopts as its additional findings of fact in support of this decision.

Section 2. Authorization. The final plat for Meadows at Orting South is approved and the Mayor, City Engineer, City Treasurer, Planning Commission Chair, and City Clerk are hereby authorized to sign the final plat mylar for recording.

Section 3. Corrections. The City Clerk and the codifiers of this resolution are authorized to make necessary clerical corrections to this resolution including, but not limited to, the correction of scrivener's errors, references, numbering, section/ subsection numbers and any references thereto.

Section 4. Effective Date. This Resolution shall become effective immediately upon adoption and signature as provided by law.

RESOLVED BY THE CITY COUNCIL AT A REGULAR MEETING THEREOF ON THE 24th DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk

Approved as to form:

Charlotte Archer
Inslee, Best, Doezie & Ryder, P.S.
City Attorney



CITY OF ORTING

104 BRIDGE ST S, PO BOX 489, ORTING WA 98360
Phone: (360) 893-2219 FAX: (360) 893-6809
www.cityoforting.org

City Council Staff Report

Project Name: Meadows at Orting South Final Plat

Applicant/Agent: Copper Ridge LLC/
Mr. Craig Deaver
Principal CES NW Inc

Project Address: 403 Beckett Lane SW
Orting, WA 98360

Site Legal Description: 0519323054

**Preliminary Plat
Submittal:** June 13, 2018

**Preliminary Plat Public
Hearing:** April 11, 2019

**Preliminary Plat Approval by City
Council:** May 29, 2019

Date of Final Plat Application: June 18, 2020

Date of Notice of Application: October 19, 2020

Date of Staff Report: October 24, 2020 updated November 10, 2020

**Date of Planning Commission
Public Hearing:** November 9, 2020

**Date of City Council Closed
Hearing:** November 24, 2020

City Staff Contacts: Emily Adams, AICP City Planner JC Hungerford, PE City Engineer

Requested Approvals: Final Plat Approval

Staff Recommendation: **Approval**

Public Comment Period: The public comment period prior to the public hearing ended on November 9, 2020 at 1 pm.



SEPA Determination:

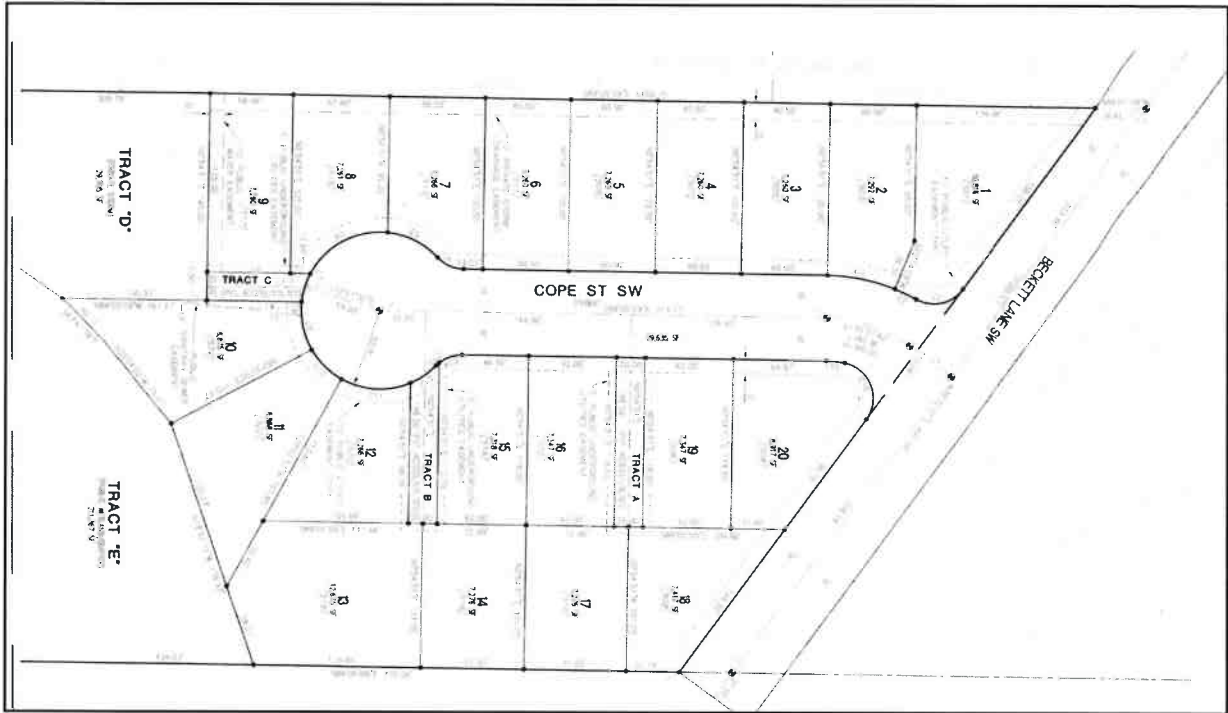
The SEPA Responsible Official issued a Determination of Nonsignificance– Mitigated on January 25, 2019 for the Preliminary Plat. No appeal was filed.

Public Notice:

Notice of the Final Plat Application and Notice of the Hearing were mailed to property owners within 500 feet of the property, posted on site and at City Hall, and published in the newspaper of record for a minimum of 10 days each.

Exhibits:

1. Staff Report;
2. Submittal Transmittal;
3. Final Subdivision Checklist;
4. Application Cover Sheet;
5. Application Consent Form;
6. Final Plat;
7. Title Report;
8. Draft Third Amendment for Declaration of CC&Rs;
9. Mailing Labels and Radius Map;
10. Complete Construction Letter;
11. As-builts;
12. Legibility form;
13. Destroyed real property form;
14. Pierce County Final Plat Approval Emails;
15. Wetland Buffer and Sign Exhibit;
16. SEPA Mitigated Determination of Nonsignificance;
17. Hearing Examiner Report to Council (April 30, 2019);
18. Planning Commission Hearing Notice
19. City Council Hearing Notice
20. Public Comment Received for Planning Commission Public Hearing from Roy Edmondson III; and
21. Public Comment Received for Planning Commission Public Hearing from Lisa Colville
22. Planning Commission Testimony Record
23. Adopting Resolution



Project Description:

The applicant requests final plat approval of the above referenced parcel into 20 single-family residential lots, a new public road (Cope St SW), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E).

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Cope St SW) which will access Beckett Lane SW. Lots 13-14, and 17-18 will be accessed by two access tracts (Tracts A and B), respectively. The stormwater pond and Lot 9 will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant’s requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The

property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban.

Permit History

The City received a preliminary plat and variance request on June 13, 2018 with a notice of complete application issued July 10, 2018. A public hearing was held on April 11, 2019. On April 30, 2019 the Hearing Examiner adopted to recommendations of City Staff including the three conditions of approval (Ex. 14). City Council approved this recommendation made by the Hearing Examiner to approve the preliminary plat and variance on May 29, 2019.

The City issued a Mitigated Determination of Non-Significance on January 4, 2019. The City reissued a revised Mitigated Determination of Non-Significance on January 25, 2019 with nine mitigation measures.

Findings of Fact and Conclusions of Law

1. Authority

Pursuant to OMC 15-4-1, Tables 15-4-1 and 15-4-2, Final Plats are Type IV land use decisions determined by the City Council after an open record hearing. The Planning Commission holds an open record hearing on a final plat and makes a recommendation to the City Council.

2. Review Criteria

OMC 12-6-5 governs the review criteria for approval of final plats. The review criteria are quoted below in italic and applied through the corresponding conclusions of law.

A. Final Plat Approval Criteria

OMC 12-6-5: Criteria for Approval:

- A. Meets Plat Approval Requirements: Meets all general requirements for plat approval as set forth in chapter 8 of this title;

OMC 12-8-1: General Requirements for Approval of Subdivision:

In addition to the criteria for approval applicable to an individual application, all subdivisions must meet the following general requirements in order to be approved:

- A. Land Use Controls: No subdivision may be approved unless written findings of fact are made that the proposed subdivision or short subdivision is in conformity with any applicable zoning ordinance, comprehensive plan or other existing land use controls.

Staff response: As described the preliminary plat Hearing Examiner recommendation (Ex. 14), and as mitigated and as conditioned, the proposed subdivision is in conformity with all applicable zoning requirements, the Orting Comprehensive Plan and other existing land use controls.

- B. Dedications; Generally:

1. An offer of dedication may include a waiver of right of direct access to any street from any property, and if the dedication is accepted, any such waiver is effective. The city may require such waiver as a condition of approval.
2. Roads not dedicated to the public must be clearly marked "private" on the face of the plat.
3. Any dedication, donation or grant as shown on the face of the plat shall be considered to all intents and purposes, as a quitclaim deed to the said donee(s) or grantee(s) for his/her/their use for the purpose intended by the donor(s) or grantor(s).
4. If the plat or short plat is subject to a dedication, the certificate or a separate written instrument shall contain the dedication of all streets and other areas to the public, and individual(s), religious society(ies) or to any corporation, public or private, as shown on the plat or short plat, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. Said certificate or instrument of dedication shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided and recorded as part of the final plat.
5. Every plat and short plat containing a dedication filed for record must be accompanied by a title report confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.
6. Dedication of land to any public body, provision of public improvements to serve the subdivision, and/or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be required as a condition of subdivision approval. No dedication, provision of public improvements or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be allowed that constitutes an unconstitutional taking of private property.

Staff response: The roadway will be dedicated to the City. Access to Lots 13-14, and 17-18 will be accessed by two private access tracts (Tracts A and B), respectively. The stormwater pond will be private and accessed via Tract C along with Lot 9. All lots and Tracts will be directly accessible from the new private road. A recommended condition of approval will require the applicant to record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.

The applicant provided a title report demonstrating ownership of the property. The plat will contain the signatures of all those with ownership interest in the property.

The applicant will pay impact fees for streets in accordance with the City's adopted transportation improvement program, the City's Comprehensive Plan, and OMC Title 15 Chapter 6.

- C. Dedication of Public Park: The planning commission shall recommend naming of streets and parks within proposed subdivisions. If preliminary plats include dedication of land for public parks with areas greater than required for subdivision approval and the proponents request commemorative names, the planning commission shall consider such requests. The city council shall adopt the names as part of final plat approval.

Staff response: As noted in the preliminary plat findings (Ex. 14), the applicant will pay park impact fees pursuant to OMC Title 15-6-7(B) at the time of building permit. The proposal does not include a public or private park dedication.

- D. Release from Damages: The city shall not as a condition to the approval of any subdivision require a release from damages to be procured from other property owners.

Staff response: No release from damages from other property owners was required or will be required as a condition of approval.

- E. Flood, Inundation or Swamp Conditions: A proposed subdivision may be disapproved because of flood, inundation, or swamp conditions. Construction of protective improvements may be required as a condition of approval, and such improvements shall be noted on the final plat. No plat shall be approved covering any land situated in a floodway as provided in Revised Code of Washington chapter 86.16 without the prior written approval of the state department of ecology.

Staff response: As noted in the preliminary plat findings (Ex. 14), portions of the project site are located within the floodplain. However, the developed portion of the site is outside of the floodplain and not subject to Title 14 OMC Flood Control.

- F. Bonds: In lieu of the completion of the actual construction of any required improvements prior to the approval of a short or final plat, the planning commission or city council may accept a bond, approved as to form by the city attorney, in an amount and with surety and conditions satisfactory to it, or other secure method, providing for and securing to the city the actual construction and installation of such improvements within a period specified by the city and expressed in the bonds. In addition, the city may require the posting of a bond securing to the city the successful operation of improvements for up to two (2) years after final approval. All bonded improvements shall be designed and certified by or under the supervision of a registered civil engineer prior to the acceptance of such improvements.

Staff response: SEPA Mitigation Measures (Ex. 13) required the applicant to post bonds for maintenance of the perimeter landscaping and the wetland delineation fence. All construction has been completed and inspected, maintenance bonds have been received by City staff to ensure the successful operation of improvements for two years after final plat approval.

- B. Conforms to Preliminary Plat Approval: Conforms to all terms of the preliminary plat approval; and

1. The project shall conform to SEPA Mitigating Conditions as listed in the January 4, 2019 SEPA MDNS.

The reissued SEPA DNS mitigation measures include:

- 1) The project shall conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.
- 2) The applicant shall post a landscape maintenance bond pursuant to OMC 13-5-2(H) and (I) for all perimeter landscaping, landscaping around the proposed storm pond and for all street trees.

- 3) The applicant shall create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plant material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.
- 4) The Stormwater Pond shall be fenced with a six-foot-tall chain link fence.
- 5) The applicant is prohibited from developing more than 30% impervious surfaces based on the gross area of the full plat. A note on the face of the plat shall prohibit any lot from developing more than 30% impervious surface on any given lot.
- 6) The applicant shall install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N.
- 7) The applicant shall install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O).
- 8) The applicant shall post a performance bond to assure that the wetland buffer fence is maintained (SMP 5.07.A.03.P).
- 9) The 8-inch watermain shall be looped with the existing system, likely extending to Grinnell Ave SW. Final design shall be approved by the City Engineer prior to issuance of civil permits.
- 10) The applicant shall redesign the proposed cul-de-sac to shall meet City of Orting Standard Details T-8A, T-8B, and T-8C.

Staff Response: The applicant has performed the SEPA mitigation measures. The CC&Rs cover the SEPA conditions for the plat including the split-rail fence and signing around the wetland buffer (Ex. 15 details sign and fence placement). The CC&Rs also address maintenance of landscaping, street trees, drainage and signage. The stormwater fence has been installed according to the condition. Mitigation measures 1, 9 and 10 have been constructed and accepted by the City Engineer in the certificate of completion letter (Ex. 9).

2. The applicant shall record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.

Staff Response: The applicant has inscribed a waiver of all claims for damages which will be recorded with the dedication of the streets to the public with the recording of the final plat (Ex. 6, page 1).

3. The applicant shall provide a six-foot, solid wood fence between the perimeter landscaping and the building envelope for Lot 18. The perimeter landscaping shall be open to the Beckett Lane SW right of way.

Staff response: A six-foot fence meeting these requirements will be installed and is noted on the face of the plat as a requirement under "Planning Department" to ensure long term maintenance of the fence.

- C. Meets Other Applicable Requirements: Meets the requirements of Revised Code of Washington chapter 58.17, other applicable State laws, this title, title 9, chapter 4 of this Code, and any other applicable City ordinances which were in effect at the time of preliminary plat approval.

Staff Response: As noted in the preliminary plat findings (Ex. 14), appropriate provisions have been made the public health, safety and general welfare, for open spaces, drainageways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds , and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school. Further the preliminary plat findings demonstrate compliance with all applicable City ordinances in effect at the time of preliminary plat approval including the Shoreline Master Program.

- D. Approval and Inscription: The City Council shall make written findings of fact relating to its decision on the final plat, and if approved, shall suitably inscribe and execute its written approval on the face of the plat.

Public Hearing

A public hearing was held by the Planning Commission on November 9, 2020. One written comment was received prior to the hearing and read into the record (Exhibit 18). One member of the public spoke at the meeting and sent a written comment for the public record following the meeting (Exhibit 19). Comments included concerns about trees, additional sprinkler systems, road repairs, fencing, runoff, and grade level. All comments were addressed by the appropriate staff member.

Staff Recommendation

Based on the Findings of Fact and Conclusions of Law stated above, the Staff recommends the City Council **approve** the proposed final plat.

Planning Commission Recommendation

Following review of the staff report, associated materials and the public hearing the Planning Commission unanimously recommends the City Council **approve** the final plat as proposed.

Reconsideration

Any party with standing may seek reconsideration of a final decision by filing a written request for reconsideration with the City Administrator within five (5) days of the announcement of the final decision.

Appeal

Appeals from the final decision of the city council, board of appeals, or other city board or body involving this title or titles 12 and 13 of this code and for which all other appeals specifically authorized have been timely exhausted, shall be made to Pierce County superior court within twenty one (21) days of the date the decision or action became final. Notice of the appeal and any other pleadings required to be filed with the court shall be served on the city clerk, administrator, and city attorney within the applicable time period (OMC 15-10-6).

CES ♦ NW
 INCORPORATED
 CIVIL ENGINEERING & SURVEYING

Letter of Transmittal

TO: City of Orting
 110 Train Street
 Orting, WA 98360

CES Project No. 17171.0
 Project Name: Meadows at Orting South
 Regarding: Final Subdivision (Plat)
 Permit #/Application ID: Not yet assigned
 Date: October 5, 2020
 Parcel(s): 0519323054

WE ARE PROVIDING:

Quantity	No. of Pages	Dated	Description
1	4	-	Final Subdivision Checklist
1	2	-	Application Cover Sheet & Legal Description
1	1	10.05.2020	Application Consent Form
1	4	10.02.2020	Final Plat Map
1	28	09.28.2020	Title Report
1	3	-	Draft Third Amendment to Declaration of CC&Rs
1	9	06.17.2020	Mailing Labels and Radius Map
1	20	09.21.2020	As-built drawings
1	2	08.27.2020	Pierce County Legibility Form
1	2	08.20.2020	Pierce County Destroyed Real Property Form
1	1	09.03.2020	Pierce County Approval Email

THESE ARE TRANSMITTED:

Enclosed is our submittal for the Meadows at Orting South Final Subdivision (Plat) Application submittal for the City of Orting's review. The project proposes twenty (20) single-family lots. All improvements have been installed and the Certificate of Completion will be provided once the minor construction corrections are made. In addition, Pierce County approval documents are included.

If you have any questions, please do not hesitate to contact me at 253.848.4282.

Thank you,

Craig Deaver
 Principal
CDeaver@cesnwinc.com



CITY OF ORTING Land Use Permit Information

FINAL (SUBDIVISIONS) PLATS

Final Plats are the recorded legal completion of the land subdivision process. They contain the detailed “as-built” documentation of the subdivision after all required public improvements are completed and/or accepted by the City and the final survey and legal descriptions of all parcels and tracts are prepared. Final Plats are described in the Orting Municipal Code (OMC), Chapter 12.6.

Criteria for Approval - The Planning Commission will review final plat applications and recommend approval, approval with conditions, or denial of the application. Final plats may be approved only if all of the following criteria have been met:

1. The application complies with the City’s requirements (Section 12.6.5 OMC) and with 58.17 RCW.
2. The proposal is consistent with all terms of the preliminary plat approval.
3. All required public improvements have been completed or accepted by the City.

The applicant has the burden of proving that the proposed subdivision meets all of the criteria described above. Thorough documentation of the proposal's compliance with the criteria will greatly assist in the subdivision consideration process and improve the likelihood of approval. *Applicants are required to attend a pre-application meeting with City staff prior to submitting an application.* The formal subdivision consideration procedure is:

Final Plat Approvals

1. Five (5) copies of the application packet must be submitted, each including:
 - a) A completed application cover sheet.
 - b) Certification of any work required or completed by the City in connection with the checking, computing and correcting of the plat, plan checking, inspecting, and testing of all plat improvements including water lines, sanitary sewer lines, storm water retention and drainage systems, streets, curbs, gutters, and sidewalks.
 - c) A final plat meeting the requirements in "Final Plat Specifications" below.
 - d) “As-built” subdivision improvement drawings, or a subdivision improvements performance security as specified (see g) below:
 - i. One full size (24" by 36") photo mylar or original mylar (City standards not required);
 - ii One reduced (11" by 17") photo mylar slick;
 - iii. One photo negative (8-1/2" by 11");
 - iv. Five sets of full size and half size prints.
 - e) For plats containing dedications, a title report confirming that the title of the lands as described and shown on the plat is in the name of the owners signing the certificate.
 - f) Any offer of dedication may include a waiver of right of direct access to any street from any property.
 - g) Certificate of completion of one of the following alternatives:
 - i. All improvements have been installed in accord with the requirements of these regulations and accepted by the City, or
 - ii. That approved plans are on file with the City for all required improvements and a cash or surety bond has been posted and deposited with the City Clerk.

CITY OF ORTING - Land Use Permit Information

- h) Documentation of the following recommendations:
 - i. The City Engineer or his/her designee as to the adequacy of the proposed means of sewage disposal and water supply;
 - ii. The Planning Commission's recommendation as to compliance with all of the terms of preliminary approval of the proposed plat or subdivision;
 - iii. The City Engineer.
- i) A copy of all restrictive covenants proposed to be imposed upon land within the subdivision.
- j) Any other documentation deemed necessary by the City Administrator to show compliance with conditions of the preliminary plat approval.
- k) Mailing labels for all property owners within three hundred feet (500') of the proposed site.

2. The Planning Commission will hold a public hearing and determine if the proposed final plat meets the approval criteria based on staff reports from the City Administrator and City Engineer. Upon that finding, the Planning Commission will recommend approval by the City Council.

3. The City Council will consider the Planning Commission's recommendations and make written findings of fact relating to its decision on the final plat, and if approved, will suitably inscribe and execute its written approval on the face of the plat.

4. A final plat is filed for record.

Any lots in a final plat filed for record will be valid notwithstanding any changes in zoning laws for a period of five years from the date of filing. A subdivision will be governed by the terms of approval of the final plat, and the statutes, ordinances and regulations in effect at the time of approval under RCW 58.17.150(1) and (3) for a period of five (5) years after final plat approval unless the City Council finds that a change in conditions creates a serious threat to the public health or safety in the subdivision.

Submittal Requirements

The final plat shall consist of one or more pages, each eighteen (18) inches by twenty-four (24) inches, clearly and legibly drawn on stable base Mylar polyester film or equivalent approved material. All drawing and lettering shall be in permanent India ink with the lettering as former by standard scribe guides using the point size recommended by the manufacturer and free of all blots and imperfections which might cause the letter or number to be questionable. If ink is used on polyester film base, the ink shall be coated with a suitable substance to assure permanent legibility. The perimeter of the subdivision shall be depicted in heavier lines than appear elsewhere on the plat. The border shall be drawn completely around each sheet, leaving an entirely blank margin of two inches to the left side and one-half inch on all other sides. Each sheet of the final plat shall contain the subdivision name and sheet number, and each sheet containing a drawing shall also contain the scale and a north arrow showing the relation to true north where applicable. All signatures shall be written in permanent India ink. Every final plat shall include an accurate map of the subdivided land based upon a complete review thereof, with the error of closure of the plat computations not exceeding one one-hundredth of one foot. Drawing scale shall be one hundred (100) feet to one (1) inch or larger (preferred scale is fifty (50) feet to one (1) inch). The plat must contain:

1. All section, township, municipal and City lines lying within or adjacent to the subdivision and a vicinity map showing the area with eight hundred (800) feet of the proposed site.
2. The location of all monuments or other evidence used as ties to establish the subdivision's boundaries.
3. The location of all permanent control monuments found and established within the subdivision.
4. The boundary of the subdivision with complete bearings and lineal dimensions.

CITY OF ORTING - Land Use Permit Information

5. The length and bearings of all straight lines; the radii, arc lengths, semi tangents and delta angle of all road centering curves and radii, delta angle and arc length of right-of-way curves, with radial bearings at the beginning and ending of all non-tangent curves.
6. Both the record and measured bearings, angles, and distances when the record bearings or angles or distances differ from measured bearings or angles or distances.
7. The length of **each lot line, together with bearings, chord distance for curved lines and other data necessary** for the locations of any lot line in the field.
8. The radial courses (labeled "R") for all lots, and all blocks tied to an intersection by bearings and distances.
9. The location, width, centerline, and name or number of all streets or other rights-or-way within and adjoining the subdivision.
10. The width, disposition, and description of all easements with the location shown with broken lines.
11. Numbers assigned to all lots and tracts within the subdivision.
12. Names of any adjacent subdivision(s).
13. Legal description of the land within the subdivision that agrees with the description contained in the title insurance report.
14. All dedications of streets or other areas to the public, an individual or individuals, religious society or societies or to any corporation, public or private. Roads not dedicated to the public must be clearly marked on the face of the plat as "Private." Any dedication, donation, or grant as shown on the face of the plat shall be considered for all intents and purposes as a quitclaim deed to the donee or donees, grantee or grantees of his, her, or their use for the purpose intended by the donors or grantors.
15. Location and disposition of any wells, creeks, drainage courses, drainage ways, septic tanks, drain fields, 100-year floodplain boundary and easements in or within two hundred (200) feet of the proposed subdivision; the location of all trees more than six inches (6") in diameter at a height of four feet (4') above grade with the proposed subdivision, and for one hundred and fifty (150) feet beyond the terminus of all dead end streets (individual trees in stands of five (5) trees or more need not be shown, but the area (drip line) covered by the stand shall be shown); the location of identified hazards or limitations to development as identified by the City of Orting Critical Areas Map; and, the location of any state shorelines and associated wetlands as defined by State law and the City of Orting Shoreline Master Program within the proposed short subdivision.
16. Minimum building setback lines from all lot lines, major or minor watercourses, tops of banks, and native growth protection easements.
17. The purpose of any non-residential lots.
18. The following certificates shall be shown on the final plat. Items listed above (number 1 - 17) shall be signed before the final plat is submitted for review:
 - a) Surveyor - The surveyor shall place his seal and signature on the plat, along with:
 - i. A statement certifying that the plat was prepared by him, or under his supervision;
 - ii. A statement certifying that the plat is a true and correct representation of the land surveyed;
 - iii. A full and correct description of the land to be divided.
 - b) Owner - The following statements or certifications shall be placed upon the final plat by the owner:

CITY OF ORTING - Land Use Permit Information

- i.* A statement that the subdivision has been made with the free consent and in accordance with the desires of the owner or owners -- owners of other interests shown on the title report shall certify that they have notice of the subdivision;
 - ii.* If the plat is subject to a dedication a certificate containing the dedication of all streets and other areas, together with a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land from the required construction, drainage, and maintenance of the area -- the certificates shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided.
- c) City Engineer - A Statement of approval from the City Engineer approving the survey data, the layout of the streets, alleys, and other rights-of-way, design of bridges, and utility systems including storm drainage, water, and sanitary sewer.
 - d) Pierce County Office of Finance - A certification from the Director and Deputy Director of the Office of Finance that all taxes and delinquent assessments for which the property may be liable as of the date of certification have been duly paid, satisfied, or discharged.
 - e) Orting City Clerk - A certification from the City Clerk that all assessments and delinquent assessments for which the property dedicated for public use may be liable as of the date of certification have been duly paid, satisfied, or discharged.
 - f) Date of examination and approval by the County Assessor and Deputy County Assessor.
 - g) Date of examination and approval by the City Council signed by the Mayor and City Clerk.
 - h) Recording certificate signature by the Pierce County Manager of the Division of records and Elections and the Superintendent of Records.
19. Survey Data - In conjunction with the final plat document, the surveyor shall furnish the City Engineer with a full set of survey notes, which shall clearly show:
- a) The ties to each monument established for the plat.
 - b) All necessary controlling reference points or monuments.
 - c) Sufficient data to determine readily the bearing and length of each line which may be in form of computer printout sheets or coordinate sheet.
 - d) The base meridian referred to showing its relation to true north based on Polaris Observation or tie to National Ocean Survey (USC and GS) triangulation system, or other control acceptable to the City Engineer.
 - e) Complete subdivision of the section or sections, or as much thereof as necessary to properly orient the plat within same.
 - f) Corners of adjoining subdivisions or portions thereof, with ties.
 - g) Primary survey control points reference to section corners and monuments.

REQUIRED APPLICATION INFORMATION (All Permits)

If it is necessary to submit applications for more than one permit, just fill out this page once.

Property Owners' Name	Copper Ridge, LLC - Attn: Evan Mann	
Affidavit of Ownership (Attached)		
Address	PO Box 73790 Puyallup, WA 98373	
Phone/Fax	253-820-7835	
Email	evan@soundbuilthomes.com	
Applicant/Agent's Name	CES NW Inc - Attn: Craig Deaver	
Address	429 29 th St NE, Ste D Puyallup, WA 98372	
Phone/Fax	253-848-4282	
Email	cdeaver@cesnwinc.com	
Project Site Address	403 BECKETT LN SW	
Tax Parcel Number(s)	0519323054	
Legal Description (May be on a separate sheet)	See attached.	
Project Name (If Applicable)	Meadows at Orting South	
Permits Needed (Check All that Apply)	<input type="checkbox"/> Short Plat <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance <input type="checkbox"/> Clearing & Grading <input type="checkbox"/> Shoreline Variance <input type="checkbox"/> Planned Development <input type="checkbox"/> Master Plan	<input type="checkbox"/> Boundary Line Adjustment <input checked="" type="checkbox"/> Final Plat <input type="checkbox"/> Rezone <input type="checkbox"/> Critical Area Exception <input type="checkbox"/> Shoreline Development <input type="checkbox"/> Shoreline Conditional Use <input type="checkbox"/> Architectural Design Review <input type="checkbox"/> Binding Site Plan <input type="checkbox"/> Special Use Permit



First American

Schedule C

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

The land in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360

Phone: (360) 893-2219 FAX: (360) 893-6809

www.cityoforting.org

**APPLICATION CONSENT
AFFIDAVIT**

Project Name: Meadows at Orting South

Property Owner Information:

Project Contact

Name: Copper Ridge, LLC

Phone: 253-820-7835

Address: PO Box 73790

City/State: Puyallup, WA

Zip: 98373

E-mail: evan@soundbuilthomes.com

Property Owner Signature: (required)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.

I hereby grant to the City of Orting or its agents to which this application is made or forwarded, the right to enter the above-described location to inspect the proposed, in-progress, or completed work. I agree to start work only after all necessary permits and approvals have been received.

I hereby authorize the Applicant and / or Agent to act on my behalf in matters related to this application. (Check if Applicable)

Property Owner Signature

10/5/20
Date

Applicant Information (if not the property owner):

Project Contact

Name: _____

Phone: _____

Address: _____

City/State: _____

Zip: _____

E-mail: _____

Agent Information:

Project Contact

Name: _____ Phone: _____

Address: _____

City/State: _____ Zip: _____

E-mail: _____

Authorized Applicant / Agent Signatures: (required if the Applicant/Agent is not the property owner)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work ONLY after I have received all necessary permits.

Authorized Applicant Signature

Date

Authorized Agent Signature

Date

Please identify additional parties that you want to receive email regarding this project.

Craig Deaver
Name _____

cdeaver@cesnwinc.com
Email _____

Name

Email

MEADOWS AT ORTING SOUTH

A PORTION OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON

DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED PROPERTY, DEDICATE THESE LOTS TO THE PURCHASERS THEREOF...

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF WATER MAINS AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C AND LOT 9 SHOWN ON THIS PLAT.

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF STORM DRAINAGE FACILITIES AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C AND D SHOWN ON THIS PLAT.

WE DEDICATE TO THE CITY OF ORTING, A PERPETUAL EASEMENT WITH A RIGHT OF ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF SANITARY SEWER FACILITIES AND OTHER APPURTENANCES OVER, UNDER AND ACROSS TRACTS A, B, C, D AND LOT 10 SHOWN ON THIS PLAT.

TRACT D IS A PRIVATE STORM DRAINAGE AND POND TRACT. ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN TRACT D. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH TRACT.

THE 12' PRIVATE STORM DRAINAGE EASEMENT ACROSS LOTS 1-9 IS DEDICATED TO THE HOMEOWNERS ASSOCIATION UPON RECORDING OF THIS PLAT. ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN SAID EASEMENT. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID EASEMENT.

WE DEDICATE TO THE CITY OF ORTING OR ITS SUCCESSOR AGENCY TRACT E WETLAND BUFFER TRACT UPON THE RECORDING OF THIS PLAT. THE CITY OF ORTING OR ITS SUCCESSOR AGENCY SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACT.

EVAN MANN, MANAGER
COPPER RIDGE, LLC
A WASHINGTON LIMITED LIABILITY COMPANY

ACKNOWLEDGEMENT

STATE OF WASHINGTON)
COUNTY OF PIERCE,)

ON THIS DAY OF 2020, BEFORE ME PERSONALLY APPEARED EVAN MANN, TO ME KNOWN TO BE THE AUTHORIZED MEMBER OF COPPER RIDGE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY...

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAT THE DAY AND YEAR FIRST WRITTEN ABOVE.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

RESIDING AT:

MY APPOINTMENT EXPIRES:

LEGAL DESCRIPTION

PARCEL A AND B ARE TPN 0519323054
(PER FIRST AMERICAN TITLE INSURANCE COMPANY GUARANTEE NO. 3002549 DATED SEPTEMBER 28, 2020)

PARCEL A
THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 80.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK 529.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 722.06 FEET TO THE POINT OF BEGINNING.

PARCEL B

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

ASSESSOR/TREASURER

I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED.

ASSESSOR/TREASURER, PIERCE COUNTY DATE

CITY ENGINEER

I HAVE EXAMINED AND APPROVED THE REQUIRED ENGINEERING ASPECTS OF THIS PLAT ON BEHALF OF THE CITY OF ORTING.

CITY ENGINEER DATE

CITY CLERK/TREASURER

I HEREBY CERTIFY THAT ALL OF ORTING TAXES HERETOFORE LEVIED AGAINST THE PROPERTY DESCRIBED HEREIN, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE HAVE BEEN FULLY PAID AND DISCHARGED.

CITY CLERK/TREASURER DATE

PLANNING COMMISSION

EXAMINED AND APPROVED THIS DAY OF 2020 FOR THE CITY OF ORTING

CHAIRPERSON OF PLANNING COMMISSION DATE

CITY COUNCIL

EXAMINED AND APPROVED THIS DAY OF 2020 FOR THE CITY OF ORTING

CITY MAYOR DATE

CITY CLERK

EXAMINED AND APPROVED THIS DAY OF 2020 FOR THE CITY OF ORTING

CITY CLERK DATE

PROTECTIVE COVENANTS

SEE DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201308200432 ON THE 20TH DAY OF AUGUST, 2013, AT 11 MINUTES PAST 2:00 PM, RECORDS OF THE PIERCE COUNTY AUDITOR.

SEE FIRST AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201504160509 ON THIS 15TH DAY OF APRIL, 2015, AT 31 MINUTES PAST 2:00 PM, RECORDS OF THE PIERCE COUNTY AUDITOR.

SEE SECOND AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER 201701308431 ON THIS 13TH DAY OF JANUARY 2017, AT 50 MINUTES PAST 3:00 PM, RECORDS OF THE PIERCE COUNTY AUDITOR.

SEE THIRD AMENDMENT & SUPPLEMENTAL DECLARATION OF COVENANTS AS FILED UNDER RECORDING NUMBER ON THIS DAY OF 2020, AT MINUTES PAST RECORDS OF THE PIERCE COUNTY AUDITOR.

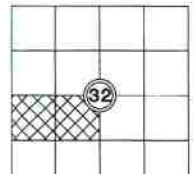
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF MEADOWS AT ORTING SOUTH IS BASED ON AN ACTUAL SURVEY DONE BY ME OR UNDER MY DIRECT SUPERVISION; THAT THE BEARINGS AND DISTANCES ARE SHOWN CORRECTLY; THAT THE PERMETER MONUMENTS HAVE BEEN SET AND THAT ALL OTHER MONUMENTS AND LOT CORNERS HAVE BEEN SET OR BONDED WITH THE COUNTY AND WILL BE SET PRIOR TO THE RELEASE OF THE BOND; THAT I HAVE COMPLIED WITH ALL STATE AND COUNTY REGULATIONS GOVERNING PLATTING AND THAT IT CONFORMS TO THE APPROVED PRELIMINARY PLAT AND THE CONDITIONS OF APPROVAL THEREOF.

SETH D. O'HARE, PLS
CERT. NO. 38985

PARCEL NUMBER

PARCEL NO. 0519323054
ADDRESS: 403 BECKETT LN. SW, ORTING, WA 98360



INDEX: NE 1/4 & NW 1/4 OF THE SW 1/4, SEC. 32, T19N, R5E., W.M.

AUDITOR

FILED FOR RECORD THIS DAY OF 2020, AT MINUTES PAST RECORDS OF PIERCE COUNTY AUDITOR, TACOMA, WASHINGTON.

RECORDING NUMBER

PIERCE COUNTY AUDITOR

FEE

BY

INDEX OF SHEETS

- SHEET 1 SIGNATURES, APPROVALS, ACKNOWLEDGEMENTS, LEGAL DESCRIPTION, PROTECTIVE COVENANTS
SHEET 2 SECTION BREAKDOWN, SURVEY NOTES, VICINITY MAP, TITLE EXCEPTIONS
SHEET 3 MAP, DEVELOPMENT ENGINEERING NOTES, TABLES
SHEET 4 MAP, ADDRESS TABLE, PLANNING NOTES



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING

429 - 29TH ST. NE, SUITE D PUYALLUP, WA 98372
JOB# 17171
(253) 848-4282
ceservices@cesnwinc.com

MEADOWS AT ORTING SOUTH

SHEET 2 OF 4

A PORTION OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON

TRACT NOTES

TRACTS A, B AND C ARE DESIGNATED ACCESS AND UTILITIES TRACTS ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH HAVE AN EQUAL AND UNDIVIDED INTEREST IN SAID TRACTS THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACTS

TRACT D IS A PRIVATE STORM DRAINAGE AND POND TRACT ALL LOTS IN THE PLAT OF MEADOWS AT ORTING SOUTH HAVE AN EQUAL AND UNDIVIDED INTEREST IN SAID TRACT THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE ASSOCIATED WITH SAID TRACT

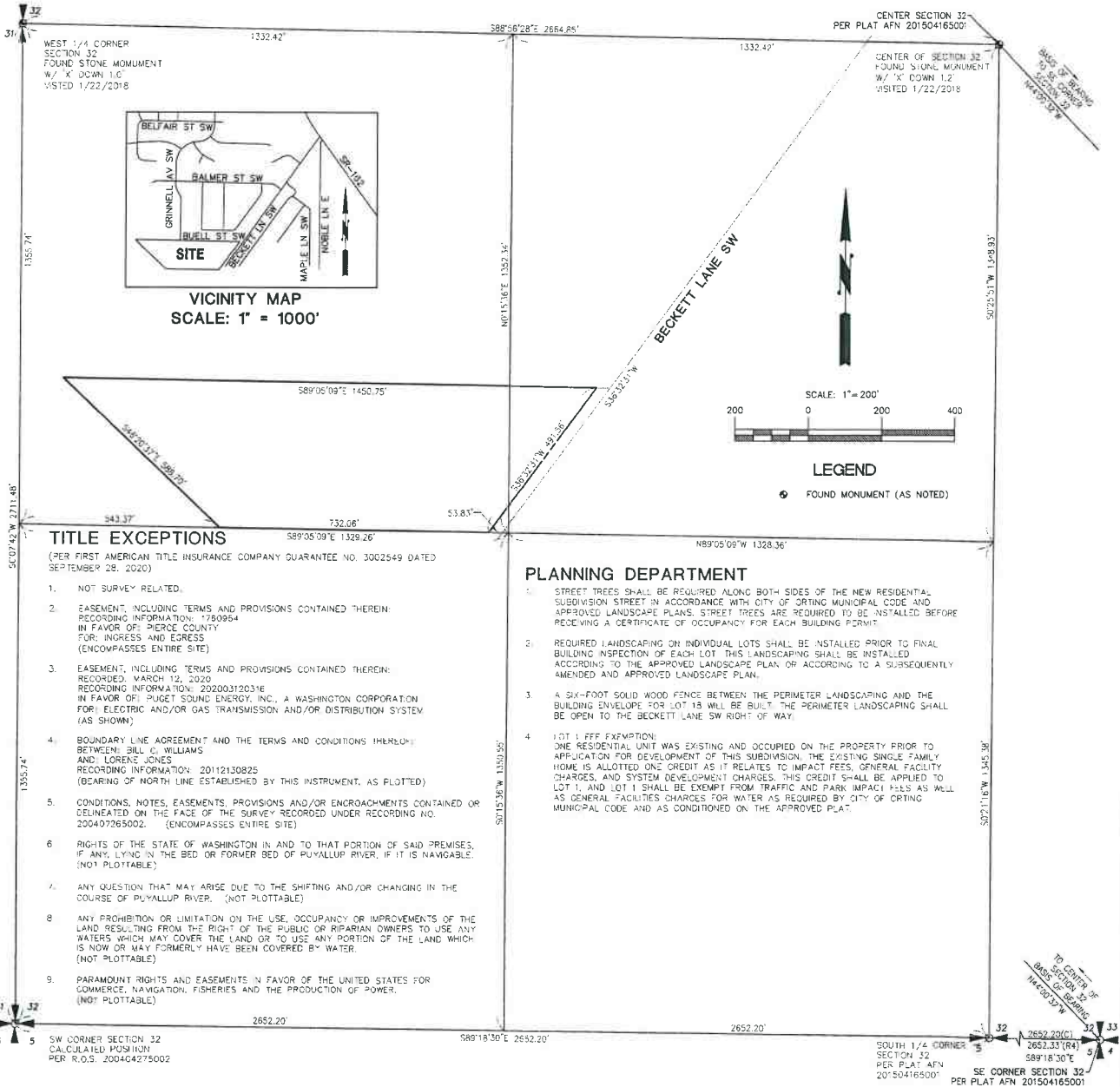
TRACT E IS A PUBLIC WETLAND AND GUTTER TRACT AND IS DEDICATED TO THE CITY OF ORTING OR ITS SUCCESSOR AGENCY FOR PUBLIC DRAINAGE PURPOSES UPON THE RECORDING OF THIS PLAT THE CITY OF ORTING SHALL BE RESPONSIBLE FOR THE PUBLIC STORM DRAINAGE FACILITIES WITHIN SAID TRACT

EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND CONVEYED TO THE CITY OF ORTING, PUGET SOUND ENERGY, ANY TELEPHONE COMPANY, ANY CABLE COMPANY, ANY WATER COMPANY, THE U.S. POSTAL SERVICE AND THEIR RESPECTIVE SUCCESSORS AN ASSIGNS UNDER AND UPON THE EXTERIOR TEN (10) FEET PARALLEL WITH AND ADJOINING THE PUBLIC STREET FRONTAGE OF ALL LOTS AND TRACTS, IN WHICH TO INSTALL, LAY, CONSTRUCT, REPAIR, OPERATE, MAINTAIN, REPAIR, REPLACE, AND ENLARGE UNDERGROUND PIPES, CONDUITS, CABLES, WIRES, WATER METERS, FIRE HYDRANTS, SANITARY SEWER STRUCTURES, AND PUBLIC AND PRIVATE STORM DRAINAGE STRUCTURES ALONG WITH ALL NECESSARY OR CONVENIENT UNDERGROUND OR GROUND-MOUNTED APPURTENANCES THERETO, FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, TELEPHONE, GAS, CABLE TV SERVICE, SANITARY SEWER, WATER, AND OTHER UTILITY SERVICE AND BOTH PUBLIC AND PRIVATE STORM DRAINAGE, TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS, TRACTS AND SPACES AT ALL TIMES FOR THE PURPOSE HEREIN STATED.

THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION BY THE UTILITY, NO LINES OR WIRES FOR TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE OR CABLE TELEVISION SHALL BE PLACED OR PERMITTED UPON ANY LOT OR TRACT UNLESS THE SAME SHALL BE UNDERGROUND OR IN A CONDUIT ATTACHED TO A BUILDING

THE 12 FOOT DRAINAGE/MAINTENANCE EASEMENT FOR PERMANENT SWALE ALONG THE REAR 12 FEET OF LOTS 1 THROUGH 9 SHALL REMAIN OPEN AND FREE OF ANY HARD WASTE, DEBRIS, OR STRUCTURES, MAINTENANCE AND UPKEEP OF THE EASEMENT AREA IS TO BE THE RESPONSIBILITY OF THE MEADOWS AT ORTING HOMEOWNERS ASSOCIATION.



TITLE EXCEPTIONS

(PER FIRST AMERICAN TITLE INSURANCE COMPANY GUARANTEE NO. 3002549 DATED SEPTEMBER 28, 2020)

1. NOT SURVEY RELATED.
2. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDING INFORMATION: 1750954 IN FAVOR OF: PIERCE COUNTY FOR: INGRESS AND EGRESS (ENCOMPASSES ENTIRE SITE)
3. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: MARCH 12, 2020 RECORDING INFORMATION: 229200312031E IN FAVOR OF: PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION FOR: ELECTRIC AND/OR GAS TRANSMISSION AND/OR DISTRIBUTION SYSTEM (AS SHOWN)
4. BOUNDARY LINE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF BETWEEN: BILL O. WILLIAMS AND: LOREN JONES RECORDING INFORMATION: 20112130825 (BEARING OF NORTH LINE ESTABLISHED BY THIS INSTRUMENT, AS PLOTTED)
5. CONDITIONS, NOTES, EASEMENTS, PROVISIONS AND/OR ENCROACHMENTS CONTAINED OR DELINEATED ON THE FACE OF THE SURVEY RECORDED UNDER RECORDING NO. 200407265002. (ENCOMPASSES ENTIRE SITE)
6. RIGHTS OF THE STATE OF WASHINGTON IN AND TO THAT PORTION OF SAID PREMISES, IF ANY, LYING IN THE BED OR FORMER BED OF PUYALLUP RIVER, IF IT IS NAVIGABLE. (NOT PLOTTABLE)
7. ANY QUESTION THAT MAY ARISE DUE TO THE SHIFTING AND/OR CHANGING IN THE COURSE OF PUYALLUP RIVER. (NOT PLOTTABLE)
8. ANY PROHIBITION OR LIMITATION ON THE USE, OCCUPANCY OR IMPROVEMENTS OF THE LAND RESULTING FROM THE RIGHT OF THE PUBLIC OR RIPARIAN OWNERS TO USE ANY WATERS WHICH MAY COVER THE LAND OR TO USE ANY PORTION OF THE LAND WHICH IS NOW OR MAY FORMERLY HAVE BEEN COVERED BY WATER. (NOT PLOTTABLE)
9. PARAMOUNT RIGHTS AND EASEMENTS IN FAVOR OF THE UNITED STATES FOR COMMERCE, NAVIGATION, FISHERIES AND THE PRODUCTION OF POWER. (NOT PLOTTABLE)

PLANNING DEPARTMENT

1. STREET TREES SHALL BE REQUIRED ALONG BOTH SIDES OF THE NEW RESIDENTIAL SUBDIVISION STREET IN ACCORDANCE WITH CITY OF ORTING MUNICIPAL CODE AND APPROVED LANDSCAPE PLANS. STREET TREES ARE REQUIRED TO BE INSTALLED BEFORE RECEIVING A CERTIFICATE OF OCCUPANCY FOR EACH BUILDING PERMIT.
2. REQUIRED LANDSCAPING ON INDIVIDUAL LOTS SHALL BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION OF EACH LOT THIS LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPE PLAN OR ACCORDING TO A SUBSEQUENTLY AMENDED AND APPROVED LANDSCAPE PLAN.
3. A SIX-FOOT SOLID WOOD FENCE BETWEEN THE PERIMETER LANDSCAPING AND THE BUILDING ENVELOPE FOR LOT 13 WILL BE BUILT. THE PERIMETER LANDSCAPING SHALL BE OPEN TO THE BECKETT LANE SW RIGHT OF WAY.
4. LOT 1 FFF EXEMPTION: ONE RESIDENTIAL UNIT WAS EXISTING AND OCCUPIED ON THE PROPERTY PRIOR TO APPLICATION FOR DEVELOPMENT OF THIS SUBDIVISION. THE EXISTING SINGLE FAMILY HOME IS ALLOTTED ONE CREDIT AS IT RELATES TO IMPACT FEES, GENERAL FACILITY CHARGES, AND SYSTEM DEVELOPMENT CHARGES. THIS CREDIT SHALL BE APPLIED TO LOT 1. AND LOT 1 SHALL BE EXEMPT FROM TRAFFIC AND PARK IMPACT FEES AS WELL AS GENERAL FACILITY CHARGES FOR WATER AS REQUIRED BY CITY OF ORTING MUNICIPAL CODE AND AS CONDITIONED ON THE APPROVED PLAT.

REFERENCES

1. MEADOWS AT ORTING DIVISION 2 PHASE 3 PER AFN 201701135001
2. MEADOWS AT ORTING DIVISION 2 PHASE 2 PER AFN 201504165001
3. MEADOWS AT ORTING DIVISION 2 PHASE 1 PER AFN 201306275004
4. MEADOWS AT ORTING PHASE 1 PER AFN 200702165026
5. RECORD OF SURVEY PER AFN 200404275002
6. DEED PER AFN 20130128081

BASIS OF BEARING

NORTH 43°00'32" WEST FROM THE SOUTH-EAST CORNER TO THE CENTER OF SECTION, SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, W.M. PER PLAT RECORDED UNDER PIERCE COUNTY AUDITORS NUMBER 201504165001.

SURVEY NOTES

1. THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE "SURVEY RECORDING ACT", CHAPTER 58.09 RCW AND 332-130 WAC.
2. EQUIPMENT USED: FOCUS 30 TOTAL STATION; TRIMBLE R3 (GPS)
3. METHOD AND DATE OF MONUMENT LOCATION: GPS AND OPTICAL TRAVERSE ON JANUARY 22, 2018.

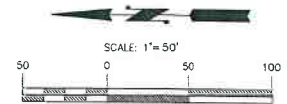


C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
 428 - 29TH ST. NE, SUITE D
 PUYALLUP, WA 98372
 (253) 845-4282
 ceservices@cesnwinc.com
 JOB# 17171

MEADOWS AT ORTING SOUTH

SHEET 3 OF 4

A PORTION OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON



LEGEND

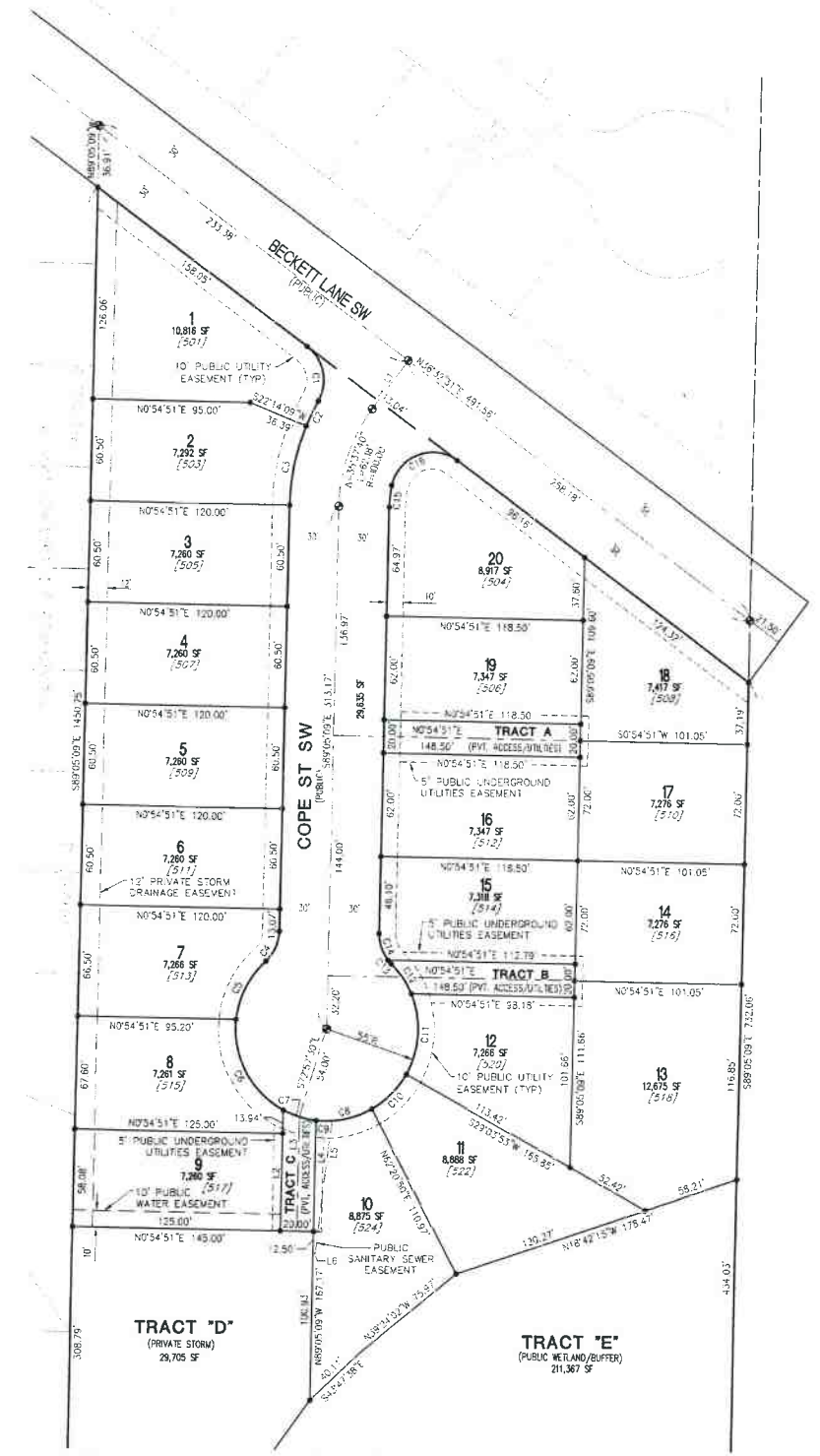
- SET PIERCE COUNTY STANDARD MONUMENT "LS 38985"
- SET REBAR AND CAP "LS 38985"
- SF SQUARE FOOTAGE OF LOT
- [501] ADDRESS PROVIDED BY CITY OF ORTING SEE ADDRESS TABLE, SHEET 4 OF 4

Line Table		
Line #	Length	Direction
L1	36.03	S53°27'20"E
L2	56.08	N89°05'09"W
L3	66.14	S89°05'09"E
L4	66.24	S89°05'09"E
L5	78.08	S83°29'06"E
L6	1.80	N0°54'51"E

Curve Table			
Curve #	Length	Radius	Delta
C1	36.20	25.00	82°57'42"
C2	16.49	130.00	7°16'03"
C3	48.38	130.00	21°19'19"
C4	20.32	25.00	46°34'03"
C5	40.03	55.00	41°41'58"
C6	65.11	55.00	87°49'57"
C7	20.95	55.00	21°49'11"
C8	34.82	55.00	36°18'28"
C9	9.53	65.00	9°55'41"
C10	29.56	55.00	30°47'27"
C11	49.87	55.00	51°57'06"
C12	21.55	55.00	22°46'00"
C13	3.09	25.00	7°04'55"
C14	17.23	25.00	39°29'28"
C15	13.03	70.00	10°39'47"
C16	50.18	25.00	14°57'53"

TRACT AREA TABLE	
TRACT	SQUARE FOOTAGE
A	2,370 SF
B	2,030 SF
C	1,369 SF

RADIAL BEARING TABLE	
LOT #	BEARING
7/8	N5°48'56"E
8/TRACT C	N62°03'01"W
TRACT C/10	N83°52'12"W
10/11	S59°51'20"W
11/12	S29°03'53"W
12/TRACT B	S22°53'12"E



MATCH LINE SEE SHEET 4

DEVELOPMENT ENGINEERING

- NO DIRECT VEHICULAR ACCESS SHALL BE ALLOWED TO BECKETT LANE SOUTHWEST FROM LOTS 1, 18 AND 20.
- ALL LOTS MUST ACCESS OFF INTERNAL PLAT ROADS.

BUILDING SETBACKS

- FRONT 25'
- REAR 25'
- SIDE 8'
- SIDE STREET 10'
- CORNER LOT 20'

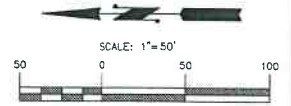


C.E.S. NW INC.
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425 - 28th St. NE, Suite D Puyallup, WA 98372
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MEADOWS AT ORTING SOUTH

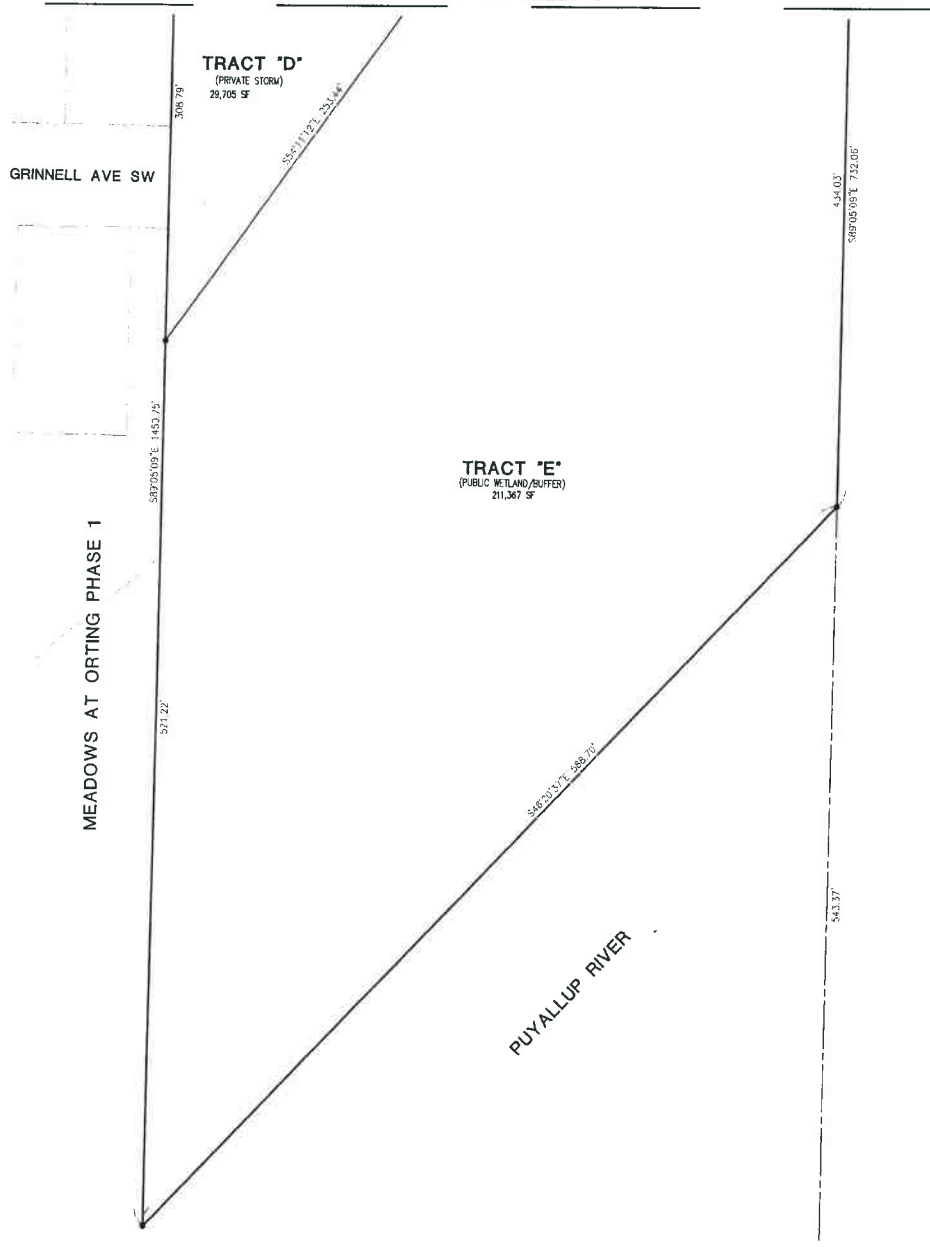
A PORTION OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, CITY OF ORTING, PIERCE COUNTY, WASHINGTON



LEGEND

- SET REBAR AND CAP "LS 38985"

MATCH LINE SEE SHEET 3



LOT ADDRESSES	
LOT #	ADDRESS
1	501 COPE STREET SW
2	503 COPE STREET SW
3	505 COPE STREET SW
4	507 COPE STREET SW
5	509 COPE STREET SW
6	511 COPE STREET SW
7	513 COPE STREET SW
8	515 COPE STREET SW
9	517 COPE STREET SW
10	524 COPE STREET SW
11	522 COPE STREET SW
12	520 COPE STREET SW
13	518 COPE STREET SW
14	516 COPE STREET SW
15	514 COPE STREET SW
16	512 COPE STREET SW
17	510 COPE STREET SW
18	508 COPE STREET SW
19	506 COPE STREET SW
20	504 COPE STREET SW



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Bus: (253) 848-4282 ceservices@cesnwinco.com
JOB# 17171



First American

First American Title Insurance Company

712 Shaw Road E
Puyallup, WA 98372

June 5, 2020

Craig Deaver
C.E.S. NW Inc
310 29th Street Northeast, Suite 101
Puyallup, WA 98372

Phone: (253)848-4282
Fax: (253)848-4278

Title Officer: Bronwyn Shoemaker
Phone: (253)382-2811
Fax No.: (866)651-5629
E-Mail: bshoemaker@firstam.com
Order Number: 3002549

Escrow Number: 3002549

Buyer:

Owner: ORTING 4
Property: 403 Beckett Lane SW
Orting, Washington 98360

Attached please find the following item(s):

Guarantee

Thank You for your confidence and support. We at First American Title Insurance Company maintain the fundamental principle:

Customer First!



First American

Guarantee

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
5003353-3002549

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE LIMITS OF LIABILITY AND THE CONDITIONS AND STIPULATIONS OF THIS GUARANTEE,

FIRST AMERICAN TITLE INSURANCE COMPANY
a Nebraska corporation, herein called the Company

GUARANTEES

C.E.S. NW Inc

the Assured named in Schedule A against actual monetary loss or damage not exceeding the liability stated in Schedule A, which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

First American Title Insurance Company

Dennis J. Gilmore, President

Greg L. Smith, Secretary

This jacket was created electronically and constitutes an original document

SCHEDULE OF EXCLUSIONS FROM COVERAGE OF THIS GUARANTEE

1. Except to the extent that specific assurances are provided in Schedule A of this Guarantee, the Company assumes no liability for loss or damage by reason of the following:
 - (a) Defects, liens, encumbrances, adverse claims or other matters against the title, whether or not shown by the public records.
 - (b) (1) Taxes or assessments of any taxing authority that levies taxes or assessments on real property; or, (2) Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not the matters excluded under (1) or (2) are shown by the records of the taxing authority or by the public records.
 - (c) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water, whether or not the matters excluded under (1), (2) or (3) are shown by the public records.
2. Notwithstanding any specific assurances which are provided in Schedule A of this Guarantee, the Company assumes no liability for loss or damage by reason of the following:
 - (a) Defects, liens, encumbrances, adverse claims or other matters affecting the title to any property beyond the lines of the land expressly described in the description set forth in Schedule (A), (C) or in Part 2 of this Guarantee, or title to streets, roads, avenues, lanes, ways or waterways to which such land abuts, or the right to maintain therein vaults, tunnels, ramps or any structure or improvements; or any rights or easements therein, unless such property, rights or easements are expressly and specifically set forth in said description.
 - (b) Defects, liens, encumbrances, adverse claims or other matters, whether or not shown by the public records; (1) which are created, suffered, assumed or agreed to by one or more of the Assureds; (2) which result in no loss to the Assured; or (3) which do not result in the invalidity or potential invalidity of any judicial or non-judicial proceeding which is within the scope and purpose of the assurances provided.
 - (c) The identity of any party shown or referred to in Schedule A.
 - (d) The validity, legal effect or priority of any matter shown or referred to in this Guarantee.

GUARANTEE CONDITIONS AND STIPULATIONS

1. Definition of Terms.

The following terms when used in the Guarantee mean:

- (a) the "Assured": the party or parties named as the Assured in this Guarantee, or on a supplemental writing executed by the Company.
- (b) "land": the land described or referred to in Schedule (A)(C) or in Part 2, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule (A)(C) or in Part 2, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- (c) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- (d) "public records": records established under state statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- (e) "date": the effective date.

2. Notice of Claim to be Given by Assured Claimant.

An Assured shall notify the Company promptly in writing in case knowledge shall come to an Assured hereunder of any claim of title or interest which is adverse to the title to the estate or interest, as stated herein, and which might cause loss or damage for which the Company may be liable by virtue of this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any Assured unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

3. No Duty to Defend or Prosecute.

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

4. Company's Option to Defend or Prosecute Actions; Duty of Assured Claimant to Cooperate.

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 3 above:

- (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in (b), or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured, or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- (b) If the Company elects to exercise its options as stated in Paragraph 4(a) the Company shall have the right to select counsel of its choice (subject to the right of such Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.
- (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, an Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such Assured for this purpose. Whenever requested by the Company, an Assured, at the Company's expense, shall give the Company all

GUARANTEE CONDITIONS AND STIPULATIONS (Continued)

reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.

5. Proof of Loss or Damage.

In addition to and after the notices required under Section 2 of these Conditions and Stipulations have been provided to the Company, a proof of loss or damage signed and sworn to by the Assured shall be furnished to the Company within ninety (90) days after the Assured shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the matters covered by this Guarantee which constitute the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of the Assured to provide the required proof of loss or damage, the Company's obligation to such assured under the Guarantee shall terminate. In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.

6. Options to Pay or Otherwise Settle Claims: Termination of Liability.

In case of a claim under this Guarantee, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Liability or to Purchase the Indebtedness.
The Company shall have the option to pay or settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Guarantee, or to pay the full amount of this Guarantee or, if this Guarantee is issued for the benefit of a holder of a mortgage or a lienholder, the Company shall have the option to purchase the

indebtedness secured by said mortgage or said lien for the amount owing thereon, together with any costs, reasonable attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of purchase.

Such purchase, payment or tender of payment of the full amount of the Guarantee shall terminate all liability of the Company hereunder. In the event after notice of claim has been given to the Company by the Assured the Company offers to purchase said indebtedness, the owner of such indebtedness shall transfer and assign said indebtedness, together with any collateral security, to the Company upon payment of the purchase price.

Upon the exercise by the Company of the option provided for in Paragraph (a) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 4, and the Guarantee shall be surrendered to the Company for cancellation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Assured or With the Assured Claimant.

To pay or otherwise settle with other parties for or in the name of an Assured claimant any claim assured against under this Guarantee, together with any costs, attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.

Upon the exercise by the Company of the option provided for in Paragraph (b) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 4.

7. Determination and Extent of Liability.

This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in this Guarantee and only to the extent herein described, and subject to the Exclusions From Coverage of This Guarantee.

The liability of the Company under this Guarantee to the Assured shall not exceed the least of:

- (a) the amount of liability stated in Schedule A or in Part 2;
- (b) the amount of the unpaid principal indebtedness secured by the mortgage of an Assured mortgagee, as limited or provided under Section 6 of these Conditions and Stipulations or as reduced under Section 9 of these Conditions and Stipulations, at the time the loss or damage assured against by this Guarantee occurs, together with interest thereon; or
- (c) the difference between the value of the estate or interest covered hereby as stated herein and the value of the estate or interest subject to any defect, lien or encumbrance assured against by this Guarantee.

8. Limitation of Liability.

- (a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures any other matter assured against by this Guarantee in a reasonably diligent manner by

GUARANTEE CONDITIONS AND STIPULATIONS (Continued)

any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.

- (b) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, as stated herein.
- (c) The Company shall not be liable for loss or damage to any Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.

9. Reduction of Liability or Termination of Liability.

All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 4 shall reduce the amount of liability pro tanto.

10. Payment of Loss.

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within thirty (30) days thereafter.

11. Subrogation Upon Payment or Settlement.

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant. The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies. If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

12. Arbitration.

Unless prohibited by applicable law, either the Company or the Assured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision or other obligation. All arbitrable matters when the Amount of Liability is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. The Rules in effect at Date of Guarantee shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permits a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

13. Liability Limited to This Guarantee; Guarantee Entire Contract.

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

14. Notices, Where Sent.

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at **First American Title Insurance Company, Attn: Claims National Intake Center, 1 First American Way, Santa Ana, California 92707** Claims.NIC@firstam.com Phone: 888-632-1642 Fax: 877-804-7606



First American Title



First American

Schedule A

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

Order No.: 3002549

Liability: \$2,000.00

Fee: \$350.00

Tax: \$34.65

Name of Assured: C.E.S. NW Inc

Date of Guarantee: September 28, 2020

The assurances referred to on the face page hereof are:

1. Title is vested in:

COPPER RIDGE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY
2. That, according to the public records relative to the land described in Schedule C attached hereto (including those records maintained and indexed by name), there are no other documents affecting title to said land or any portion thereof, other than those shown under Record Matters in Schedule B.
3. The following matters are excluded from the coverage of this Guarantee
 - A. Unpatented Mining Claims, reservations or exceptions in patents or in acts authorizing the issuance thereof.
 - B. Water rights, claims or title to water.
 - C. Tax Deeds to the State of Washington.
 - D. Documents pertaining to mineral estates.
4. No guarantee is given nor liability assumed with respect to the validity, legal effect or priority of any matter shown herein.
5. This Guarantee is restricted to the use of the Assured for the purpose of providing title evidence as may be required when subdividing land pursuant to the provisions of Chapter 58.17, R.C.W., and the local regulations and ordinances adopted pursuant to said statute. It is not to be used as a basis for closing any transaction affecting title to said property.
6. Any sketch attached hereto is done so as a courtesy only and is not part of any title commitment, guarantee or policy. It is furnished solely for the purpose of assisting in locating the premises and First American expressly disclaims any liability which may result from reliance made upon it.



First American

Schedule B

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

RECORD MATTERS

1. General Taxes for the year 2020. PAID IN FULL

Tax Account No.: 0519323054

1st Half

Amount Billed: \$ 2,694.57
Amount Paid: \$ 2,694.57
Amount Due: \$ 0.00
Assessed Land Value: \$ 248,600.00
Assessed Improvement Value: \$ 147,100.00

2nd Half

Amount Billed: \$ 2,694.57
Amount Paid: \$ 2,694.57
Amount Due: \$ 0.00
Assessed Land Value: \$ 248,600.00
Assessed Improvement Value: \$ 147,100.00

2. Easement, including terms and provisions contained therein:

Recording Information: [1760954](#)
In Favor of: Pierce County
For: Ingress and egress

3. Easement, including terms and provisions contained therein:

Recorded: March 12, 2020
Recording Information: [202003120316](#)
In Favor Of: Puget Sound Energy, Inc., a Washington corporation
For: Electric and/or gas transmission and/or distribution system

4. Boundary Line Agreement and the terms and conditions thereof:

Between: Bill C. Williams
And: Lorene Jones
Recording Information: [200112130825](#)

Said agreement also recorded under recording No. [200202280280](#).

5. Conditions, notes, easements, provisions and/or encroachments contained or delineated on the face of the Survey recorded under Recording No. [200407265002](#).
6. Rights of the State of Washington in and to that portion of said premises, if any, lying in the bed or former bed of Puyallup River, if it is navigable.
7. Any question that may arise due to the shifting and/or changing in the course of Puyallup River.

8. Any prohibition or limitation on the use, occupancy or improvements of the land resulting from the right of the public or riparian owners to use any waters which may cover the land or to use any portion of the land which is now or may formerly have been covered by water.
9. Paramount rights and easements in favor of the United States for commerce, navigation, fisheries and the production of power.

Informational Notes, if any



First American

Schedule C

Subdivision Guarantee

ISSUED BY
First American Title Insurance Company

GUARANTEE NUMBER
3002549

The land in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

Salamon Olson & Sophie Olson
Orting Washington
D 3/8

7-10-56

EASEMENT

THIS AGREEMENT made and entered into this 1 day of June,
A. D. 19 56, by and between Salamon Olson & Sophie Olson,
parties of the first part, and PIERCE COUNTY,
WASHINGTON, a municipal corporation, party of the second part,

WITNESSETH:

THAT for and in consideration of the sum of One
----- Dollar^s, and of the benefits and advantages to accrue
to us, we, the parties of the first part, do hereby grant unto Pierce County, Wash-
ington, a municipal corporation, party of the second part, a ~~term~~ perpetual
easement, ~~expiring~~ ----- allowing
ingress and egress over and across the following described property, to-wit:

Section 12 - Twp 19 - Range 5E - that pt of fall outside Orting
beg stone mon 1/16 sec cor W bdy SW N 0°55' W 1355.5 ft to 1/4 sec cor
E along ctrln sec 2261.5 ft S 35° W 1660 ft S 89° 49'15" W 1275.72 ft
to beg, and more particularly an easement from the North approach of the
Soldiers' Home Bridge to the right bank of the Puyallup River and from the
Soldiers' Home Road to the left bank of the Puyallup River thence upstream
and downstream along both of said banks of river the Puyallup River which
borders the above described property.
for the purpose of hauling rock or other material or equipment to the river
bank for river bank protection, channel development, maintenance of the
river channel work only.

ACCEPTED
[Signature]
Accepted: [Signature] Sophie Olson
[Signature] Salamon Olson

Chairman, Board of County Commissioners.
Pierce County, Washington.
STATE OF WASHINGTON }
COUNTY OF PIERCE } ss.

1760954

I, the undersigned, a Notary Public in and for the said State, do hereby
certify that on this 1 day of June, 19 56, personally
appeared before me Salamon Olson and Sophie Olson
Sophie Olson to me known to be the individual J
described in and who executed the within instrument and acknowledged that
signed and sealed the same as their free and voluntary act and deed for
the uses and purposes therein mentioned.

IN WITNESS WHEREOF I have hereunto set my hand and affixed my official
seal the day and year in this certificate first above written.

Anton Rausch
Notary Public in and for the State of
Washington, residing at Orting



30 JUN 14 1956

PL 184
P43

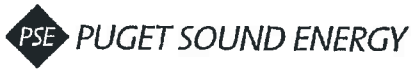
1057



Page: 1

202003120316 ACLARK1 4 PGS
03/12/2020 11:46:22 AM \$106.50
AUDITOR, Pierce County, WASHINGTON

RETURN ADDRESS:
Puget Sound Energy, Inc.
Attn: ROW Department
3130 S. 38th Street
Tacoma, WA 98409
MLH



EASEMENT

ORIGINAL

REFERENCE #:
GRANTOR (Owner): COPPER RIDGE, LLC
GRANTEE (PSE): PUGET SOUND ENERGY, INC.
SHORT LEGAL: PTN NW ¼ & NE ¼ SW ¼ 32-19N-05E
ASSESSOR'S PROPERTY TAX PARCEL: 051932-3-054

For and in consideration of good and valuable consideration, the receipt and sufficiency of which are acknowledged, COPPER RIDGE, LLC, a Washington limited liability company ("Owner" herein), hereby grants and conveys to PUGET SOUND ENERGY, INC., a Washington corporation ("PSE" herein), for the purposes described below, a nonexclusive perpetual easement over, under, along across and through the following described real property (the "Property" herein) in PIERCE County, Washington:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

Except as may be otherwise set forth herein PSE's rights shall be exercised upon that portion of the Property ("Easement Area" herein) described as follows:

EASEMENT NO. 1: ALL STREETS AND ROAD RIGHTS-OF-WAY (BOTH PRIVATE AND PUBLIC) AS NOW OR HEREAFTER DESIGNED, PLATTED, AND/OR CONSTRUCTED WITHIN THE ABOVE DESCRIBED PROPERTY.

EASEMENT NO. 2: A STRIP OF LAND 10 FEET IN WIDTH ACROSS ALL LOTS AND OPEN SPACES LOCATED WITHIN THE ABOVE DESCRIBED PROPERTY BEING PARALLEL TO AND COINCIDENT WITH THE BOUNDARIES OF SAID PRIVATE AND PUBLIC STREETS AND ROAD RIGHTS-OF-WAY.

EASEMENT NO. 3 (UNDERGROUND ONLY/NO AIRSPACE): A STRIP OF LAND 5 FEET IN WIDTH ACROSS ALL LOTS ABUTTING PRIVATE ACCESS TRACTS A, B AND C LOCATED WITHIN THE ABOVE DESCRIBED PROPERTY BEING PARALLEL TO AND COINCIDENT WITH THE BOUNDARIES OF SAID PRIVATE ACCESS TRACTS. EXCEPTING FROM EASEMENT NO. 3, EAVES/OVERHANGS FOR RESIDENTIAL STRUCTURES.

UG gas & electric / Job #105093388 10709043 / RW-116072 / Not 11605664

EXCISE TAX EXEMPT DATE 3/12/20
Pierce County

By  Auth. Sig.

1. Purpose. PSE shall have the right to use the Easement Area to construct, operate, maintain, repair, replace, improve, remove, upgrade and extend one or more utility systems for purposes of transmission, distribution and sale of gas and electricity. Such systems may include, but are not limited to:

a. Underground facilities. Conduits, lines, cables, vaults, switches and transformers for electricity; pipes, pipelines, mains, laterals, conduits, regulators, gauges and rectifiers for gas; fiber optic cable and other lines, cables and facilities for communications; semi-buried or ground-mounted facilities and pads, manholes, meters, fixtures, attachments and any and all other facilities or appurtenances necessary or convenient to any or all of the foregoing.

Following the initial construction of all or a portion of its systems, PSE may, from time to time, construct such additional facilities as it may require for such systems. PSE shall have the right of access to the Easement Area over and across the Property to enable PSE to exercise its rights granted in this easement.

2. Easement Area Clearing and Maintenance. PSE shall have the right, but not the obligation to cut, remove and dispose of any and all brush, trees or other vegetation in the Easement Area. PSE shall also have the right, but not the obligation, to control, on a continuing basis and by any prudent and reasonable means, the establishment and growth of brush, trees or other vegetation in the Easement Area.

3. Trees Outside Easement Area. PSE shall have the right to cut, trim remove and dispose of any trees located on the Property outside the Easement Area that could, in PSE's sole judgment, interfere with or create a hazard to PSE's systems. PSE shall, except in the event of an emergency, prior to the exercise of such right, identify such trees and make a reasonable effort to give Owner prior notice that such trees will be cut, trimmed, removed or disposed. Owner shall be entitled to compensation for the actual market value of merchantable timber (if any) cut and removed from the Property by PSE.

4. Restoration. Following initial installation, repair or extension of its facilities, PSE shall, to the extent reasonably practicable, restore landscaping and surfaces and portions of the Property affected by PSE's work to the condition existing immediately prior to such work. PSE shall use good faith efforts to perform its restoration obligations under this paragraph as soon as reasonably possible after the completion of PSE's work.

5. Owner's Use of Easement Area. Owner reserves the right to use the Easement Area for any purpose not inconsistent with the rights herein granted, provided, however, Owner shall not excavate within or otherwise change the grade of the Easement Area or construct or maintain any buildings or structures on the Easement Area and Owner shall do no blasting within 300 feet of PSE's facilities without PSE's prior written consent.

6. Indemnity. PSE agrees to indemnify Owner from and against liability incurred by Owner as a result of the negligence of PSE or its contractors in the exercise of the rights herein granted to PSE, but nothing herein shall require PSE to indemnify Owner for that portion of any such liability attributable to the negligence of Owner or the negligence of others.

7. Termination. The rights herein granted shall continue until such time as PSE terminates such right by written instrument. If terminated any improvements remaining in the Easement Area shall become the property of Owner. No termination shall be deemed to have occurred by PSE's failure to install its systems on the Easement Area.

8. Successors and Assigns. PSE shall have the right to assign, apportion or otherwise transfer any or all of its rights, benefits, privileges and interests arising in and under this easement. Without limiting the generality of the foregoing, the rights and obligations of the parties shall be binding upon their respective successors and assigns.

EXHIBIT "A"

LEGAL DESCRIPTION:

Parcel A:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Beginning at the intersection of the South line of said subdivision and the Westerly Margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence North 35°30'00" East, 60.00 feet;
thence South 89°57'37" West, 1450.75 feet to the Easterly bank of the Puyallup River;
thence South 47°18'24" East along said River Bank, 589.46 feet to the South line of said North half;
thence North 89°57'37" East along said South line, 732.06 feet to the point of beginning.

Parcel B:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Commencing at the intersection of the South line of said subdivision and the Westerly margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet to the true point of beginning;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence South 35°30'00" West, 131.00 feet to the point of beginning.

Situate in the City of Orting, County of Pierce, State of Washington.

DATED this 27th day of January, 2020.

OWNER: **COPPER RIDGE, LLC**

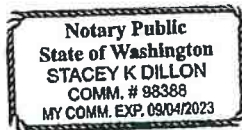
BY: [Signature]

TITLE: manager

STATE OF WASHINGTON)
COUNTY OF Pierce)ss

On this 27th day of January, 2020, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Kurt Wilson (name), to me known to be the person who signed as manager (member/managing member), of **COPPER RIDGE, LLC**, a Washington limited liability company, the LLC that executed the within and foregoing instrument, and acknowledged said instrument to be his/her free and voluntary act and deed and the free and voluntary act and deed of **COPPER RIDGE, LLC**, for the uses and purposes therein mentioned; and on oath stated that he/she was authorized to execute the said instrument on behalf of said limited liability company.

IN WITNESS WHEREOF I have hereunto set my hand and official seal the day and year first above written.



[Signature]
(Signature of Notary)

Stacey K. Dillon
(Print or stamp name of Notary)

NOTARY PUBLIC in and for the State of Washington, residing at Orting WA 98360
My Appointment Expires: 09/04/2023

Notary seal, text and all notations must not be placed within 1" margins

Bennett PSE Inc
720 E MAIN
Puyallup WA 98372

Boundary Line Agreement
SW ¼ of Sec. 32, Twn 19 N, Rge 5 E., W.M.

THIS AGREEMENT by and between Lill C. Williams owner
of Parcel # 051932-3-036 hereinafter termed "Grantor", and
Lorene Jones owner of Parcel Number
051932-3-035 hereinafter termed "Grantee".

WITNESSETH:

That Grantor, for valuable consideration, the receipt of which is hereby acknowledged, hereby conveys to the Grantee;

This agreement is to allow an existing fence of containment to be relocated by grantee to the following described:

That portion of the North half of the Southwest quarter of Section 32, Township 19 North, Range 5 East, W.M. in Pierce County, Washington, described as follows:

Beginning at the intersection of the South line of said subdivision and the westerly margin of Beckett Road; thence North 35°30'00" East along said margin 491.56 feet to the True Point of Beginning of the boundary line for this agreement; thence South 89°57'37" West, 1057.50 feet and the Terminus of the common boundary line.

Grantor agrees to forfeit forever all rights to any land northerly of said described line.

SIGNED THIS 11 day of Dec, 2001.

Lill C. Williams Jr.

James R. Vukich
Agent for Lorene Jones

State of Washington)
County of Pierce)ss

On this 11 day of December, 2001, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this 11 day of December, 2001



Marlene Wade
Notary Public in and for the State of Washington
residing at Ostia
My appointment expires: 12-1-02

State of Washington)
County of Pierce)ss

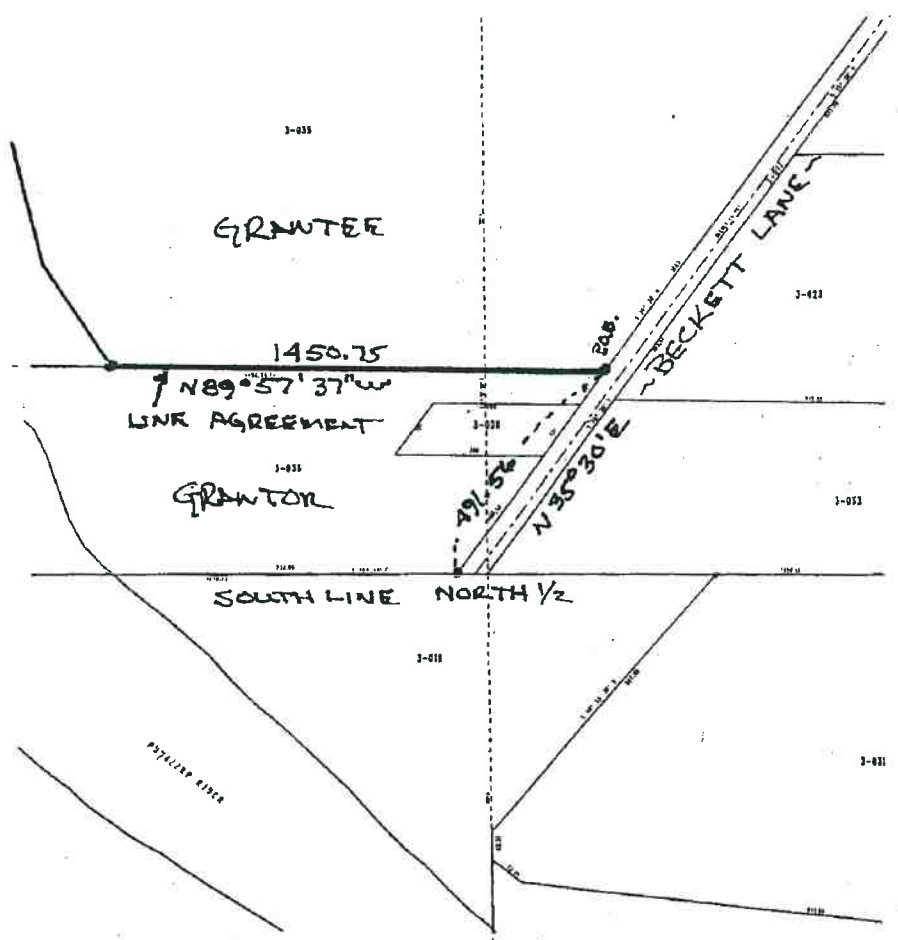
On this 11 day of December, 2001, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared Bill Williams + Jane Debiak to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this 11 day of December, 2001



Marlene Wade
Notary Public in and for the State of Washington
residing at Ostia
My appointment expires: 12-1-02

EXHIBIT



200202280280 2 pg
2-28-2002 09:12am \$10.00
PIERCE COUNTY, WASHINGTON

Bennett PSE
720 E. Main
Puyallup, WA 98372

Boundary Line Agreement
SW 1/4 of Sec. 32, Twn 19 N, Rge 5 E., W.M.

THIS AGREEMENT by and between Bill C. Williams owner
of Parcel # 051932-3-038 hereinafter termed "Grantor", and
Maldine L. Williams owner of Parcel Number
Allen Jones # 051932-3-035 hereinafter termed "Grantee".

WITNESSETH:

That Grantor, for valuable consideration, the receipt of which is hereby acknowledged, hereby conveys to the Grantee;

This agreement is to allow an existing fence of containment to be relocated by grantee to the following described:

That portion of the North half of the Southwest quarter of Section 32, Township 19 North, Range 5 East; W.M. in Pierce County, Washington, described as follows:

Beginning at the intersection of the South line of said subdivision and the westerly margin of Beckett Road; thence North 35°30'00" East along said margin 491.56 feet to the True Point of Beginning of the boundary line for this agreement; thence South 89°57'37" West, 1057.50 feet and the Terminus of the common boundary line.

Grantor agrees to forfeit forever all rights to any land northerly of said described line.

SIGNED THIS 13th day of Feb, 2002

Bill C. Williams Maldine L. Williams

notarized
next
page

10-

State of Washington)
)ss
County of)

On this _____ day of _____, 20____, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this _____ day of _____, 20__.

Notary Public in and for the State of Washington
residing at _____
My appointment expires: _____

State of Washington)
)ss
County of Pierce)

On this 12 day of Feb, 2002, before me the undersigned Notary Public in and for the State of Washington, duly sworn personally appeared Bill Williams & GerAldine Williams to me known to be the individual(s) described in and who executed the foregoing agreement and acknowledge to be that they signed this said instrument as their free and voluntary action for the purpose and uses therein made.

GIVEN UNDER my hand and official seal this 12 day of Feb, 2002.



Marlene Wade

Notary Public in and for the State of Washington
residing at Ostlin
My appointment expires: 12-1-02

RECORD OF SURVEY

LOCATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 32, TOWNSHIP 19 NORTH, RANGES 5 EAST, WILLAMETTE MERIDIAN PIERCE COUNTY, WASHINGTON



- LEGEND**
- MONUMENT FOUND AS NOTED
 - MONUMENT FOUND AS NOTED
 - REBAR AND CAP SET THIS SURVEY
 - (R) RECORDED
 - (D) DEED
 - (C) CALCULATED
 - FENCE
 - TOE OF DIKE AS OF 6/7/04
 - MONUMENT LINE

SURVEYORS' NOTES:

1. THIS SURVEY DOES NOT PURPORT TO SHOW EASEMENTS OF RECORD OR THE LOCATION OF UTILITIES - EXCEPT AS SHOWN.
2. THE METHOD OF MONUMENT LOCATION HAS FIELD TRAVERSE, THE METHOD OF MONUMENT LOCATION HAS FIELD TRAVERSE, THE METHOD OF MONUMENT LOCATION HAS FIELD TRAVERSE.
3. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS SET FORTH IN WAC 332-130.
4. BASIS OF BEARING: THE NORTH LINE OF THE NW 1/4 OF THE SW 1/4 AS IN R.O.S. 200101055001.

THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF CHAPTER 36.09 RCW AND 362-130 WAC.

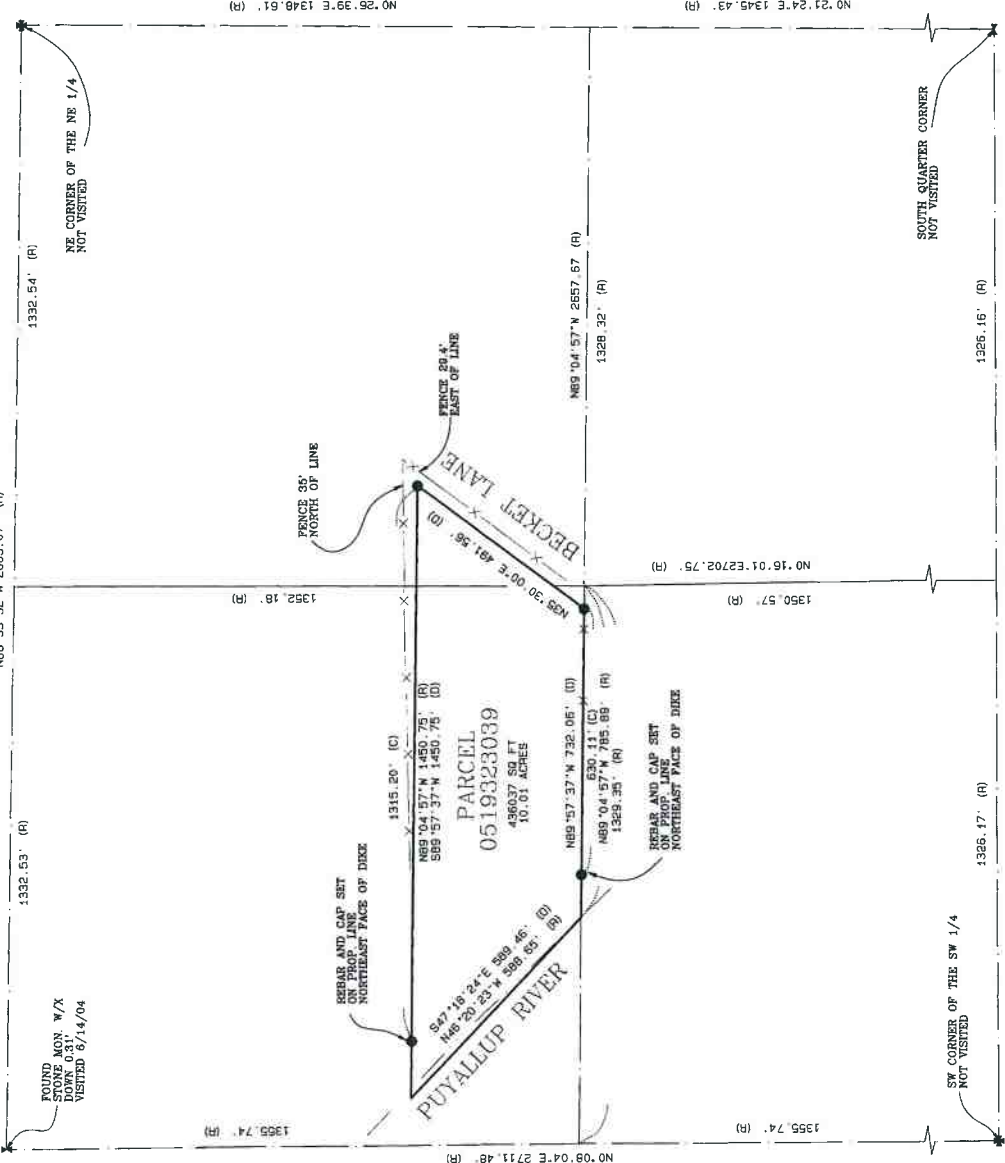
LEGAL DESCRIPTION

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE WILLAMETTE MERIDIAN, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 32 TO THE EAST ALONG SAID SOUTH LINE NORTH 89°57'37" WEST 1400.75 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE SOUTH 89°57'37" WEST 1400.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER; THENCE SOUTHWEST ALONG SAID EASTERLY BANK OF SAID RIVER TO THE SOUTH LINE OF SAID SECTION 32; THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE 732.06 FEET TO THE POINT OF BEGINNING IN ORTING, PIERCE COUNTY, WASHINGTON.

REFERENCE INFO:

R.O.S. 200101055001

GRAPHIC SCALE: 1" = 200'



Evergreen precision surveying LLC
 Bentley E. Shafer
 P.O. BOX 1121 ORTING, WA 98560 . 360-988-6778
 BentleyShafer@evergreen.com



SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT. AT THE REQUEST OF BILL WILLIAMS IN JULY OF 2004.

BENTLEY E. SHAFER
 CERTIFICATE NO. 35984

AUDITOR'S CERTIFICATE \$25.00

FILED FOR RECORD THIS 24th DAY OF JULY 2004, AT THE REQUEST OF BILL WILLIAMS. AUDITOR'S FEE NO. 200411245002

10:30 AM

Deputy Auditor

COUNTY AUDITOR

RECORD OF SURVEY

FOR: BILL WILLIAMS
 401 BECKETT LN. SW.
 ORTING WA, 98360

DATE: 7/09/04 JOB NO. 00560
 COPYRIGHT 2004. EVERGREEN PRECISION SURVEYING

200407225002

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Pierce, State of Washington, described as follows:

PARCEL A:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 60.00 FEET;
THENCE SOUTH 89°57'37" WEST, 1450.75 FEET TO THE EASTERLY BANK OF THE PUYALLUP RIVER;
THENCE SOUTH 47°18'24" EAST ALONG SAID RIVER BANK, 589.46 FEET TO THE SOUTH LINE OF SAID NORTH HALF;
THENCE NORTH 89°57'37" EAST ALONG SAID SOUTH LINE, 732.06 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 19 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SUBDIVISION AND THE WESTERLY MARGIN OF BECKETT ROAD;
THENCE NORTH 35°30'00" EAST ALONG SAID MARGIN, 300.56 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 89°57'37" WEST, 300.00 FEET;
THENCE NORTH 35°30'00" EAST, 131.00 FEET;
THENCE NORTH 89°57'37" EAST, 300.00 FEET;
THENCE SOUTH 35°30'00" WEST, 131.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF ORTING, COUNTY OF PIERCE, STATE OF WASHINGTON.

Tax Parcel ID No. 0519323054



Privacy Notice

Effective: January 1, 2020

Notice Last Updated: January 1, 2020

This Privacy Notice describes how First American Financial Corporation and its subsidiaries and affiliates (together referred to as "First American," "we," "us," or "our") collect, use, store, and share your information. This Privacy Notice applies to information we receive from you offline only, as well as from third parties. For more information about our privacy practices, please visit <https://www.firstam.com/privacy-policy/index.html>. The practices described in this Privacy Notice are subject to applicable laws in the places in which we operate.

What Type Of Information Do We Collect About You? We collect both **personal** and **non-personal information** about and from you. **Personal information** is non-public information that can be used to directly or indirectly identify or contact you. **Non-personal information** is any other type of information.

How Do We Collect Your Information? We collect your **personal** and **non-personal information**: (1) directly from you; (2) automatically when you interact with us; and (3) from third parties, including business parties and affiliates.

How Do We Use Your Information? We may use your personal information in a variety of ways, including but not limited to providing the services you have requested, fulfilling your transactions, comply with relevant laws and our policies, and handling a claim. We may use your **non-personal information** for any purpose.

How Do We Share Your Personal Information? We do not sell your **personal information** to nonaffiliated third parties. We will only share your **personal information**, including to subsidiaries, affiliates, and to unaffiliated third parties: (1) with your consent; (2) in a business transfer; (3) to service providers; and (4) for legal process and protection. If you have any questions about how First American shares your **personal information**, you may contact us at dataprivacy@firstam.com or toll free at 1-866-718-0097.

How Do We Secure Your Personal Information? The security of your **personal information** is important to us. That is why we take commercially reasonable steps to make sure your **personal information** is protected. We use our best efforts to maintain commercially reasonable technical, organizational, and physical safeguards, consistent with applicable law, to protect your **personal information**.

How Long Do We Keep Your Personal Information? We keep your **personal information** for as long as necessary in accordance with the purpose for which it was collected, our business needs, and our legal and regulatory obligations.

Your Choices We provide you the ability to exercise certain controls and choices regarding our collection, use, storage, and sharing of your **personal information**. In accordance with applicable law, your controls and choices. You can learn more about your choices, and exercise these controls and choices, by sending an email to dataprivacy@firstam.com or toll free at 1-866-718-0097.

International Jurisdictions: Our Products are hosted and offered in the United States of America (US), and are subject to US federal, state, and local law. If you are accessing the Products from another country, please be advised that you may be transferring your **personal information** to us in the US, and you consent to that transfer and use of your **personal information** in accordance with this Privacy Notice. You also agree to abide by the applicable laws of applicable US federal, state, and local laws concerning your use of the Products, and your agreements with us.

We may change this Privacy Notice from time to time. Any and all changes to this Privacy Notice will be reflected on this page, and where appropriate provided in person or by another electronic method. **YOUR CONTINUED USE, ACCESS, OR INTERACTION WITH OUR PRODUCTS OR YOUR CONTINUED COMMUNICATIONS WITH US AFTER THIS NOTICE HAS BEEN PROVIDED TO YOU WILL REPRESENT THAT YOU HAVE READ AND UNDERSTOOD THIS PRIVACY NOTICE.**

Contact Us dataprivacy@firstam.com or toll free at 1-866-718-0097.



For California Residents

If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act of 2018 (“CCPA”). All phrases used in this section shall have the same meaning as those phrases are used under California law, including the CCPA.

Right to Know. You have a right to request that we disclose the following information to you: (1) the **categories of personal information** we have collected about or from you; (2) the categories of sources from which the **personal information** was collected; (3) the business or commercial purpose for such collection and/or disclosure of your personal information; (4) the categories of third parties with whom we have shared your **personal information**; and (5) the specific pieces of your **personal information** we have collected. To submit a verified request for this information, go to our online privacy policy at www.firstam.com/privacy-policy to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at www.firstam.com/privacy-policy to submit your request or by calling toll-free at 1-866-718-0097 and submitting written proof of such authorization to dataprivacy@firstam.com.

Right of Deletion. You also have a right to request that we delete the **personal information** we have collected from you. This right is subject to certain exceptions available under the CCPA and other applicable law. To submit a verified request for deletion, go to our online privacy policy at www.firstam.com/privacy-policy to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at www.firstam.com/privacy-policy to submit your request or by calling toll-free at 1-866-718-0097 and submitting written proof of such authorization to dataprivacy@firstam.com.

Verification Process. For either a request to know or delete, we will verify your identity before responding to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the personal information requested, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right to Opt-Out. We do not sell your personal information to third parties, and do not plan to do so in the future.

Right of Non-Discrimination. You have a right to exercise your rights under California law, including under the CCPA, without suffering discrimination. Accordingly, First American will not discriminate against you in any way if you choose to exercise your rights under the CCPA.

Collection Notice. The following is a list of the categories of personal information we may have collected about California residents in the twelve months preceding the date this Privacy Notice was last updated, including the business or commercial purpose for said collection, the categories of sources from which we may have collected the personal information, and the categories of third parties with whom we may have shared the personal information:

Categories of Personal Information Collected	The categories of personal information we have collected include, but may not be limited to: real name; signature; alias; SSN; physical characteristics or description, including protected characteristics under federal or state law; address; telephone number; passport number; driver’s license number; state identification card number; IP address; policy number; file number; employment history; bank account number; credit card number; debit card number; financial account numbers; commercial information; internet or other electronic network activity; geolocation data; audio and visual information; professional or employment information; and inferences drawn from the above categories to create a profile about a consumer.
Categories of Sources	Categories of sources from which we’ve collected personal information include, but may not be limited to: the consumer directly; public records; governmental entities; non-affiliated third parties; social media networks; affiliated third parties
Business Purpose for Collection	The business purposes for which we’ve collected personal information include, but may not be limited to: completing a transaction for our Products; verifying eligibility for employment; facilitating employment; performing services on behalf of affiliated and non-affiliated third parties; debugging to identify and repair errors that impair existing intended functionality on our Websites, Applications, or Products; protecting against malicious, deceptive, fraudulent, or illegal activity



Categories of Third Parties Shared	The categories of third parties with whom we've shared personal information include, but may not be limited to: advertising networks; internet service providers; data analytics providers; service providers; government entities; operating systems and platforms; social media networks; non-affiliated third parties; affiliated third parties
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Categories of Personal Information We Have Sold In The Past Year. We have not sold any personal information of California residents to any third party in the twelve months preceding the date this Privacy Notice was last updated.

Categories of Personal Information Disclosed For A Business Purpose In The Past Year. The following is a list of the categories of **personal information** of California residents we may have disclosed for a business purpose in the 12 months preceding the date this Privacy Notice was last updated: The categories of personal information we have collected include, but may not be limited to: real name; signature; alias; SSN; physical characteristics or description, including protected characteristics under federal or state law; address; telephone number; passport number; driver's license number; state identification card number; IP address; policy number; file number; employment history; bank account number; credit card number; debit card number; financial account numbers; commercial information; internet or other electronic network activity; geolocation data; audio and visual information; professional or employment information; and inferences drawn from the above categories to create a profile about a consumer.

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Electronically Recorded

Pierce County, WA KEISENB

10/10/2017 11:52 AM

Pages: 2 Fee: \$75.00

AFTER RECORDING MAIL TO:

Copper Ridge, LLC
P.O. Box 73790
Puyallup, WA 98373

F.A.T.C.O.
2940371

Filed for Record at Request of:
First American Title Insurance Company

Space above this line for Recordors use only

STATUTORY WARRANTY DEED

File No: **4260-2940371 (KV)**

Date: **October 06, 2017**

Grantor(s): **Billy C. Williams and Geraldine L. Williams**
Grantee(s): **Copper Ridge, LLC**
Abbreviated Legal: **NW-SW-32-19-05E, WM, Pierce County**
Additional Legal on page: **1**
Assessor's Tax Parcel No(s): **051932-3054**

THE GRANTOR(S) Billy C. Williams and Geraldine L. Williams, husband and wife for and in consideration of **Ten Dollars and other Good and Valuable Consideration**, in hand paid, conveys, and warrants to **Copper Ridge, LLC, a Washington limited liability company**, the following described real estate, situated in the County of **Pierce**, State of **Washington**.

LEGAL DESCRIPTION: Real property in the County of Pierce, State of Washington, described as follows:

Parcel A:

That Portion of the North half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Willamette Meridian, described as follows:

Beginning at the intersection of the South line of said subdivision and the Westerly Margin of Beckett Road;
thence North 35°30'00" East along said margin, 300.56 feet;
thence South 89°57'37" West, 300.00 feet;
thence North 35°30'00" East, 131.00 feet;
thence North 89°57'37" East, 300.00 feet;
thence North 35°30'00" East, 60.00 feet;
thence South 89°57'37" West, 1450.75 feet to the Easterly bank of the Puyallup River;
thence South 47°18'24" East along said River Bank, 589.46 feet to the South line of said North half;
thence North 89°57'37" East along said South line, 732.06 feet to the point of beginning.

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Pages: 1	Excise Collected: \$6,230.00
Proc. Fee: \$0.00	Tech Fee: \$5.00

When recorded return to:
J&M Management
17404 Meridian E
Suite F PMB 171
Puyallup, Washington 98375

**THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS FOR
MEADOWS AT ORTING HOMEOWNERS ASSOCIATION**

Grantor:	Copper Ridge, LLC, a Washington limited liability company
Grantee:	Plat of Meadows at Orting South; Meadows at Orting Homeowners Association, a Washington nonprofit corporation; The Public
Legal Description:	Lots 1-20, inclusive and Tracts A, B, C, D and E of Meadows at Orting South Pierce County Recording No. <hr/>
Assessor's Tax Parcel/Account Number:	0519323054
Reference No(s). of Related Documents:	201308200433, 201504160509, and 201701130841

**THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF
COVENANTS, CONDITIONS, AND RESTRICTIONS FOR MEADOWS AT
ORTING HOMEOWNERS ASSOCIATION**

This THIRD AMENDMENT AND SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR MEADOWS AT ORTING HOMEOWNERS ASSOCIATION (“**Amendment**”) is made by Copper Ridge, LLC a Washington limited liability company (the “**Declarant**”). This Amendment amends the Declaration of Covenants, Conditions, and Restrictions for Meadows at Orting Homeowners Association, recorded under Pierce County recording No. 201308200433; as amended by the First Amendment recorded under Pierce County recording No. 201504160509; and amended by the Second Amendment recorded under Pierce County recording No. 201701130841. (collectively, the “**Declaration**”). All capitalized terms used and not otherwise defined in this Amendment shall have the same meaning as in the Declaration.

Pursuant to Declarant’s authority under Section 9.1 of the Declaration allowing Declarant to subject additional property to the Declaration by recording a Supplemental Declaration describing the additional property, Declarant hereby amends the Declaration as follows:

1. Additional Property Subject to Declaration. The following property is added and made subject to and governed by all provisions of the Declaration and, further, Exhibit A to the Declaration is amended to add the following legal description:

Lots 1-20, inclusive and Tracts A, B, C, D and E of Meadows at Orting South, Pierce County Recording No. _____, Pierce County, Washington.

The undersigned hereby covenants, agrees and declares that all of the Additional Property and Housing Units constructed on the Additional Property are and will be held, sold and conveyed subject to the Declaration, which are made for the purpose of enhancing and protecting the value, desirability and attractiveness of the Properties and the Additional Property for the benefit of all of the Properties, the Additional Property and the owners thereof. The covenants, restrictions, reservations and conditions contained in the Declaration and this Third Amendment shall run with the Properties and Additional Property as easements and equitable servitudes. They shall be binding upon the Properties and Additional Property and each portion thereof, and all persons owning, purchasing, leasing, subleasing or occupying any Lot/Unit on the Properties and the Additional Property, and upon their respective heirs, successors and assigns.

2. Effective Date. This Amendment shall be effective upon recording.

3. Maintenance of Area of Common Responsibility: The following property is added and made subject to Section 7.2 of the Declaration as Common Responsibility: Tracts A, B, C, and D and the 15 foot drainage/maintenance easement for permanent swale along the rear 15 feet of all lots as designated on the recorded plat maps; Tracts A, B and C are also subject to Section 7.2 (j) for the private road and shared access easement. Tract E is dedicated to the City of Orting, the Association is responsible for the split rail fencing and signs around Tract E as Common Responsibility.

4. Maintenance of Community Landscaping, Street Trees, Drainage and Signage. The landscaping and Street Trees on the Lots located along the public rights of way of the Plat (Cope Street SW and Beckett Lane SW) shall be maintained by the Association. Maintenance shall include replacement of vegetation and Street Trees as needed to comply with the City of Orting's requirements applicable to the Plat. The drainage swales in the Public Storm Drainage Easement located on the north 12 feet of Lots 1-9 and the storm pond located in Tract D (along with all pond perimeter fencing) shall be maintained by the Association in a manner which preserves their function, consistent with the City of Orting's requirements applicable to the Plat. The Association shall maintain all community-related signage required by the City of Orting related to the storm water improvements and public wetland, whether or not such signage is located in a Common Area or on a Lot. The Association is granted an easement of access across all Lots to exercise the responsibilities described herein. In the event that the Association delegates its responsibilities described in this paragraph to the Owners of the Lots on which the landscaping, Street Trees, drainage improvements and signage are located, the Association shall supervise and remain responsible for the successful performance of the responsibilities and their completion, to the satisfaction of the City of Orting, which has made the performance of these responsibilities a condition of approval of the plat. The failure of the Associate to discharge its duties in this regard shall entitle the City of Orting to exercise all remedies available to it by law, and the to exercise the remedies described in Section 5.4 of the Declaration using the powers granted by the Declaration to the Association.

5. Correction. By the execution of this document, Copper Ridge LLC ratifies and acknowledges the valid execution of the Second Amendment to the Declaration by Soundbuilt Meadows at Orting, LLC on its behalf. Designation of Soundbuilt Meadows at Orting, LLC, as Declarant, was a scrivener's error and the terms of the Second Amendment are incorporated herein by Declarant Copper Ridge, LLC for ratification and correction.

6. No Other Changes. Except as amended and supplemented above in this Amendment, the Declaration shall remain in full force and effect in accordance with its terms.

0519314012
SCOTT CORLISS
3106A SUMNER TAPPS HWY E
LAKETAPPS WA 98391

0519314020
PIERCE COUNTY PUBLIC WORKS
2702 S 42ND ST STE 201
TACOMA WA 98409

0519314029
PIERCE COUNTY PUBLIC WORKS
2702 S 42ND ST STE 101
TACOMA WA 98409

0519314030
INTERNATIONAL CHURCH
FOURSQUARE GOSPEL
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ORTING WA 98360

0519314031
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UNKNOWN CITY WA

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ORTING WA 98360

7002150230
LANCE THORNTON
27818 152ND AVE E
GRAHAM WA 98338

7002150240
MARY JO MILLER
907 GRINNELL AVE SW
ORTING WA 98360

7002150400
CITY OF ORTING
PO BOX 489
ORTING WA 98360

7002580590
PATRICK CARRELL
509 CARRIER AVE SW
ORTING WA 98360

7002580600
FRISELL PETER W & FRISELL
DEBRA D CO-TTEE & MENGES
DONALD L & GLENNA A
511 CARRIER AVE SW
ORTING WA 98360

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HEATHER ALLEMANG
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RACHEAL REICHEL
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CHRISTOPHER SMITH
406 BUELL ST SW
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WILLIAM SCOTT
404 BUELL ST SW
ORTING WA 98360

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JOSE ORDEN
402 BUELL ST SW
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GARCIA SANTOS
326 RUSHTON AVE SW
ORTING WA 98360

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DONNA HENTSCHEL
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ROBERT KELLY
322 RUSHTON AVE SW
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STEPHANIE WALTON
320 RUSHTON AVE SW
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BRET COLBY
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TIMOTHY HOFF
316 RUSHTON AVE SW
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BRYAN WILLIAMS
314 RUSHTON AVE SW
ORTING WA 98360

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ERIC ALLEN
435 NORTHGATE DR
OAK HARBOR WA 98277

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TIMOTHY DAVIS
309 RUSHTON AVE SW
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PHALLA SAING
311 RUSHTON AVE SW
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STEVEN MARTIN
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EUGENE LOCKEN
315 RUSHTON AVE SW
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OLE STAVELAND
317 RUSHTON AVE SW
ORTING WA 98360

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JEFFREY MILLER
518 CARRIER AVE SW
ORTING WA 98360

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JULIE ROBBINS
516 CARRIER AVE SW
ORTING WA 98360

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ROBIN MILLS
514 CARRIER AVE SW
ORTING WA 98360

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BREAN CZERWINSKI
512 CARRIER AVE SW
ORTING WA 98360

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JESSE MAROSKA
510 CARRIER AVE SW
ORTING WA 98360

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NICHOLAS GRASSO
506 CARRIER AVE SW
ORTING WA 98360

7002690370
JACK WAWRO
708 KOEHLER AVE SW
ORTING WA 98360

7002690380
MATTHEW TAYLOR
710 KOEHLER AVE SW
ORTING WA 98360

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RYAN CAMPBELL
712 KOEHLER AVE SW
ORTING WA 98360

7002690400
MATTHEW MCCULLOUGH
714 KOEHLER AVE SW
ORTING WA 98360

7002690410
MAURICIO RODRIGUEZ
415 BUELL ST SW
ORTING WA 98360

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WILLIAM BROUHARD
414 BUELL ST SW
ORTING WA 98360

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LUCAS GEARHART
416 BUELL ST SW
ORTING WA 98360

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GREGORY WILLIAMS
418 BUELL ST SW
ORTING WA 98360

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SIBOUNPASEUTH XAYANANH
723 KOEHLER AVE NW
ORTING WA 98360

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GERALD FARRIS
721 KOEHLER AVE SW
ORTING WA 98360

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ZACHARY BAILEY
719 KOEHLER AVE SW
ORTING WA 98360

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ROY EDMONDSON III
717 KOEHLER AVE SW
ORTING WA 98360

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TERRESA JOHNSON
715 KOEHLER AVE SW
ORTING WA 98360

7002690500
JOANN TAYLOR
713 KOEHLER AVE SW
ORTING WA 98360

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PATRICK JUTTE
711 KOEHLER AVE SW
ORTING WA 98360

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CHRISTINE GOETZ
709 KOEHLER AVE SW
ORTING WA 98360

7002690640
JASON COASH
413 BUELL ST SW
ORTING WA 98360

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BRADLEY YOUNG
412 BUELL ST SW
ORTING WA 98360

7002690660
HPA JV BORROWER 2019-1 ML
LLC
180 N STETSON STE 3650
CHICAGO IL 60601

7002690670
BRANDEN BOWIE
408 BUELL ST SW
ORTING WA 98360

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DENNIS MCKELVIN
315 WILLOW ST SW UNIT 5
ORTING WA 98360

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DAVID HOOK
317 WILLOW ST SW
ORTING WA 98360

9004100070
JERRY FEE
319 WILLOW ST SW
ORTING WA 98360

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MICHAEL SMITH
323 WILLOW ST SW
ORTING WA 98360

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GARLIN GLENN
325 WILLOW ST SW
ORTING WA 98360

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WIETSKE SIEBENGA
316 WILLOW ST SW
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MARTIN SCHAFF
318 WILLOW ST SW
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JEAN CALABRESE
320 WILLOW ST SW
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EILEEN MOSSER
322 WILLOW ST SW UNIT 21
ORTING WA 98360

9004100220
MARY MASONER
324 WILLOW ST SW
ORTING WA 98360

9004820010
FERRELL CAMPBELL
403 WILLOW ST SW UNIT 23
ORTING WA 98360

9004820020
RONALD ANDERSON
PO BOX 406
ORTING WA 98360

9004820030
LINDA FANCY
407 WILLOW ST SW
ORTING WA 98360

9004820040
ROSAURA M HEINTZ
409 WILLOW ST SW
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JERZY CZARNOWSKI
411 WILLOW ST SW
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MICHAEL O'BRIEN JR
415 WILLOW ST SW
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DAVID CAFFEE
PO BOX 2230
ORTING WA 98360

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EDWARD SMITH
414 WILLOW ST SW
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CARLOS ORTIZ
412 WILLOW ST SW
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DOLORIS WILBUR
410 WILLOW ST SW
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KATHY DESHAYES
408 WILLOW ST SW
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RAYMOND GREEN
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GERALD JOHANNSEN
404 WILLOW ST SW
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GARY BRINING
402 WILLOW ST SW
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CALVIN KUHLMAN
323 OAK ST SW
ORTING WA 98360

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LEAH TIHISTA
319 OAK ST SW
ORTING WA 98360

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DARRELL JENKINSON
403 OAK ST SW UNIT 37
ORTING WA 98360

9010290380
MICHAEL SHARPE
15707 SE 184TH ST
RENTON WA 98058

9010290390
CLIFFORD TEGGE
407 OAK ST SW
ORTING WA 98360

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JILL SWANSON
409 OAK ST
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ROGER TVRDIK
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ORTING WA 98360

7002580900
JEFFREY MILLER
518 CARRIER AVE SW
ORTING WA 98360

7002580930
BREAN CZERWINSKI
512 CARRIER AVE SW
ORTING WA 98360

7002150240
MARY JO MILLER
907 GRINNELL AVE SW
ORTING WA 98360

7002580600
FRISELL PETER W & FRISELL
DEBRA D CO-TTEE & MENGES
DONALD L & GLENNA A
511 CARRIER AVE SW
ORTING WA 98360

7002580630
RACHEAL REICHEL
411 BUELL ST SW
ORTING WA 98360

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JOSE ORDEN
402 BUELL ST SW
ORTING WA 98360

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ROBERT KELLY
322 RUSHTON AVE SW
ORTING WA 98360

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TIMOTHY HOFF
316 RUSHTON AVE SW
ORTING WA 98360

7002580850
TIMOTHY DAVIS
309 RUSHTON AVE SW
ORTING WA 98360

7002580880
EUGENE LOCKEN
315 RUSHTON AVE SW
ORTING WA 98360

7002580910
JULIE ROBBINS
516 CARRIER AVE SW
ORTING WA 98360

7002580940
JESSE MAROSKA
510 CARRIER AVE SW
ORTING WA 98360

7002580980
NICHOLAS GRASSO
506 CARRIER AVE SW
ORTING WA 98360

7002690370
JACK WAWRO
708 KOEHLER AVE SW
ORTING WA 98360

7002690380
MATTHEW TAYLOR
710 KOEHLER AVE SW
ORTING WA 98360

7002690390
RYAN CAMPBELL
712 KOEHLER AVE SW
ORTING WA 98360

7002690400
MATTHEW MCCULLOUGH
714 KOEHLER AVE SW
ORTING WA 98360

7002690410
MAURICIO RODRIGUEZ
415 BUELL ST SW
ORTING WA 98360

7002690420
WILLIAM BROUHARD
414 BUELL ST SW
ORTING WA 98360

7002690430
LUCAS GEARHART
416 BUELL ST SW
ORTING WA 98360

7002690440
GREGORY WILLIAMS
418 BUELL ST SW
ORTING WA 98360

7002690450
SIBOUNPASEUTH XAYANANH
723 KOEHLER AVE NW
ORTING WA 98360

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GERALD FARRIS
721 KOEHLER AVE SW
ORTING WA 98360

7002690470
ZACHARY BAILEY
719 KOEHLER AVE SW
ORTING WA 98360

7002690480
ROY EDMONDSON III
717 KOEHLER AVE SW
ORTING WA 98360

7002690490
TERRESA JOHNSON
715 KOEHLER AVE SW
ORTING WA 98360

7002690500
JOANN TAYLOR
713 KOEHLER AVE SW
ORTING WA 98360

7002690510
PATRICK JUTTE
711 KOEHLER AVE SW
ORTING WA 98360

7002690520
CHRISTINE GOETZ
709 KOEHLER AVE SW
ORTING WA 98360

7002690640
JASON COASH
413 BUELL ST SW
ORTING WA 98360

7002690650
BRADLEY YOUNG
412 BUELL ST SW
ORTING WA 98360

7002690660
HPA JV BORROWER 2019-1 ML
LLC
180 N STETSON STE 3650
CHICAGO IL 60601

7002690670
BRANDEN BOWIE
408 BUELL ST SW
ORTING WA 98360

9004100050
DENNIS MCKELVIN
315 WILLOW ST SW UNIT 5
ORTING WA 98360

9004100060
DAVID HOOK
317 WILLOW ST SW
ORTING WA 98360

9004100070
JERRY FEE
319 WILLOW ST SW
ORTING WA 98360

9004100080
MICHAEL SMITH
323 WILLOW ST SW
ORTING WA 98360

9004100090
GARLIN GLENN
325 WILLOW ST SW
ORTING WA 98360

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WIETSKIE SIEBENGA
316 WILLOW ST SW
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MARTIN SCHAFF
318 WILLOW ST SW
ORTING WA 98360

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JEAN CALABRESE
320 WILLOW ST SW
ORTING WA 98360

9004100210
EILEEN MOSSER
322 WILLOW ST SW UNIT 21
ORTING WA 98360

9004100220
MARY MASONER
324 WILLOW ST SW
ORTING WA 98360

9004820030
LINDA FANCY
407 WILLOW ST SW
ORTING WA 98360

9004820060
MICHAEL O'BRIEN JR
415 WILLOW ST SW
ORTING WA 98360

9004820090
CARLOS ORTIZ
412 WILLOW ST SW
ORTING WA 98360

9004820120
RAYMOND GREEN
406 WILLOW ST SW
ORTING WA 98360

9006030010
CALVIN KUHLMAN
323 OAK ST SW
ORTING WA 98360

9010290380
MICHAEL SHARPE
15707 SE 184TH ST
RENTON WA 98058

9010290420
ROGER TVRDIK
404 OAK ST SW
ORTING WA 98360

9010350010
SUSAN PETERSEN
123 WALNUT AVE SW
ORTING WA 98360

9004820010
FERRELL CAMPBELL
403 WILLOW ST SW UNIT 23
ORTING WA 98360

9004820040
ROSAURA M HEINTZ
409 WILLOW ST SW
ORTING WA 98360

9004820070
DAVID CAFFEE
PO BOX 2230
ORTING WA 98360

9004820100
DOLORIS WILBUR
410 WILLOW ST SW
ORTING WA 98360

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GERALD JOHANNSEN
404 WILLOW ST SW
ORTING WA 98360

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LEAH TIHISTA
319 OAK ST SW
ORTING WA 98360

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CLIFFORD TEGGE
407 OAK ST SW
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GALE ROBINETTE
406 OAK ST SW
ORTING WA 98360

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RONALD ANDERSON
PO BOX 406
ORTING WA 98360

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JERZY CZARNOWSKI
411 WILLOW ST SW
ORTING WA 98360

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EDWARD SMITH
414 WILLOW ST SW
ORTING WA 98360

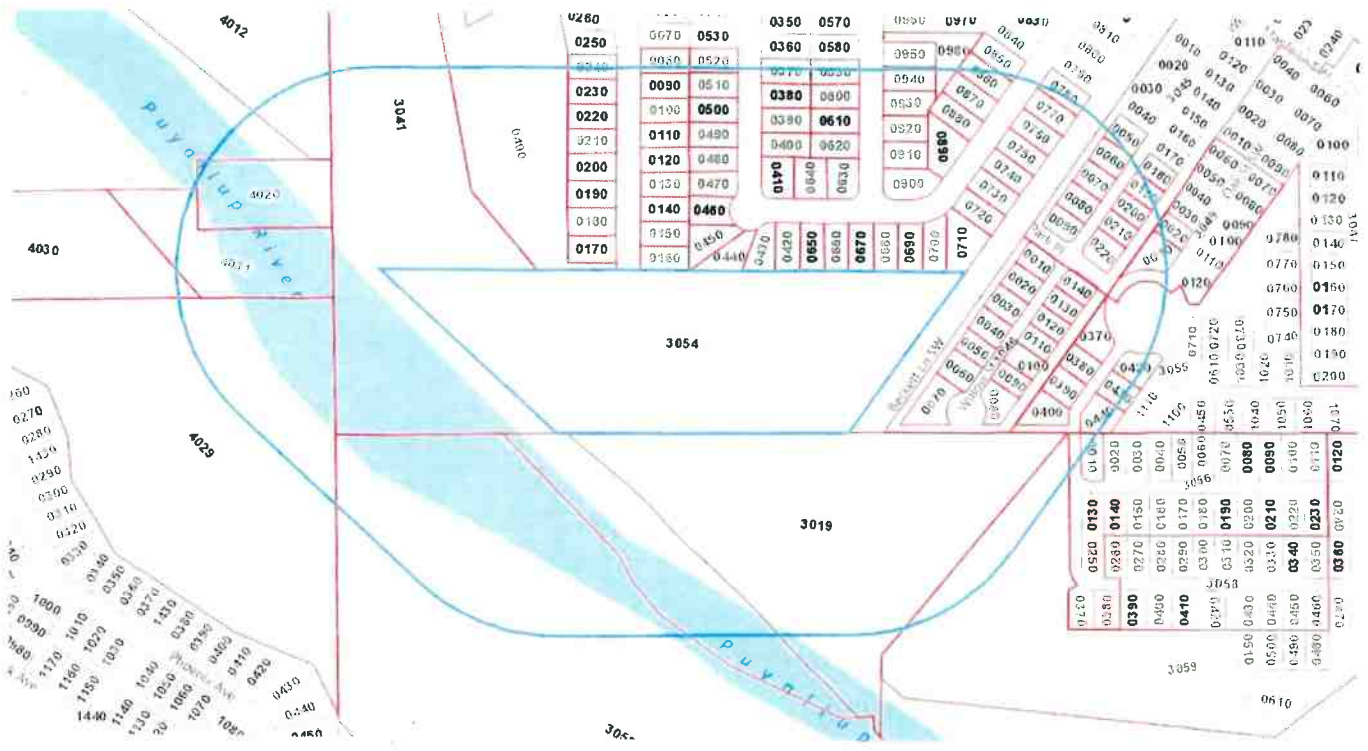
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KATHY DESHAYES
408 WILLOW ST SW
ORTING WA 98360

9004820140
GARY BRINING
402 WILLOW ST SW
ORTING WA 98360

9010290370
DARRELL JENKINSON
403 OAK ST SW UNIT 37
ORTING WA 98360

9010290400
JILL SWANSON
409 OAK ST
ORTING WA 98360

9010290440
CHARLES COLE
408 OAK ST SW
ORTING WA 98360



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1600	0000	1360

October 15, 2020
Parametrix No. 216-1711-020 8008.03

Mr. Greg Reed
Public Works Director
102 Bridge Street S.
Orting, WA 98360

Re: The Meadows South (Meadows Phase 4) in Orting

Dear Mr. Reed:

This letter is to serve as my acceptance of the completion of construction on The Meadows South (Meadows Phase 4) in Orting. I have verified that all punch list items have been completed. The following items remain outstanding prior to final plat:

- Landscape Bond
- Maintenance Bond
- Bill of Sale

Thank you for the opportunity to review this project.

Sincerely,

PARAMETRIX



JC Hungerford, PE

JCH:bjt

cc: Project File



EROSION CONTROL INSPECTION SEQUENCE

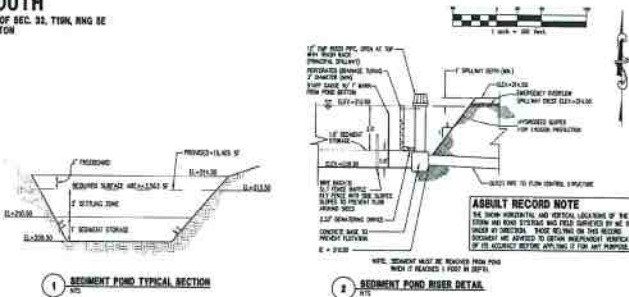
1. THE OWNER REPRESENTATIVE SHALL VERIFY ALL EROSION CONTROL MEASURES, THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
2. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
3. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
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8. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
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11. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
12. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
13. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
14. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
15. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
16. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
17. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
18. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
19. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.
20. EROSION CONTROL MEASURES SHALL BE VERIFIED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE IMPLEMENTATION OF THE MEASURES AT THE INSPECTION SITES.

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T18N R18E WILAMETTE MERIDIAN, PERCE COUNTY, WASHINGTON

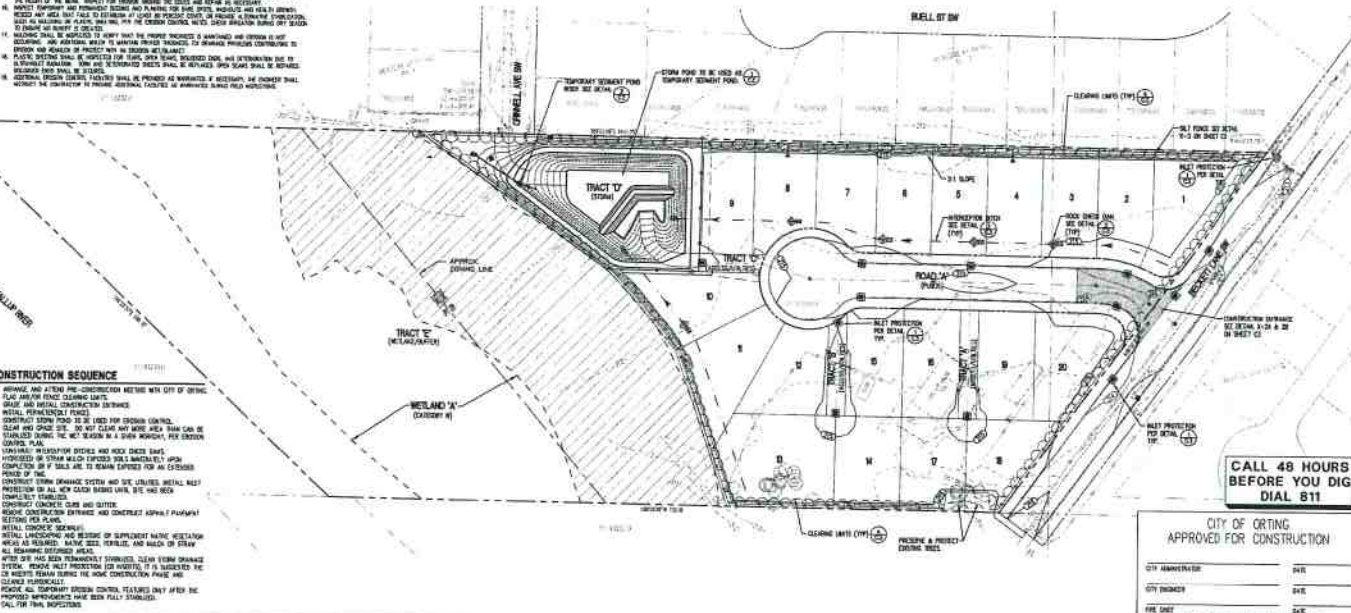
TREE PROTECTION NOTES

1. THE TREE PROTECTION AREA SHALL BE DESIGNED TO PROTECT EACH TREE OR TREE STAND DURING SITE DEVELOPMENT AND CONSTRUCTION.
2. THE TREE PROTECTION AREA SHALL CONFORM TO THE APPROVED TREE CONSERVATION PLAN AND:
3. ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION OR OTHER ACTIVATION WORK.
4. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.
5. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.
6. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.
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18. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.
19. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.
20. TREE PROTECTION AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT THE END OF CONSTRUCTION.



CONSTRUCTION SEQUENCE

1. REMOVE AND STORE THE CONSTRUCTION MATERIALS WITH CITY OF ORING.
2. CLEAR AND INSTALL EROSION CONTROL MEASURES.
3. INITIAL PERMANENT PLANTING.
4. CONSTRUCTION OF ROAD AND DRIVE. DO NOT CLEAR ANY MORE AREA THAN CAN BE STABILIZED DURING THE "WET" SEASON. USE EROSION CONTROL PLAN.
5. CONSTRUCTION OF STORM DRAINAGE SYSTEM AND SEE UNITS. INITIAL PLANTING OF ALL NEW CASHES SHALL BE COMPLETED WITHIN 14 DAYS OF THE END OF CONSTRUCTION.
6. CONSTRUCTION OF CONCRETE CURBS AND GUTTERS.
7. INITIAL CONCRETE SEWERING.
8. INITIAL LANDSCAPING AND SEEDING OF PERMANENT PLANTING MATERIALS AS REQUIRED. SEEDING SHALL BE COMPLETED AND MOUND TO BE ALL SEEDING COMPLETED WITHIN 14 DAYS OF THE END OF CONSTRUCTION.
9. AFTER THE ROAD PERMANENTLY ESTABLISHED, CLEAN STORM DRAINAGE SYSTEM. INITIAL PLANTING FOR WOODS, IF A SUCCESSION OF 25 PERCENT SHALL BE COMPLETED WITHIN 14 DAYS OF THE END OF CONSTRUCTION.
10. REMOVE ALL CONSTRUCTION EROSION CONTROL FEATURES ONLY AFTER THE PERMANENT VEGETATION HAS BEEN FULLY ESTABLISHED.
11. CALL FOR THIS SPECIFICATIONS.



NO.	DATE	REVISIONS
1	12/12/19	ISSUED FOR PERMITS
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C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
1000 1st Ave. S.E.
Bellevue, WA 98003
Tel: (206) 461-1111
Fax: (206) 461-1112
www.cesnw.com

MEADOWS AT ORTING SOUTH
T.E.S.C. PLAN
COPPER RIDGE LLC
1000 1st Ave. S.E.
Bellevue, WA 98003
Tel: (206) 461-1111
Fax: (206) 461-1112
www.cesnw.com

CALL 48 HOURS BEFORE YOU DIG DIAL 811

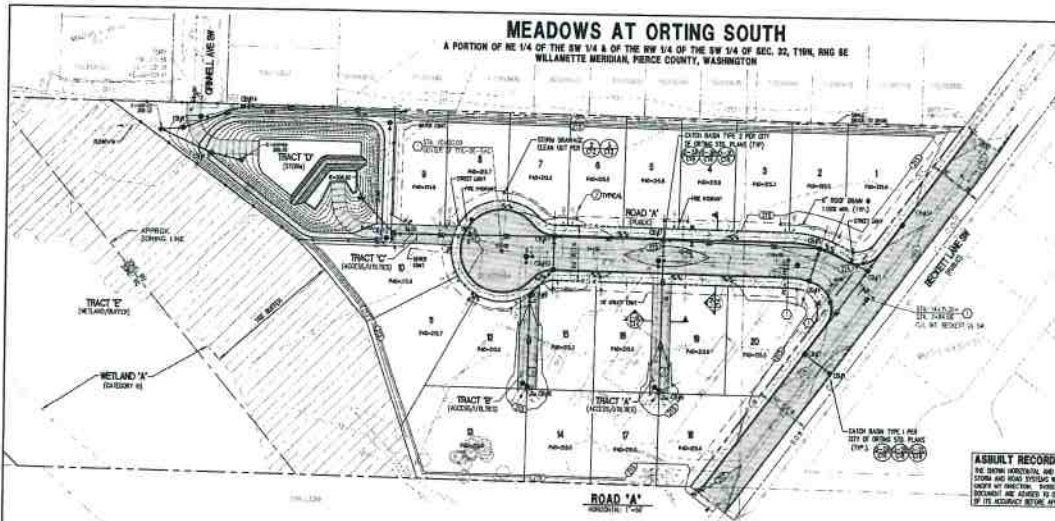
CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR:	DATE:
CITY ENGINEER:	DATE:
FILE DATE:	DATE:

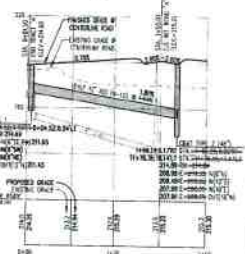
2 of 20 SHEETS

MEADOWS AT ORTING SOUTH

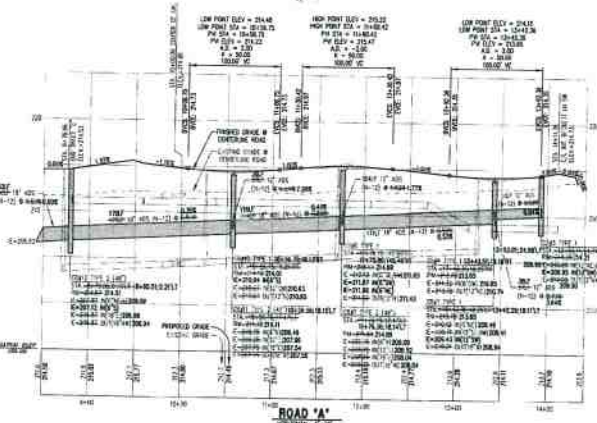
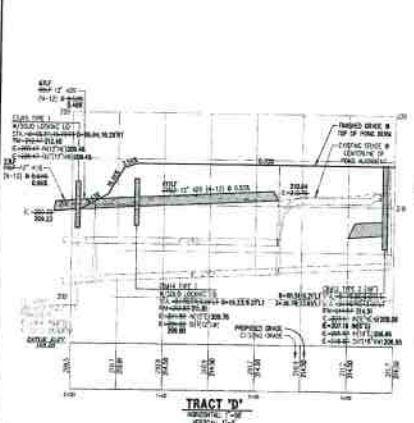
A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE SW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R10E
WILLAMETTE MERIDIAN, PERCE COUNTY, WASHINGTON



- CONSTRUCTION NOTES**
- INDICATE CITY OF ORTING UTILITIES EXISTING AS SHOWN ON PLANS.
 - DO NOT SCALE TO BE MARKED WITH A 2" HIGH, 1 1/2" THICK MARKED "STOP" IN TRACT 'A'.
 - CONSTRUCT SHOULDER ACCESS ROAD PER DETAIL.



ASBURY RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND SEWER SYSTEMS HAS BEEN DETERMINED BY AN ASBURY SURVEYOR. THESE RECORDS ON THIS PROJECT WILL BE MAINTAINED BY ASBURY SURVEYING & CONSULTING ENGINEERS, INC. IN ACCORDANCE WITH THE REQUIREMENTS OF RCW 19.02.010.



TRACT 'B'
GENERAL 1'-2"

STATION	EXISTING GRADE	PROPOSED GRADE
1+00	20.00	20.00
1+10	20.00	20.00
1+20	20.00	20.00
1+30	20.00	20.00
1+40	20.00	20.00
1+50	20.00	20.00
1+60	20.00	20.00
1+70	20.00	20.00
1+80	20.00	20.00
1+90	20.00	20.00
2+00	20.00	20.00
2+10	20.00	20.00
2+20	20.00	20.00
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2+60	20.00	20.00
2+70	20.00	20.00
2+80	20.00	20.00
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3+00	20.00	20.00
3+10	20.00	20.00
3+20	20.00	20.00
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3+60	20.00	20.00
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9+80	20.00	20.00
9+90	20.00	20.00
10+00	20.00	20.00

CALL 48 HOURS BEFORE YOU DIG 811

CITY OF ORTING
APPROVED FOR CONSTRUCTION

CITY ENGINEER: _____ DATE: _____
CITY CLERK: _____ DATE: _____
CITY COUNCIL: _____ DATE: _____

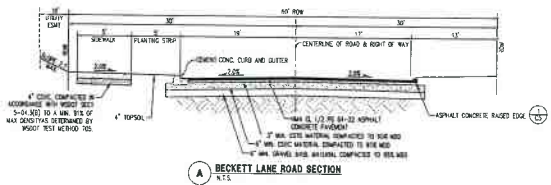
C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
1000 1/2 AVENUE N
SEASIDE, WA 98138
PHONE: (206) 881-1111
FAX: (206) 881-1112
WWW.CESNW.COM

MEADOWS AT ORTING SOUTH
ROAD 'A' & TRACT 'D'
ROAD & STORM PLAN & PROFILE
COPPER RIDGE LLC

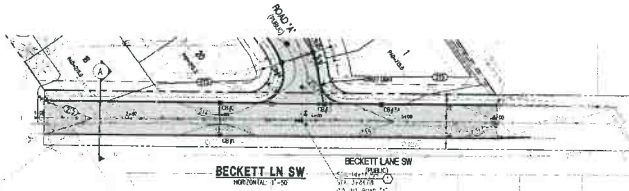
DATE: 08/21/25
SCALE: AS SHOWN
SHEET NO. 4 OF 25 SHEETS

C4

MEADOWS AT ORTING SOUTH
 A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R10E
 WILLAMETTE MERIDIAN, PERCE COUNTY, WASHINGTON

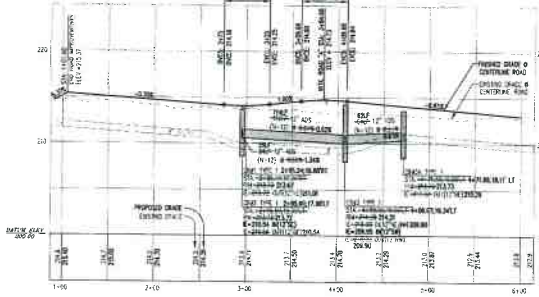


BECKETT LANE ROAD SECTION
 1:1

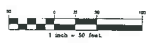


BECKETT LN SW
 HORIZONTAL 1:50
 VERTICAL 1:5

LOW POINT STA = 2+41.10 HIGH POINT ELEV = 274.74
 LOW POINT STA = 3+26.09 HIGH POINT STA = 3+94.88
 PV STA = 2+00 PC STA = 3+49.68
 PTA STA = 2+40.00 PA STA = 2+80.00
 L = 110.00 W = 27.00
 ELEV. AT 2+00 = 271.50
 ELEV. AT 3+00 = 273.50

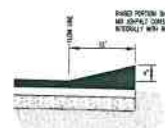


BECKETT LN SW
 HORIZONTAL 1:50
 VERTICAL 1:5



CONSTRUCTION NOTES
 1 METALL CITY OF ORTING STANDARD MOMENT PER DETAILS

ASBUILT RECORD NOTE
 THE EXISTING HORIZONTAL AND VERTICAL LOCATIONS OF THE CURBS AND ROAD FEATURES WILL BE SURVEYED BY THE CITY UNDER AN EXISTENCE SURVEY DURING OR AFTER THE PROJECT. THE EXISTENCE SURVEY WILL BE USED TO CORRECT THE ASBUILT RECORD FOR ITS ACCURACY BEFORE APPLYING OF THIS PLAN PURPOSE.



ASPHALT CONCRETE RAISED EDGE
 1:1

Drawn	18	Date	12/27/18
Checked	18	Asst.	
Reviewed		Address Comments	
Approved			



C.E.S. NW, INC.
 CIVIL ENGINEERING & SURVEYING
 10000 1st Ave. N.E.
 Everett, WA 98203
 P.O. BOX 12390 Everett, WA 98213

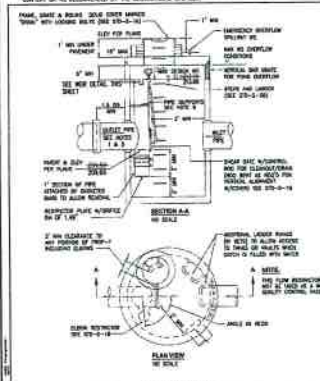
MEADOWS AT ORTING SOUTH
BECKETT LANE SW
ROAD & STORM PLAN & PROFILE
 COPPER RIDGE LLC

CITY OF ORTING
APPROVED FOR CONSTRUCTION
 CITY COMMISSIONER _____ DATE _____
 CITY ENGINEER _____ DATE _____
 FILED _____ DATE _____
DRAFT - THIS DRAWING IS SUBJECT TO PERMITS AND REGULATORY REVIEW.

Sheet No. **C5**
 1 of 20 SHEETS

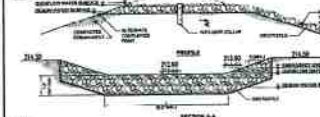
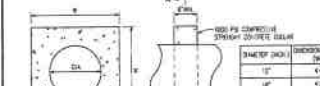
POND EMBANKMENT NOTES

1. POND EMBANKMENTS SHALL BE ON A 2:1 SLOPE UNLESS OTHERWISE SPECIFIED. THE EMBANKMENT SHALL BE CONSTRUCTED BY EXCAVATING A 10' DEEP TRENCH TO THE INSIDE OF THE EMBANKMENT CROSS SECTION, HEIGHT AND WIDTH EXACTLY AS SHOWN ON THE DRAWING. (SEE THE APPROVED CROSS SECTION)
2. POND EMBANKMENTS GREATER THAN 4 FEET IN HEIGHT SHALL BE CONSTRUCTED BY EXCAVATING A 10' DEEP TRENCH TO THE INSIDE OF THE EMBANKMENT CROSS SECTION, HEIGHT AND WIDTH EXACTLY AS SHOWN ON THE DRAWING. (SEE THE APPROVED CROSS SECTION)
3. THE EMBANKMENT SHALL BE CONSTRUCTED OF COMPACTED SOIL TO A MINIMUM OF 95% OF THE MAXIMUM DRY WEIGHT STANDARD PROCTOR METHOD FOR AEM (BEST) PLACED IN 8 INCH LIFTS WITH THE FOLLOWING SOIL CHARACTERISTICS: GRAIN SIZE DISTRIBUTION OF AGRICULTURAL TYPICAL MATERIAL A, AND SOIL LIQUID LIMIT SHALL NOT EXCEED 25% AND SOIL PLASTICITY INDEX SHALL NOT EXCEED 5% AS DETERMINED BY THE GEOTECHNICAL ENGINEER.



CITY OF ORTING CONTROL STRUCTURE

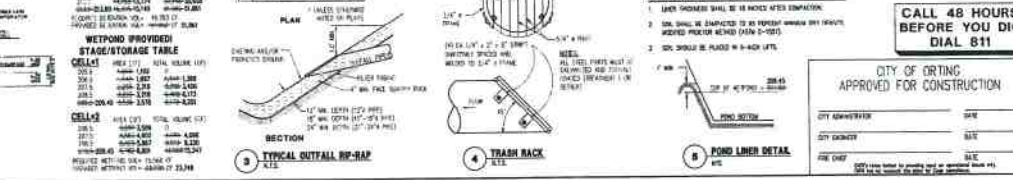
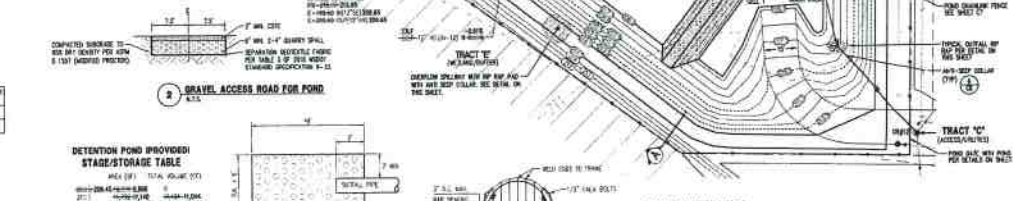
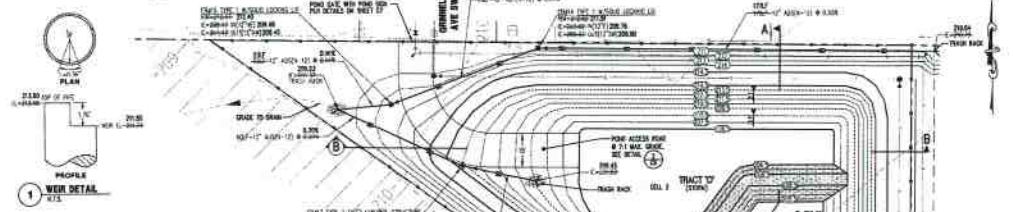
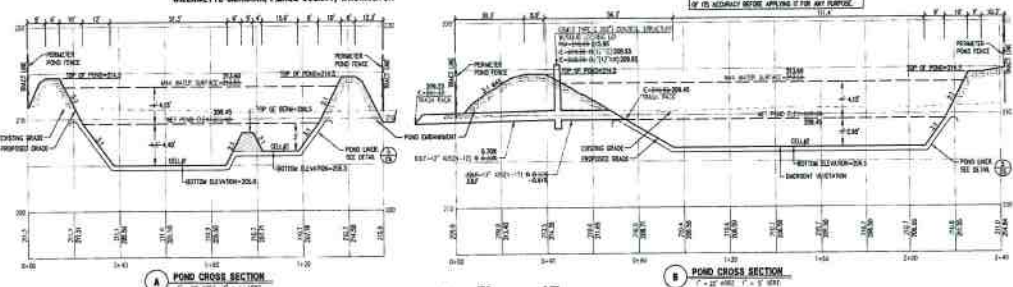
SCALE: NO. SCALE	APPROVAL: DATE	DRAWING: NO.
FILE NAME: STD-0-1A		D-1A



NOTES

1. THE EMBANKMENT SHALL BE CONSTRUCTED OF COMPACTED SOIL TO A MINIMUM OF 95% OF THE MAXIMUM DRY WEIGHT STANDARD PROCTOR METHOD FOR AEM (BEST) PLACED IN 8 INCH LIFTS WITH THE FOLLOWING SOIL CHARACTERISTICS: GRAIN SIZE DISTRIBUTION OF AGRICULTURAL TYPICAL MATERIAL A, AND SOIL LIQUID LIMIT SHALL NOT EXCEED 25% AND SOIL PLASTICITY INDEX SHALL NOT EXCEED 5% AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
2. THE EMBANKMENT SHALL BE CONSTRUCTED OF COMPACTED SOIL TO A MINIMUM OF 95% OF THE MAXIMUM DRY WEIGHT STANDARD PROCTOR METHOD FOR AEM (BEST) PLACED IN 8 INCH LIFTS WITH THE FOLLOWING SOIL CHARACTERISTICS: GRAIN SIZE DISTRIBUTION OF AGRICULTURAL TYPICAL MATERIAL A, AND SOIL LIQUID LIMIT SHALL NOT EXCEED 25% AND SOIL PLASTICITY INDEX SHALL NOT EXCEED 5% AS DETERMINED BY THE GEOTECHNICAL ENGINEER.

MEADOWS AT ORTING SOUTH
A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SEC. 35, T10N, R10E SE
WALLACETTE MERIDIAN, FERIE COUNTY, WASHINGTON



ASBUILT RECORD NOTE

THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE DRAIN AND ROAD STRUCTURES HAS BEEN SURVEYED BY ME IN ACCORD WITH THE SURVEYING AND RECORDING ACTS OF THE STATE OF WASHINGTON. THE RECORDING ACTS OF THE STATE OF WASHINGTON REQUIRE THAT THE RECORDING ENGINEER BE BOUND TO OBTAIN NECESSARY PERMISSIONS OF THE NEARBY RECORD APPLICANT FOR ANY PURPOSE.



DATE	1/2/2010
SCALE	AS SHOWN
PROJECT	MEADOWS AT ORTING SOUTH
CLIENT	CITY OF ORTING
DESIGNER	C.E.S. NW INC.
APPROVED	[Signature]



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
1000 1st St. SE
Orting, WA 98570
Phone: 360-882-1111
Fax: 360-882-1112
www.cesnw.com

MEADOWS AT ORTING SOUTH
STORM POND
PLAN AND SECTIONS
COURTESY: WEDNET LLC

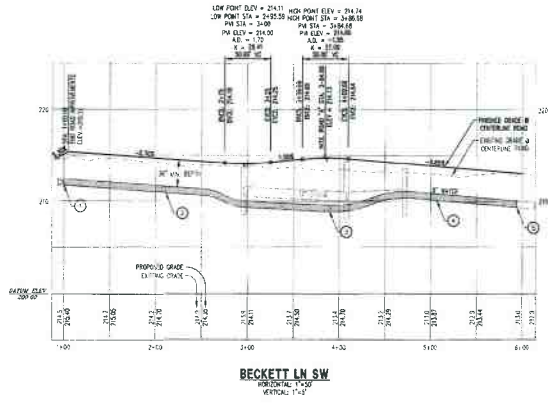
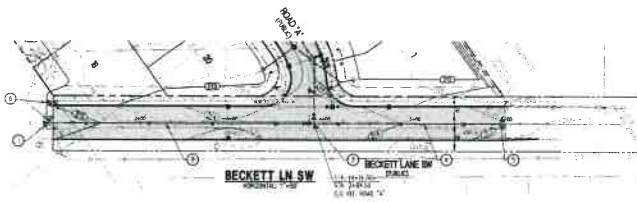
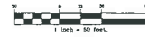
CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR: _____ DATE: _____
CITY ENGINEER: _____ DATE: _____
FILE NO.: _____ DATE: _____

C6

MEADOWS AT ORTING SOUTH
 A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T10N, R10E SE
 WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON



- KEY NOTES**
1. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 2. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 3. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 4. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 5. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 6. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 7. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 8. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 9. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.
 10. 24" x 48" x 3' CONCRETE MANHOLE WITH 12" DIA. RINGS AND 12" DIA. MANHOLE COVERS.

ASSEMBLY RECORD NOTE
 THE BROWN DIMENSIONAL AND SPECIAL LOCATIONS OF THE
 EXISTING AND PROPOSED SEWER LINES SHOWN ON THIS RECORD
 DRAWING ARE SUBJECT TO FIELD VERIFICATION BY THE ENGINEER
 OF THIS RECORD BEFORE ANYTHING IS DONE ON THE PROJECT.

NO.	DATE	REVISION



C.E.S. INC.
 CIVIL ENGINEERING & SURVEYING
 1000 1st Ave. S.E.
 Everett, WA 98201
 P.O. BOX 3086 BURLINGAME, CA 94010

CITY OF ORTING
 APPROVED FOR CONSTRUCTION

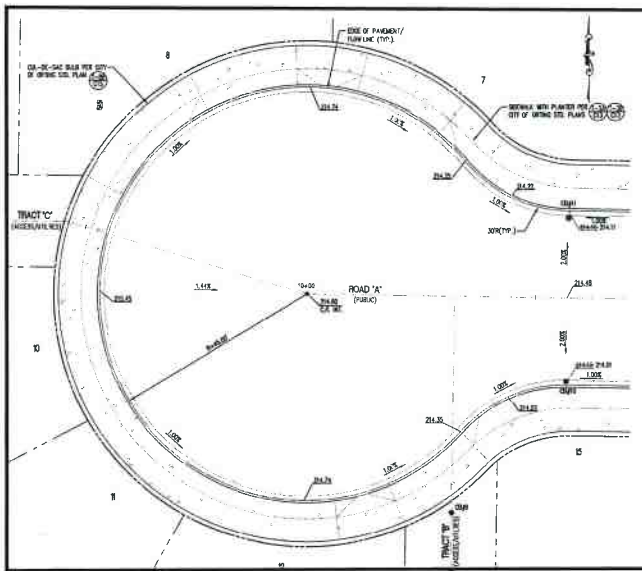
CITY ADMINISTRATOR _____ DATE _____
 CITY ENGINEER _____ DATE _____
 PREPARED BY _____ DATE _____

Designed by: **FBB**
 Drawn by: **DFD**
 Checked by: **DFD**
 Date: **11-14-10**
 Scale: **AS SHOWN**
 Job No.: **1111**
 Sheet No.: **09**
 of **22** Sheets

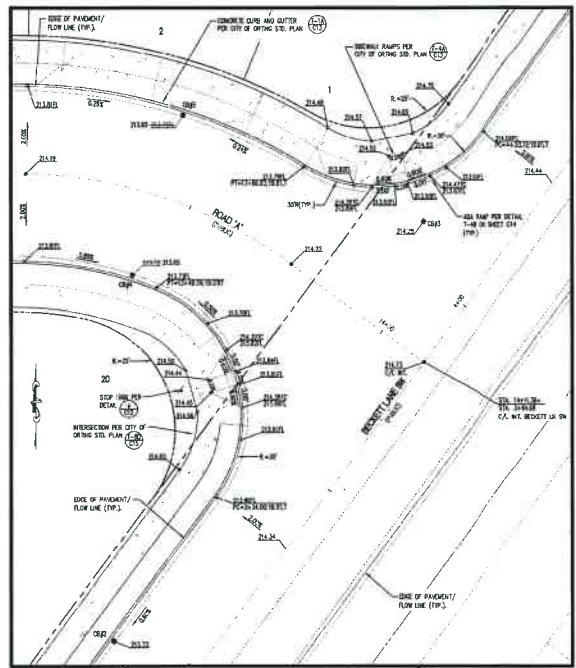
MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T10N, R10E SE
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE STORM AND SEWER SYSTEMS HAS BEEN SURVEYED BY ME OR UNDER MY SUPERVISION AND SHOWN ON THIS RECORD. DOCUMENT ANY WORKS TO BE DONE HEREON WITH REFERENCE TO THIS RECORD. DOCUMENT ANY WORKS TO BE DONE HEREON WITH REFERENCE TO THIS RECORD. DOCUMENT ANY WORKS TO BE DONE HEREON WITH REFERENCE TO THIS RECORD.



ROAD 'A'
SCALE: 1" = 10'



BECKETT LN SW ROAD 'A'
SCALE: 1" = 10'

CURB RAMP NOTES

- CONTRACTOR TO FOLLOW DESIGN ELEVATION AND VERIFY THAT SLOPES DO NOT EXCEED ADA MAXIMUMS PRIOR TO COMPLETION. NOTIFY ENGINEER.
- REFER TO PIERCE COUNTY STANDARD DETAILS PC18A, PC18B, AND PC18C FOR ADDITIONAL DESIGN INFORMATION.

CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR	DATE
CITY ENGINEER	DATE
DATE	DATE

DESIGNED BY:
 CHECKED BY:
 DATE: 09/21/20
 SHEET NO: 10/11

CES, INC.
 CIVIL ENGINEERING & SURVEYING
 1000 1ST AVE SE
 P.O. BOX 21000
 TACOMA, WA 98402

MEADOWS AT ORTING SOUTH
 INTERSECTION DETAILS
 R10E L11N
 PIERCE COUNTY, WA

DRAWN BY:
 CHECKED BY:
 DATE: 09/21/20
 SHEET NO: 10/11

C10
 10 of 20 Sheets

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R10 E
WILLAMETTE MERIDIAN, PERCE COUNTY, WASHINGTON

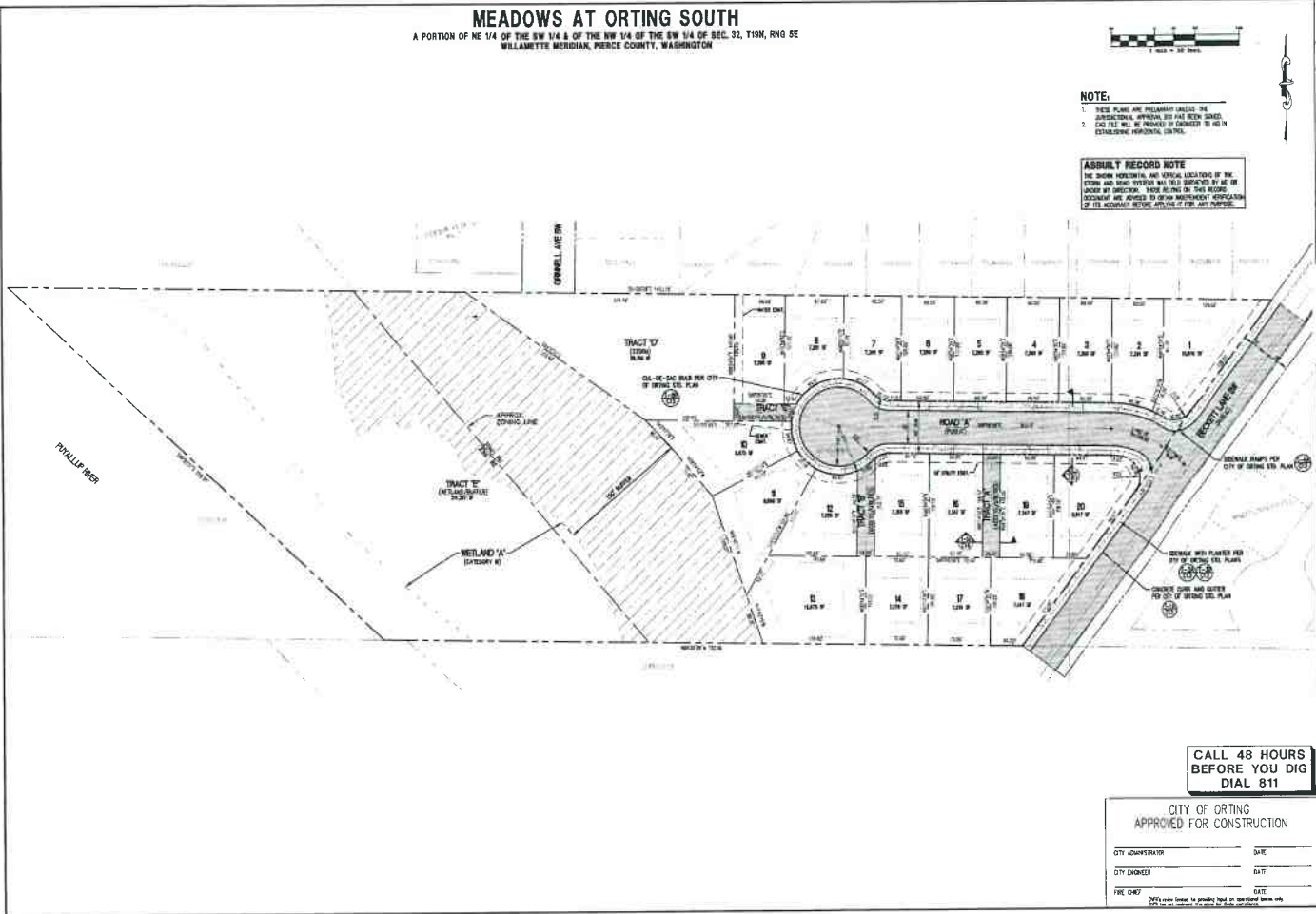


NOTE:

1. THESE PLANS ARE PRELIMINARY UNLESS THE CONSTRUCTION APPROVAL HAS BEEN GRANTED.
2. ALL TIES WILL BE PROVIDED BY EXISTING OR TO BE IN ESTABLISHED HORIZONTAL CONTROL.

ABSOLUTE RECORD NOTE

THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE CORNER AND BENCH POINTS HAVE BEEN DETERMINED BY ME OR UNDER MY SUPERVISION. YOUR ACTING AS THE RECORD SURVEYOR ARE ADVISED TO OBTAIN NECESSARY VERIFICATION OF THE ACCURACY BEFORE ACTING FOR ANY PURPOSE.



CALL 48 HOURS BEFORE YOU DIG DIAL 811

CITY OF ORTING APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR _____ DATE _____
 CITY ENGINEER _____ DATE _____
 FIRE CHIEF _____ DATE _____

THIS PLAN IS SUBJECT TO THE CITY OF ORTING ZONING ORDINANCES AND ANY OTHER APPLICABLE ORDINANCES.

DATE	BY	SCALE



C.E.S. NW, INC.
CIVIL ENGINEERING & SURVEYING
P.O. BOX 12180, BELLINGHAM, WA 98223
PH: 360-738-1218
WWW.CESNW.COM

MEADOWS AT ORTING SOUTH
DIMENSIONING PLAN
COPPER RIDGE LLC
P.O. BOX 12180, BELLINGHAM, WA 98223

C11
n. of 20 Sheets

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT CITY HALL TO BE ATTENDED BY ALL MAJOR CONTRACTORS, REPRESENTATIVES OF AGENCIES INVOLVED AND THE CITY OF ORTING. CONTACT THE PUBLIC WORKS ENGINEERING DIVISION TO DETERMINE THE MEETING DATE. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF PLANS AT ALL TIMES.
- AFTER COMPLETION OF ALL TIE-IN WORK, THE CONTRACTOR SHALL NOTIFY AND OBTAIN APPROVAL FROM THE CITY ENGINEERING DIVISION BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL TIE-IN WORK BEFORE ANY OTHER WORK BEGINS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MARINA CONSTRUCTION (REPLACES REFERENCE TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION, WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND MARINA PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION) UNLESS OTHERWISE SPECIFIED OR AMENDED BY THE CITY OF ORTING CITY ENGINEERING DIVISION FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION DIVISIONS REFERENCED TO IN THE CITY STANDARDS.
- A COPY OF THESE APPROVED PLANS AND SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
- THE CONTRACTOR SHALL HAVE ALL UTILITY LOCATIONS TO BE EXPOSED PRIOR TO ANY CONSTRUCTION CALL (BID) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER SHALL BE CONTACTED IMMEDIATELY IF A CONTACT EXISTS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF UTILITIES.
- ALL CONSTRUCTION SUPPORTING OR EXTENDING PUBLIC UTILITIES SHALL BE DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR A PROFESSIONAL STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
- PROVIDE SUFFICIENT CONDUIT SHALL BE SET BY A LAND SURVEYOR LICENSED IN THE STATE OF WASHINGTON PRIOR TO THE START OF CONSTRUCTION.
- BURIED UTILITIES: ALL PUBLIC UTILITIES ADJACENT TO THIS PROJECT SHALL BE IDENTIFIED BY ALL MAJOR UTILITIES PROVIDING FROM ON-SITE CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING HOMEOWNERS OF THE INTENDED CONSTRUCTION WORK.
- EXISTING RECORD DRAWINGS ARE TO BE USED FOR PROJECT ACCURACY.
- A WOOD FORMWATER GENERAL POINT MAY BE REQUIRED BY THE DEPARTMENT OF GEOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF GEOLOGY (360-407-4300).
- ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ADJACENT BUFFERS OF CRITICAL AREAS FOR PROTECTION AND PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH A WATERSHED PLAN REVIEWED AND APPROVED BY THE CITY PLANNING DIVISION.
- NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR EASILY ACCESSIBLE BEFORE A POINT IS REINSTATED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF EXISTING SURVEY MONUMENTS. CONSTRUCTION SHALL NOT COMMENCE UNTIL THE DISTURBANCE IS COMPLETE (360-407-4300) WITHIN THE BOUNDARY OF THE SURVEY MONUMENT.
- CONTRACTOR SHALL USE ENVIRONMENTALLY ACCEPTABLE LUBRICANTS COMPATIBLE WITH POLYMERIC RESIN SURFACES IN CONTACT WITH POLYMERIC RESIN SURFACES.
- ANY REVISIONS SHALL CONFORM TO B-802 AND SHALL BE MADE IN RED INK. ANY REVISIONS TO THESE PLANS SHALL BE MADE IN RED INK AND MUST BE MADE IN RED INK. ANY REVISIONS TO THESE PLANS SHALL BE MADE IN RED INK AND MUST BE MADE IN RED INK. ANY REVISIONS TO THESE PLANS SHALL BE MADE IN RED INK AND MUST BE MADE IN RED INK.

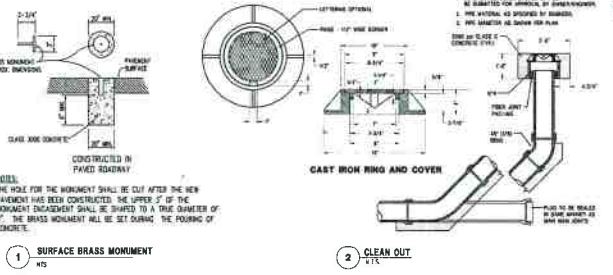
MEADOWS AT ORTING SOUTH
 A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T10N, R10 SE
 WILLAMETTE METROPOLITAN, FENCE COUNTY, WASHINGTON

SANITARY SEWER NOTES

- WORK SHALL NOT COMMENCE UNTIL APPROVAL IS RECEIVED FROM THE STATE DEPARTMENT OF GEOLOGY.
- NOTIFY THE CITY OF ORTING 72 HOURS BEFORE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AND FOR ANY RE-START OF WORK.
- PROVIDE THE CITY ENGINEER WITH A COPY OF ALL OUT SHEETS PRIOR TO CONSTRUCTION.
- CONNECTION TO AN EXISTING MAIN SHALL BE DONE AS TO PREVENT ANY PERSON MATERIALS FROM EXISTING EXISTING WORK.
- IF THE EXISTING MAIN IS IN A DRAINAGE CATCHMENT AREA, THE CONTRACTOR SHALL NOTIFY THE CITY AND THE PUBLIC COMPANY OF APPLICABLE JURISDICTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE EXISTING FACILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- ANY STRUCTURE AND/OR DISTURBANCE WHICH REQUIRES REMOVAL OR RECONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- PIPE SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AND S-501 AND S-502. INSTALLATION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 12" VERTICAL AND 18" HORIZONTAL CLEARANCE BETWEEN MANHOLE AND SANITARY SEWER LINES. IF THIS CLEARANCE IS NOT MAINTAINED, THE CONTRACTOR SHALL NOTIFY THE CITY AND THE PUBLIC COMPANY OF APPLICABLE JURISDICTION.
- ALL SANITARY SEWER SHALL BE 12" OR LARGER PIPE. PIPE SHALL CONFORM TO S-501 AND S-502. INSTALLATION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- PIPE SHALL BE SET TO PROTECT THE CITY OF ORTING STANDARDS. MANHOLE ELEVATIONS SHALL BE SET TO PROTECT THE CITY OF ORTING STANDARDS. MANHOLE ELEVATIONS SHALL BE SET TO PROTECT THE CITY OF ORTING STANDARDS.
- PROTECT ALL EXISTING UTILITIES AND STRUCTURES. PROTECT ALL EXISTING UTILITIES AND STRUCTURES. PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- ALL SANITARY SEWER PIPING SPECIFIED AS SCHEDULE 40 SHALL BE PROVIDED. TRENCH TO EXISTING WATER MAINS SHALL BE PROTECTED PRIOR TO BACKFILLING.
- ALL SCHEDULE 40 PIPE FOR SANITARY SEWER APPLICATIONS SHALL BE LINED WITH PROTECTIVE WITH CEILING TOPPED OR APPROVED EQUAL.
- FIELD (OR CARTON) ARE REQUIRED ON ALL OUTSIDE IRON PIPE FOR SANITARY SEWER APPLICATIONS.

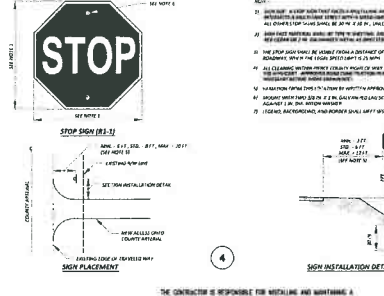
STREET NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION. TRAFFIC CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- ALL CURB AND GUTTER, STREET SPACES, SIDEWALKS, GRASSES AND ANY OTHER EXISTING AND/OR PROPOSED ADJUSTMENT SHALL BE MAINTAINED IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND/OR PROPOSED ADJUSTMENT IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- WHEN NEW ASPHALT SURFACING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING CURB AND GUTTER AND ANY OTHER EXISTING AND/OR PROPOSED ADJUSTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND/OR PROPOSED ADJUSTMENT IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- TRAFFIC CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- CONPACTION OF SUBGRADE, SOIL, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MARINA CONSTRUCTION.
- FORM AND SURFACE INSPECTION BY THE CITY IS REQUIRED BEFORE PAAVING CONCRETE. A WATERSHED TIE-IN WORKING DAYS BEFORE WORK IS TO BE PROVIDED TO THE CITY ENGINEER FOR FORM INSPECTION.
- ALL STREETS, CURBS AND OUTCUTS, SIDEWALKS AND ASSOCIATED IMPROVEMENTS SHALL BE DONE TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ANY ACCEPTANCE.



ASBESTHOSIS RECORD NOTE
 THE SHOWN MATERIALS AND MATERIAL LOCATIONS OF THE EXISTING AND NEW FACILITIES WILL BE IDENTIFIED BY AN ASBESTHOSIS RECORD. THESE RECORDS ON THIS RECORDS SHOULD BE PROVIDED TO THE CITY ENGINEERING DIVISION OF ITS APPLICABLE RECORDS ONLY FOR ANY PURPOSE.

1. BRASS BRASS MONUMENT
 2. CLEAN OUT
 3. CAST IRON RING AND COVER
 4. CLEAN OUT
 5. STUB STAKE



STOP SIGN (R13-31)
 SIGN PLACEMENT
 SIGN INSTALLATION DETAIL

CITY OF ORTING
 APPROVED FOR CONSTRUCTION

DATE: _____
 CITY ENGINEER: _____

DATE: _____
 CONTRACTOR: _____

CES, INC.
 CIVIL ENGINEERING & SURVEYING

MEADOWS AT ORTING SOUTH
 CONSTRUCTION NOTES & DETAILS

DESIGNED: RBS
 CHECKED: CAD
 DATE: 09/21/20
 JOB NO: 1519

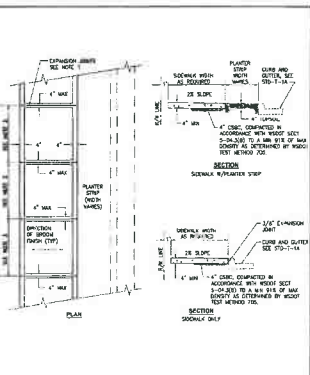
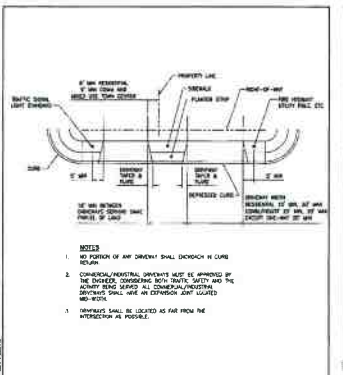
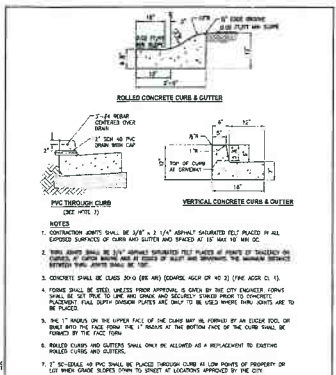
C12

12 OF 20 SHEETS

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R9G SE
WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASBUILT RECORD NOTE
THE SHOWN HORIZONTAL AND VERTICAL LOCATIONS OF THE TOWNSHIP AND ROAD TOWERS HAS BEEN DETERMINED BY BE UNDER AN ORTING TOWNSHIP TOWER BEING IN THE RECORD RECORDING HAS BEEN TO BEING DETERMINED BY THE USE OF ITS ADJACENT TOWNSHIP TOWERS OF THE SAME PURPOSE.



MINIMUM SIDEWALK WIDTHS

- STREET FRONT SIDEWALK, 5' (SEE A.C.C. 11.1)
- STREET FRONT SIDEWALK, 5' (SEE A.C.C. 11.1)
- STREET FRONT SIDEWALK, 5' (SEE A.C.C. 11.1)
- STREET FRONT SIDEWALK, 5' (SEE A.C.C. 11.1)

NOTES

- CONSTRUCTION JOINTS SHALL BE 1/4" x 1/4" x 1/4" AGENT SLAGGED FELT PLACED IN ALL EXPOSED JOINTS OF CURB AND GUTTER AND SPACED AT 10' MAX PER A.C.C.
- JOINTS SHALL BE 1/4" x 1/4" x 1/4" AGENT SLAGGED FELT PLACED AT POINTS OF TRANSITION OR CHANGE IN CURB AND GUTTER AND SPACED AT 10' MAX PER A.C.C.
- CONCRETE SHALL BE CLASS 200 PER THE AND CONCRETE GROUP OF NO. 3 (PER A.C.C. 11.1).
- FORMS SHALL BE STEEL UNLESS PROVED OTHERWISE BY THE CITY ENGINEER. JOINTS SHALL BE 1/4" x 1/4" x 1/4" AGENT SLAGGED FELT PLACED AT POINTS OF TRANSITION OR CHANGE IN CURB AND GUTTER AND SPACED AT 10' MAX PER A.C.C.
- REINFORCING BARS SHALL BE 1/2" DIA. UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. BARS SHALL BE PLACED IN THE UPPER FACE OF THE CURB AND GUTTER AND BE BENT UP AN EXPOSED END OF CURB AND GUTTER AND THE FACE FROM THE 1" REAR OF THE BOTTOM FACE OF THE CURB AND GUTTER SHALL BE FINISHED BY THE PAV. CONC.
- BOILED CURB AND GUTTER SHALL ONLY BE ALLOWED AS A REPLACEMENT TO EXISTING BOILED CURB AND GUTTER.
- 1" x 3/4" DIA. PVC SHALL BE PLACED THROUGH CURB AT LOW POINTS OF PROPERTY OR LOT WHEN ROAD SLIPS DOWN TO STREET AT LOCATION APPROVED BY THE CITY.

CITY OF ORTING

CONCRETE CURB & GUTTER

SCALE: NO SCALE APPROVAL: DATE: DRAWING NO: 1-1A

FILE NAME: STD-1-1A

CITY OF ORTING

LOCATION & WIDTH OF NEW DRIVEWAYS

SCALE: NO SCALE APPROVAL: DATE: DRAWING NO: 1-2A

FILE NAME: STD-1-2A

CITY OF ORTING

SIDEWALK W/PLANTER STRIP

SCALE: NO SCALE APPROVAL: DATE: DRAWING NO: 1-3A

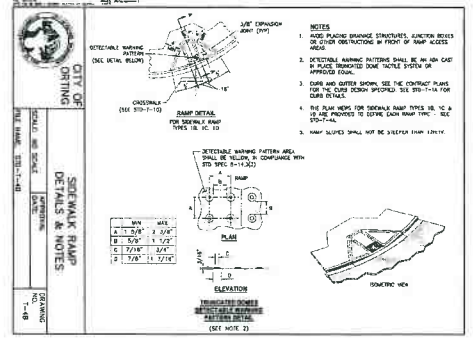
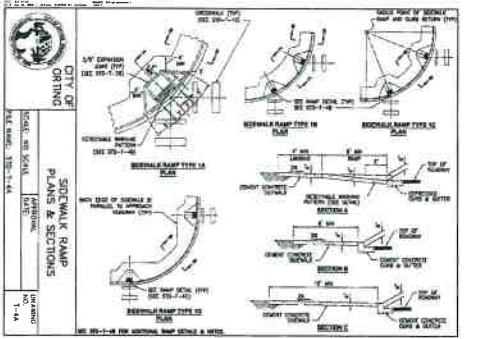
FILE NAME: STD-1-3A

CITY OF ORTING

SIDEWALK W/PLANTER STRIP NOTES

SCALE: NO SCALE APPROVAL: DATE: DRAWING NO: 1-3B

FILE NAME: STD-1-3B



CITY OF ORTING

SIDEWALK RAMP NOTES

SCALE: NO SCALE APPROVAL: DATE: DRAWING NO: 1-3B

FILE NAME: STD-1-3B

CITY OF ORTING

APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR: DATE: CITY ENGINEER: DATE: DATE: DATE:

C.E.S. INC.
CIVIL ENGINEERING & SURVEYING

MEADOWS AT ORTING SOUTH
CONSTRUCTION DETAILS

DESIGNED BY: 1000
CHECKED BY: 1000
SCALE: 1/8" = 1'-0"
DATE: 12/15/2010
JOB NO: 1000

C13

13 of 30 Sheets

MEADOWS AT ORTING SOUTH
 A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T10N, R9G SE
 WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON

ASSEMBLY RECORD NOTE
 THE BOUNDARIES AND VERTICAL ALIGNMENT OF THE
 ROADWAY AND ROAD STRUCTURE ARE FIELD SURVEYED BY ME OR
 UNDER MY SUPERVISION. THIS RECORD IS THE BEST
 DOCUMENTARY RECORD OF THE SURVEY AND THE FIELD
 RECORDS ARE KEPT IN MY OFFICE FOR REFERENCE.

**SECTION 18.207 - UNIFORM FIRE CODE POLICY:
 ACCESS ROADWAYS FOR FIRE APPARATUS**

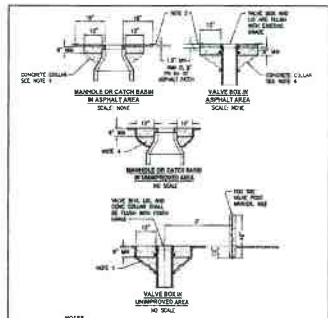
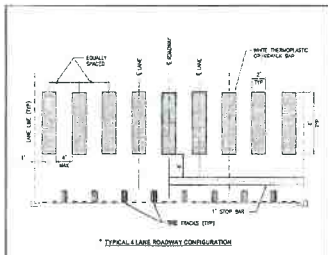
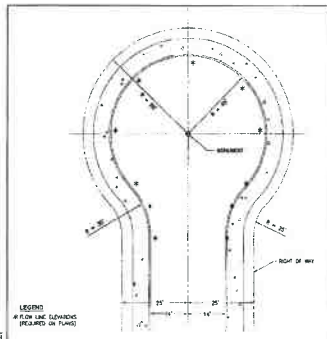
- ALL FIREWORKS SHALL BE LOCATED WITHIN 100 FEET FROM THE CURB LINE OF A
 ROADWAY OR SIDEWALK. FIREWORKS SHALL BE LOCATED WITHIN 100 FEET FROM THE
 CURB LINE OF A ROADWAY OR SIDEWALK. FIREWORKS SHALL BE LOCATED WITHIN 100 FEET
 FROM THE CURB LINE OF A ROADWAY OR SIDEWALK.
- THE FIRE DEPARTMENT SHALL BE ADVISED OF THE LOCATION OF FIREWORKS WITHIN AN APPROVED
 COMPLETE AUTOMATIC FIREWORKS SYSTEM OR OTHER APPROVED SYSTEM.
- THE FIRE DEPARTMENT SHALL BE ADVISED OF THE LOCATION OF FIREWORKS WITHIN AN APPROVED
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- ACCESS ROADWAYS SHALL BE LOCATED WITHIN 100 FEET FROM THE CURB LINE OF A ROADWAY OR
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 CURB LINE OF A ROADWAY OR SIDEWALK.

REQUIREMENTS FOR DEAD-END ACCESSWAYS

LENGTH	WIDTH	REQUIREMENTS REQUIRED
0 - 150'	20'	NONE REQUIRED
150' - 300'	24'	NO QUARTER CUL-DE-SAC
300' - 750'	28'	NO QUARTER CUL-DE-SAC
750' - 1500'	32'	NO QUARTER CUL-DE-SAC

NOTE: * SPECIAL APPROVAL REQUIRED

*STREETS AND TOPOGRAPHICAL CONDITIONS COULD ALTER THE
 REQUIREMENTS FOR TURNAROUNDS AND THE WIDTH OF ACCESSWAYS.



CITY OF ORTING

FIRE ACCESS REQUIREMENTS

SCALE: N/A
 APPROVAL: [Signature]
 DATE: 12-1-17
 DRAWING NO: T-7

CITY OF ORTING

CUL-DE-SAC BULB NEIGHBORHOOD STREET

SCALE: N/A
 APPROVAL: [Signature]
 DATE: 12-1-17
 DRAWING NO: T-8B

CITY OF ORTING

THERMOPLASTIC CROSSWALK

SCALE: N/A
 APPROVAL: [Signature]
 DATE: 12-1-17
 DRAWING NO: T-10

CITY OF ORTING

ADJUSTMENT OF NEW AND EXISTING UTILITY STRUCTURES TO FINISH GRADE

SCALE: N/A
 APPROVAL: [Signature]
 DATE: 12-1-17
 DRAWING NO: T-12

TYPE OF STREET	MIN ROW WIDTH	MIN STREET WIDTH	ROW BACK (A)	CURB BACK (B)
NEIGHBORHOOD STREET	50'	26'	25'	20'
LOCAL (DEVELOPER) STREET	50'	26'	25'	20'
RESIDENTIAL ARTERIAL	60'	36'	35'	30'
MAJOR ARTERIAL	80'	46'	45'	40'
PRINCIPAL ARTERIAL	100'	66'	65'	60'

T-INTERSECTION

LEGEND: * ROW LINE ELEVATION (1" BELT) REQUIRED ON PLANS

1" BELT ELEVATION (1" BELT) OF FLOW LINE

1" BELT ELEVATION (1" BELT) OF FLOW LINE

1" BELT ELEVATION (1" BELT) OF FLOW LINE

CITY OF ORTING
 APPROVED FOR CONSTRUCTION

DATE: 12-1-17

DATE: 12-1-17

DATE: 12-1-17

C.E.S. INC.
 CIVIL ENGINEERING & SURVEYING

1227 1/2 N. 10TH AVE. SUITE 100
 PORTLAND, OR 97227
 PHONE: 503.253.1111
 FAX: 503.253.1112

MEADOWS AT ORTING SOUTH
 CONSTRUCTION DETAILS

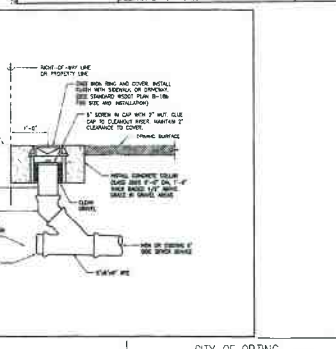
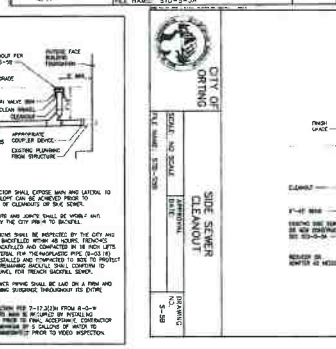
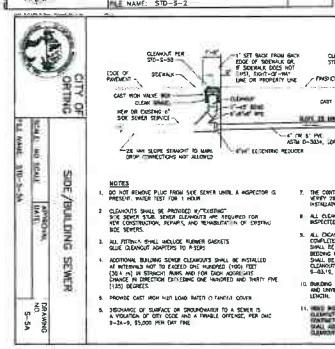
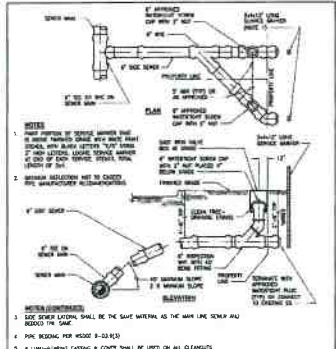
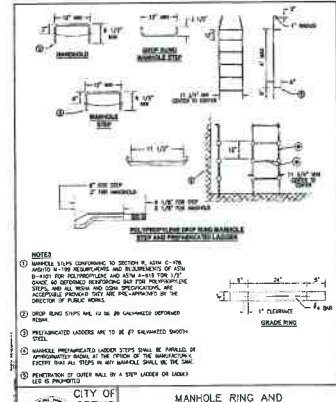
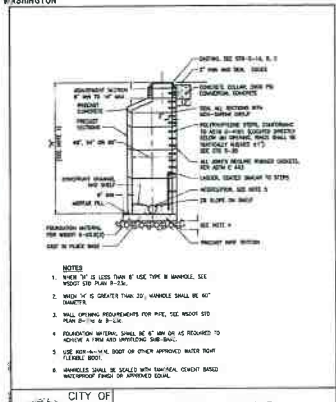
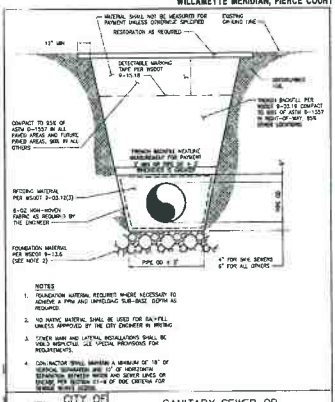
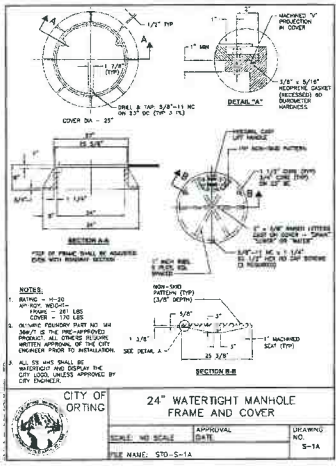
DESIGNED: [Signature] 12-1-17
 CHECKED: [Signature] 12-1-17
 DATE: 12-1-17

C15

13 of 20 SHEETS

MEADOWS AT ORTING SOUTH

A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R10E
WILLAMETTE METROPOLITAN, PIERCE COUNTY, WASHINGTON



24" WATER TIGHT MANHOLE FRAME AND COVER
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-1A
FILE NAME: STD-5-1A

SANITARY SEWER OR STORM TRENCH
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-2
FILE NAME: STD-5-2

TYPE 1 MANHOLE
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-3A
FILE NAME: STD-5-3A

MANHOLE RING AND SAFETY STEPS
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-3B
FILE NAME: STD-5-3B

TYPICAL SPLIT SIDE SEWER DETAIL
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-5C
FILE NAME: STD-5-5C

SEWER CLEANING
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-5A
FILE NAME: STD-5-5A

SEWER CLEANING
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-5B
FILE NAME: STD-5-5B

SEWER CLEANING
SCALE: NO SCALE APPROVAL DATE: DRAWING NO: 5-5D
FILE NAME: STD-5-5D

ABSTRACT RECORD NOTE
THE SHOW HEREON AND SPECIAL CONTRACT OF THE TOWN AND ROAD SYSTEMS HAS BEEN CHECKED BY ME OR UNDER MY SUPERVISION. THESE RECORDS ON RECORD DOCUMENT ARE ADDED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE PRINTING IT FOR ANY PURPOSE.

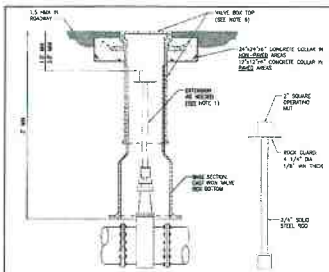
CITY OF ORTING APPROVED FOR CONSTRUCTION
CITY ADMINISTRATOR DATE: _____
CITY ENGINEER DATE: _____
DATE: _____

CES, INC.
CITY ENGINEERING & SURVEYING
1000 1st Ave. S.E. Ste. 200
Tacoma, WA 98402
Phone: 253-863-1111
Fax: 253-863-1112
www.cesinc.com

MEADOWS AT ORTING SOUTH SEWER DETAILS
COPPER RUDGE LLC
1000 1st Ave. S.E. Ste. 200
Tacoma, WA 98402
Phone: 253-863-1111
Fax: 253-863-1112
www.cesinc.com

C17
17 of 30 Sheets

MEADOWS AT ORTING SOUTH
 A PORTION OF NE 1/4 OF THE SW 1/4 & OF THE NW 1/4 OF THE SW 1/4 OF SEC. 32, T19N, R10E SE
 WILLAMETTE METROPLAN, PIERCE COUNTY, WASHINGTON



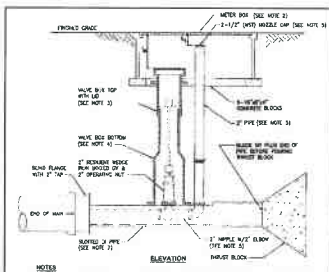
- NOTES**
1. DIMENSIONS ARE REQUIRED UNLESS NOTED OTHERWISE.
 2. DIMENSIONS SHALL BE A MINIMUM UNLESS NOTED OTHERWISE.
 3. DIMENSIONS ARE AS SHOWN UNLESS NOTED OTHERWISE.
 4. DIMENSIONS ARE AS SHOWN UNLESS NOTED OTHERWISE.
 5. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 6. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 7. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 8. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.

CITY OF ORTING

VALVE BOX & OPERATING NUT EXTENDER

SCALE: 1/4" = 1'-0" APPROVAL: _____ DRAWING NO: 19-8

FILE NAME: STD-19-8



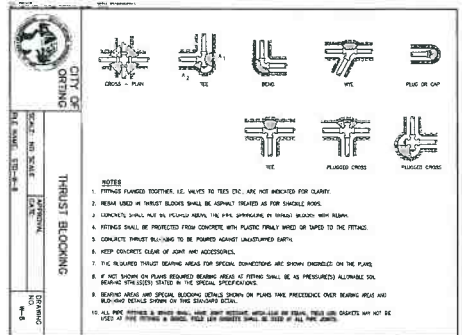
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CITY OF ORTING

END OF MAIN 2" BLOWOFF ASSEMBLY

SCALE: 1/4" = 1'-0" APPROVAL: _____ DRAWING NO: 19-78

FILE NAME: STD-19-78



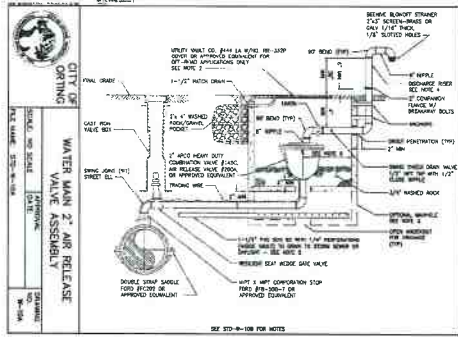
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CITY OF ORTING

WATER MAIN 2" AIR RELEASE VALVE ASSEMBLY

SCALE: 1/4" = 1'-0" APPROVAL: _____ DRAWING NO: 19-108

FILE NAME: STD-19-108



- NOTES**
1. DIMENSIONS ARE REQUIRED UNLESS NOTED OTHERWISE.
 2. DIMENSIONS SHALL BE A MINIMUM UNLESS NOTED OTHERWISE.
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CITY OF ORTING

WATER MAIN 2" AIR RELEASE VALVE ASSEMBLY

SCALE: 1/4" = 1'-0" APPROVAL: _____ DRAWING NO: 19-108

FILE NAME: STD-19-108

- NOTES**
1. DIMENSIONS ARE REQUIRED UNLESS NOTED OTHERWISE.
 2. DIMENSIONS SHALL BE A MINIMUM UNLESS NOTED OTHERWISE.
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CITY OF ORTING

WATER MAIN 2" AIR RELEASE VALVE ASSEMBLY

SCALE: 1/4" = 1'-0" APPROVAL: _____ DRAWING NO: 19-108

FILE NAME: STD-19-108

ASBUILT RECORD NOTE

THE SHOWN DIMENSIONS AND SPACING LOCATIONS AT THE TRENCH AND BENCH LOCATIONS ARE TO BE USED AS A GUIDE ONLY. THESE DIMENSIONS SHALL BE USED AS A GUIDE ONLY. THESE DIMENSIONS SHALL BE USED AS A GUIDE ONLY. THESE DIMENSIONS SHALL BE USED AS A GUIDE ONLY.

CITY OF ORTING

APPROVED FOR CONSTRUCTION

CITY ADMINISTRATOR: _____ DATE: _____

CITY ENGINEER: _____ DATE: _____

FILE NO: _____ DATE: _____

CES, INC.
 CIVIL ENGINEERING & SURVEYING

MEADOWS AT ORTING SOUTH
 WATER DETAILS

DESIGNED: _____ CHECKED: _____

DATE: _____ DATE: _____

SCALE: _____ SCALE: _____

FILE NO: _____ SHEET NO: **C19**

19 OF 22 SHEETS



Auditor's Office
2401 S. 35th St., Rm 200
Tacoma, WA 98409

Election Center
2501 S. 35th St., Ste. C
Tacoma, WA 98409



Auditor's Office
253-798-7427

Elections
253-798-VOTE (8683)



Website
PierceCountyAuditor.org

Email
Auditor@PierceCountyWa.gov

Recording Map Checklist (WAC 332-130)

This form must accompany the map when it is presented for Recording. Any changes will need a new legibility form.

Type of Map

Plat - Meadows at Oving South

Acceptable Media:

- For Counties exempted from permanently storing the document filed, acceptable media are:
 - Any standards material compatible with county processes; or electronic version of the original.
 - ALL signatures and seals must be original and, on hard copy made with permanent black ink.**
 - The media submitted for filing must not have any material on it that is affixed by adhesive.

Legibility:

- The documents submitted, including paper copies, must have uniform contrast throughout the document.
- No information, on either the original or copies, should be obscured or illegible due to cross hatching, shading, or as a result of poor drafting technique such as lines drawn through text or improper pen size selection (letters or number filled in such that 3's, 6's or 8's are indistinguishable).
- Signatures and seals must be legible on the prints or the party placing the seal must be otherwise identified in the notary jurat.
- Text must be 0.08 inches or larger; line widths shall not be less than 0.008 inches (vicinity maps, land surveyor's seals and certificates are excluded).

Indexing:

- The recording officer's information block must be on the bottom or right edge of the map.
- A title block (shows the name of the preparer and is on each sheet of multiple sheets).
- An auditor's certificate (on the first sheet of multiple sheets, although Vol./Pg. and or AFN must be entered by the recording officer on each sheet).
- A surveyor's certificate (on the first sheet of multiple sheets; seal and signature on multiple sheets).

- **The map must provide the following indexing data:**

- S-T-R and the quarter-quarter(s) or approximate quarter-quarter(s) of the section in which the surveyed parcel lies.
- Optional: A graphic representation of the section divided into quarter-quarters may be used with the quarter-quarter(s) in which the surveyed parcel lies clearly marked;

Miscellaneous:

- If the function of the document submitted is to change a previously filed record, it must also have:
 - A title identifying it as a correction, amendment, alteration or change to a previously filed record,
 - A note itemizing the changes.
- For records of survey:
 - The sheet must be 18" X 24"
 - The margins must be 2" on the left and 1/2" for the others, when viewed in landscape orientation.
 - In addition to the map being filed there must be two prints included in the submittal; except that, in counties using imaging systems fewer prints, as determined by the Auditor, may be allowed.

✓ **Map is approved for Recording**

 Map is NOT approved for Recording (make corrections noted above)

Reviewed by KIM E Date 8-27-2020



**PIERCE COUNTY ASSESSOR-TREASURER
RESIDENTIAL OR COMMERCIAL REAL PROPERTY**

**TAXPAYER'S CLAIM FOR REDUCTION OF ASSESSMENTS
RESULTING FROM DESTROYED PROPERTY OR FROM LOSS OF VALUE IN A DECLARED DISASTER AREA
Chapter 84.70 RCW**

NOTICE: *This claim for reduction of assessments and for the abatement of taxes must be filed with the county assessor within three years after the date of destruction or loss of value.*

SECTION I

This is to notify you that I hereby claim relief under the provision Chapter 84.70 RCW and petition for adjustment on the applicable assessment or tax roll.

Taxpayer/Contact Person Copper Ridge LLC - Evan Mann Daytime Phone (253)820-7835
 Mailing Address P.O. Box 73790 Property Address 403 Beckett Lane SW,
Puyallup, WA 98373 Orting, WA 98360
 Email Evan@soundbuilt homes.com
 Parcel # 0519323054 Residential Property Commercial Property

Description of property destroyed: (Attach photos of damage and estimate of repair costs if available, from insurance company or contractor)
1987 Single-family home and associated improvements removed for the plat of Meadows at Orting South.

Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for Adjustment, Abatement or Refund.

Will damaged/destroyed property be repaired/replaced? Yes No Projected Date of repair/replacement NA
 Cause of destruction (i.e. fire, flood, demolition, etc.) demolition Date of destruction (Mo/Day/Yr.) 05/2020
 Taxpayer's signature _____ Date signed 08/20/2020

SECTION II

ASSESSOR'S USE ONLY

DP# _____

- Claim Qualifies
 Does not qualify for the following reason:
- | | | |
|--|---|---|
| <input type="checkbox"/> Claim Not Filed w/in 3 Year Limit | <input type="checkbox"/> Improvements were not being assessed | <input type="checkbox"/> Partial Demolition |
| <input type="checkbox"/> Improvements already removed from tax rolls | <input type="checkbox"/> Deferred Maintenance | <input type="checkbox"/> Condemnation |
| <input type="checkbox"/> Drug Labs | <input type="checkbox"/> Infestation/Rot | <input type="checkbox"/> Earth Settlement |
| <input type="checkbox"/> Vandalism | <input type="checkbox"/> Minimal damage, no effect on market | <input type="checkbox"/> Voluntary destruction |
| <input type="checkbox"/> Access denied, no documentation submitted | <input type="checkbox"/> Destruction is not date specific | <input type="checkbox"/> Home Improvement Exemption |
| <input type="checkbox"/> Tax exempt | <input type="checkbox"/> Claim qualifies but does not provide additional tax relief, frozen senior value is lower than the appraised value. | |
| <input type="checkbox"/> Destruction to land only | | |
| <input type="checkbox"/> Other/Comments _____ | | |

Date filed with assessor _____

Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for Adjustment, Abatement or Refund.

ASSESSOR'S DETERMINATION OF REDUCTION IN VALUE FOR THE _____ TAX YEAR

- | | |
|--|----------|
| 1. True cash value of property prior to destruction | \$ _____ |
| 2. True cash value of remaining property | \$ _____ |
| 3. Total amount of loss of value | \$ _____ |
| 4. Number of days remaining in year from date of destruction _____ ÷ 365 = | _____ |
| 5. Amount of reduction (line 3 x line 4) | \$ _____ |

I hereby certify my determination of the amount of reduction for the assessment year _____ is as shown on line 5.

Date _____ Assessor _____ Date sent to taxpayer _____

SECTION III

NOTICE TO TAXPAYER: If you disagree with the amount of reduction noted in Section II, you may appeal the amount of reduction to the Pierce County Board of Equalization within sixty (60) days of notification from the Assessor-Treasurer or July 1 of the year of reduction, whichever is later. Pierce County Board of Equalization (253) 798-7415 www.piercecountywa.org/boe

Mail This Completed Form To: Pierce County Assessor – Treasurer's Office
 2401 South 35th St, Room 142
 Tacoma, WA 98409

Please direct all questions regarding this form to (253) 798-7145.

www.piercecountywa.org/atr



Pierce County Assessor-Treasurer
2401 South 35th Street, Room 142
Tacoma, WA 98409
(253) 798-6111
www.piercecountywa.org/atr

**INFORMATION AND INSTRUCTIONS FOR REAL PROPERTY APPLICATIONS FOR
REDUCTION OF ASSESSMENTS DUE TO DESTRUCTION OF PROPERTY OR
LOSS OF VALUE IN A DECLARED DISASTER AREA
(RCW 84.70.010)**

WHO MAY APPLY

Any owner or contract purchaser whose real or personal property has been placed on the assessment roll that year and is destroyed, in whole or in part, *OR* is located in an area that has been declared a disaster by the governor and has been reduced in value by more than 20% may apply. If property is destroyed or reduced in value by a cause other than a declared disaster, the specific cause and date of destruction must be listed on claim form (i.e. fire mm/dd/yr., flood mm/dd/yr., earthquake mm/dd/yr., demolition mm/dd/yr., etc.)

**Voluntary Damage or Destruction to Taxable Real or Personal Property Does Not Qualify for
Adjustment, Abatement or Refund.**

(Adjustments to Value Will be Made In The Following Year's Taxes)

PROPERTY SUBJECT TO REDUCTION

Any property which is destroyed or reduced in value due to a disaster as described in the paragraph above *may qualify* for a pro rata adjustment. As the reduction in value provided by this law is calculated on a pro rata basis, the cause of destruction or reduction in value must have resulted from a date-specific incident or event. No relief shall be given to any person who is convicted of arson with regard to the property for which relief is sought.

APPLICATION PERIOD

Claims must be filed within three years of destruction or reduction in value.

WHERE TO APPLY

Forms may be obtained from the Pierce County Assessor-Treasurer's Office, 2401 S 35th St, Tacoma, WA 98409; telephone (253) 798-6111 or on the web at www.piercecountywa.org/atr

DUTY OF COUNTY ASSESSOR

The county assessor shall calculate the amount of reduction in market value, if any, the taxpayer may be entitled to, and shall notify the taxpayer of the determination.

TAXPAYER RIGHT TO APPEAL ASSESSOR'S DETERMINATION

If the taxpayer disagrees with the amount of reduction determined by the county assessor, he/she may appeal the amount of reduction to the Pierce County Board of Equalization within sixty (60) days of notification from the Assessor-Treasurer or July 1 of the year of the reduction, whichever is later.

Pierce County Board of Equalization
(253) 798-7415
2401 South 35th St, Room 176
Tacoma WA 98409
www.piercecountywa.org/boe

REPLACING DESTROYED PROPERTY

If destroyed property is replaced prior to the valuation date of July 31st as contained in RCW 36.21.080 (1) or RCW 36.21.090, the taxable value for that year shall not exceed the value as of the appropriate valuation date.

From: [Jenny Cho](#)
To: [Don Babineau](#)
Cc: [Jennifer Caldwell](#)
Subject: RE: Meadows at Orting South Final Plat review comments
Date: Thursday, September 3, 2020 10:46:24 AM
Attachments: [image001.jpg](#)

Hi Don,

Thank you for the attachments, it's approved.

From: Don Babineau <dbabineau@cesnwinc.com>
Sent: Friday, August 28, 2020 9:35 AM
To: Jenny Cho <jenny.cho@piercecounitywa.gov>
Cc: Jennifer Caldwell <jcaldwell@cesnwinc.com>
Subject: Meadows at Orting South Final Plat review comments

Good morning Jenny,

Attached are the items we have prepared in response to your August 12, 2020 final plat review comments for the Meadows at Orting South project located in the City of Orting.

Please review the materials and do not hesitate to contact me if anything else is needed.

Thank you,

Don Babineau
Senior Planner



429 29th Street NE – Ste D
Puyallup, WA 98372
253.848.4282
dbabineau@cesnwinc.com



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360

Phone: (360) 893-2219 FAX: (360) 893-6809

www.cityoforting.org

**State Environmental Policy Act (SEPA)
Mitigated Determination of Non-Significance
Copper Ridge/Meadows 4 Preliminary Plat (PP-2018-01)
RE-ISSUE**

The City of Orting has completed an environmental analysis, including review of pertinent and available environmental information and preparation of an Environmental Checklist for the following proposal:

Description of Proposal: The applicant has requested preliminary plat approval of the below referenced parcel into 20 single-family residential lots, a new public road (Road A), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E).

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The proposed single family lots range from 7,260sf to 12,884sf with a proposed net density of 5.53 dwelling units per acre. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be accessed by two access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban Low.

Location of Proposal: The proposal is located at 403 Beckett Lane SW, Orting Washington 98360. Pierce County Parcel Number 0519323054.

Lead Agency: City of Orting, Washington

Agency Contact: Emily Terrell, AICP, City Planner, eterrell@cityoforting.org,
360.893.2219 Ext. 142

Applicant: Craig Deaver, Principal, CES NW Inc., 310 29th Street, NE, Suite 101,
Puyallup, Washington

Environmental Determination: The City of Orting has determined that this proposal will not have a probable significant adverse impact on the environment. Pursuant to WAC 197-11-350(3), the proposal has been clarified, changed, and conditioned to include necessary mitigation measures to avoid, minimize or compensate for probable significant impacts. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist, comments by the public and other entities, and other information that is available upon request. The necessary mitigation measures are listed below, and the Environmental Checklist is attached.

Supporting Information: Information used to reach this determination and applicable State and City policies, regulations and procedures are available for public review at the City of Orting, 110 Train Street, Orting, Washington.

Mitigating Conditions: The following mitigation conditions are required for project approval.

1. The project shall conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.
2. The applicant shall post a landscape maintenance bond pursuant to OMC 13-5-2(H) and (I) for all perimeter landscaping, landscaping around the proposed storm pond and for all street trees.
3. The applicant shall create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plan material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.
4. The Stormwater Pond shall be fenced with a six-foot-tall fence.
5. The applicant is prohibited from developing more than 30% impervious surfaces on the gross site area.
6. The applicant shall install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N.
7. The applicant shall install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O).
8. The applicant shall post a performance bond to assure that the wetland buffer fence is maintained (SMP 5.07.A.03.P).
9. The 8-inch watermain shall be looped with the existing system, likely extending to Grinnell Ave SW. Final design shall be approved by the City Engineer prior to issuance of civil permits.

Comment Period: The comment period for this Environmental Determination is 14 days from the date of issuance noted below (WAC 197-11-502). If significant comments are received, the City may

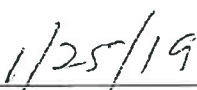
issue a revised SEPA determination. If the City issues a revised determination, the City will re-open a new 14-day comment period.

Appeals: The City of Orting's environmental determination may be appealed by filing an application with the Orting City Planner within ten (10) days of the end of the final SEPA comment period pursuant to OMC 15-14-7-5-G.

Responsible Official:



Mark Bethune, City Administrator



Date

OFFICE OF THE HEARING EXAMINER

CITY OF ORTING

REPORT TO THE CITY COUNCIL

PROJECT Copper Ridge/Meadows 4 Preliminary Plat and Variance (PP-2018-1)

APPLICANT: Craig Deaver CES NW Inc.

LOCATION OF PROPOSAL: 403 Becket Lane SW, Orting

SUMMARY OF REQUEST

The applicant requested two items: first, preliminary plat approval of a parcel into 20 single family residential lots including a new public road (Road A), three access tracts. (Tracts A, B, and C), a storm tract (Tract D) and a wetland with buffer (Tract E) and second, two related variances. The first is a setback variance for Lot 18, reducing the 25' front setback to 8' along Beckett Lane SW and the second would be to allow the perimeter landscaping on this lot to fit within the requested reduced setback. The applicant has proposed a fence on the inside of the perimeter landscaping to enhance screening. A more detailed analysis of the request is provided in the City of Orting Staff report and recommendation dated March 26, 2019, attached as Exhibit 1.

PUBLIC HEARING

A public hearing was held on April 11, 2019. The public comment period ended on August 1, 2018. During that period, comment was received and reviewed from residents from a nearby development, the Puyallup Tribe, Pierce County, the Department of Ecology and the Department of Fish and Wildlife. Issues of traffic congestion and water accumulation were raised and addressed by the city representatives and the developer.

The hearing convened at the City of Orting Multi-Purpose Center located at 202 Washington Avenue South, Orting, Washington, on April 11, 2019. Present were the applicant, City of Orting staff and three members of the public.

Testimony was taken at the hearing from the applicant, the city staff and members of the public and Vicky Bishop, who described the scope of the anticipated residence.

PRELIMINARY PLAT APPROVAL

1. OMC section 12-5-3 describes the review criteria for the approval of a preliminary plat. In most instances, the City Planning Commission would

review the application and make a recommendation to the City Council. However, because this hearing also includes an application for a variance, which is within the provenance of the City Hearing Examiner, the recommendation on both issues will be made by the Hearing Examiner.

2. The issues to be considered when reviewing a preliminary plat application are:

- A Whether the proposed plat conforms with State and Municipal law.
- B Whether provisions have been made for public health, safety, general welfare, open spaces, drainageways, streets, alleys or other public ways, transit stops, water supplies, sanitary waste disposal, parks and recreation, playgrounds, schools, sidewalks and other items to assure safe walking conditions for students.
- C Whether the general public interest will be served by the plat.
- D Whether the plat is in conformity with zoning ordinances, the existing comprehensive plan or other land use controls.
- E Whether roads are properly dedicated, with appropriate deeds and title reports or marked private
- F That there be appropriate provision for public improvements or impact fees.
- G That in lieu of completion of any required component, an appropriate performance bond may substituted.

3 The City Staff report has addressed each of these issues.

- A That the proposal is in conformity with all applicable zoning requirements, the comprehensive plan and any other existing land use requirements or controls.
- B That a new public road will be constructed to city standards and will be dedicated to the city and properly documented, that all lots will be appropriately accessed, that an appropriate waiver of damage claims will be obtained.
- C That the applicant will pay appropriate impact fees for streets.
- D That in lieu of a park, the applicant will pay appropriate park impact fees.
- E That the applicant is posting a bond for maintenance of perimeter landscaping, wetland delineation and fencing.
- F That appropriate provisions have been made to address items described in Section 2 A-C above.

VARIANCE

The following criteria are to be examined before a variance is granted:

- 1 That there are special circumstances applicable to the subject property that do not apply generally to other properties in the same vicinity or zone.
- 2 That the variance is necessary for the preservation and enjoyment of a substantial property right or use enjoyed by other properties in the same vicinity or zone which, because of special circumstances, this property does not enjoy.
- 3 That granting the variance will not be materially detrimental to the public welfare or injurious to other properties in the area.
- 4 That the comprehensive plan will not be adversely affected.

The City Staff has addressed each of these items.

- 1 There are special circumstances. The developer is placing a fewer number of homes on this site than might otherwise occur, occasioned by the existing wetlands and buffer area. Without this variance, the developer would lose one additional lot for a home site. Without the variance, which reduces setback, the effective area of the lot will make building a home unfeasible.
- 2 The applicant has a substantial property right in the ability to develop the property to its maximum potential. The applicant has already suffered a significant loss of building potential because of the wetland and buffers and it is appropriate to minimize further property right loss.
- 3 As mitigated, the variance will not be detrimental to public welfare. Appropriate requirements for perimeter landscaping and fencing will minimize any detrimental effects caused by a new development in the city.
- 4 Nothing in the proposal adversely affects the comprehensive plan in place for the city.

City Staff has recommended the approval of both the Preliminary Plat and the variances.

RECOMMENDATION TO THE COUNCIL

After reviewing all of the application material, conducting a site visit and conducting a public hearing, the Hearing Examiner adopts the recommendations of city Staff as detailed on Exhibit 1, and recommends to the council that the Preliminary Plat be approved and the variances be granted. I am cognizant of concerns raised about traffic congestion and area flooding and believe that the city has addressed those issues, both in the requirements set forth for this plat as well as other aspects of city planning in such a way that those concerns are mitigated appropriately. I am also cognizant that other residents in the area may feel that some of their territorial views will be affected, but there is no view easement or other requirement in place for the city to address those issues. By definition, areas of Urban Residential Zoning have neighboring homes affecting views and in my opinion, the city staff recommendations as

well as the plan of the developer do as much as is practical to address or minimize any negative effects. I do not believe that the project will be detrimental to the public or detrimental to other properties in the area.

Dated this 30th day of April, 2019.



ANTONI H. FROEHLING
Hearing Examiner

Staff Recommendation

Project Name: Copper Ridge/Meadows 4 Preliminary Plat and Variance (PP-2018-01)

Applicant: Mr. Craig Deaver
Principal CES NW Inc

Puyallup, WA 98373

Project Address: 403 Beckett Lane SW
Orting, WA 98360

Site Legal Description: APN 0519323054

Date of application: June 13, 2018

Date of Notice of Complete Application: July 10, 2018

Date of Staff Report: March 26, 2019

Date of Public Hearing: April 11, 2019

City Staff Contacts: Emily Terrell, AICP City Planner JC Hungerford, PE City Engineer

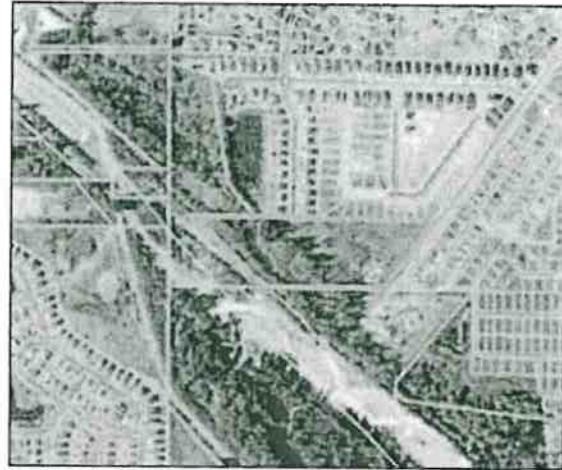
Requested Approvals: Preliminary Plat Subdivision Approval & SEPA Environmental Review

Staff Recommendation: Approval Subject to Conditions

Public Comment Period: The public comment period ended August 1, 2018 at 5:00 pm. Public comment was received from Smith (Ex. 14), the Residents of Meadows in Orting (Ex. 15), and Lisa Coville via phone. Public comment was also received from the Puyallup Tribe, Pierce County, the Department of Ecology and the Department of Fish and Wildlife.

SEPA Determination: The SEPA Responsible Official issued a Determination of Non-Significant Impact – Mitigated was published on January 9, 2019. The Appeal period ended January 30, 2019. No appeal was filed.

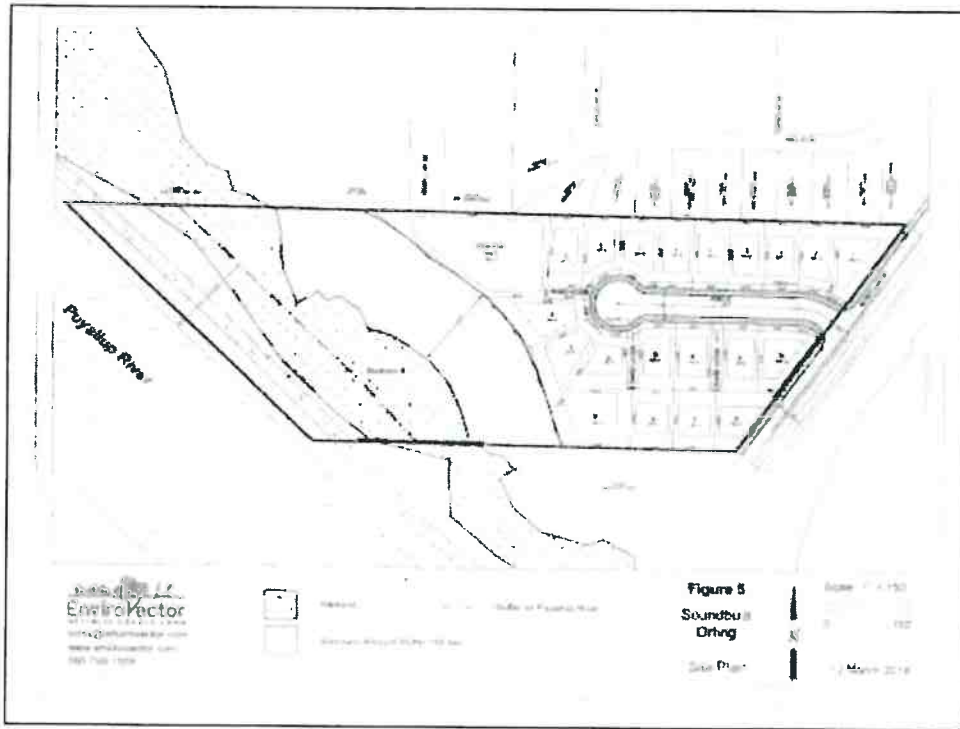
Public Notice: Notice of the Land Use Application and Notice of the Hearing were separately mailed to property owners within 500 feet of the property, posted on site



and at City Hall, and published in the newspaper of record for a minimum of 14 days each.

Exhibits:

1. Staff Report
2. Project Narrative by C.E.S. NW Inc (March 14, 2018)
3. City of Orting Development Permit Application (June 13, 2018)
4. Legal Descriptions for APN 0519323054
5. Title Report for APN 0519323054 (January 23, 2018)
6. Response to Reviewer's Comments (April 20, 2018)
7. Lot Closure Calculations by C.E.S. NW Inc.
8. SEPA Checklist (March 14, 2018, revised May 31, 2018)
9. Geotechnical Engineering Study by Earth Solutions NW (February 5, 2018, revised April 24, 2018)
10. Critical Areas Report by EnviroVector (March 14, 2018, revised June 8, 2018, revised February 19, 2019)
11. Preliminary Storm Drainage Report by C.E.S. NW Inc (March 2018, revised April 2018)
12. Topographic Survey by C.E.S. NW Inc (January 30, 2018, revised May 2, 2018)
13. Preliminary Plat Site Plat by C.E.S. NW Inc (March 1, 2018, revised April 25, 2018)
14. Comment Letter by Brittnee and Chris Smith (August 2, 2018)
15. Comment Letter by the Residents of Meadows in Orting (July 29, 2018)
16. Traffic Report by Heath and Associates (November 2018)
17. Landscape Plan by Bradley Design Group (December 2018)
18. SEPA MDNS (January 9, 2019)
19. Email from Elizabeth Bockstiegel of WA DFW (February 5, 2019)
20. Comment letter from the Department of Ecology (February 8, 2019)
21. Comment letter from Pierce County (January 30, 2019)



Findings of Fact

1. Project Description:

The applicant has requested preliminary plat approval of the above referenced parcel into 20 single-family residential lots, a new public road (Road A), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E). The applicant has further requested two related variances. The applicant has requested a setback variance for Lot 18 from the required 25-foot front yard setback along Beckett Lane SW to an 8-foot (OMC 13-5-1-C Table 1 and OMC 13-5-1-C-1). Lot 18 is a through lot pursuant to OMC 13-5-1-C-4, which without the requested variance would require a 25-foot landscaped perimeter and right of way setback. The applicant has requested a further variance to OMC 13-5-2-E-1 to allow the perimeter landscaping on this lot to fit within the requested reduced setback. The applicant has proposed a fence on the inside of the perimeter landscaping to enhance screening.

The subject property is 10.02 acres. The project is located partially within the Residential – Urban (RU) zoning district and partially within the Residential Conservation (RC) zoning district. The zoning districts match the Comprehensive Plan Land Use Designations. The proposed single family lots range from 7,260sf to 12,884sf with a proposed net density of 5.53 dwelling units per acre. The existing single-family residence and all associated structures will be removed. The proposed lots will be served by a new road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be

accessed by two access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. No development is proposed for the portion of the subject property zoned RC.

The western portion of the site is adjacent to the Puyallup River and its associated wetlands. Significant portions of the site lie within areas of Special Flood Hazard. On September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain.

The project site is surrounded on the north and east by single-family residential subdivisions. To the west is the Puyallup River. To the south is a large lot single-family residence. The property to the north of the subject is zoned RU. The property to the west, south and northwest is zoned RC. The property to the east is zoned Residential – Urban Low.

2. Adequacy of Infrastructure/Public Services. The project will be served by adequate infrastructure and public services as follows:

A. Water & Sewer Service

The City of Orting will provide water and sewer services. City of Orting Public Works staff indicate there are adequate facilities to serve the proposed development. The proposal has been designed in accordance with the City of Orting Development Standards Special Provisions and Standard Details (Revised July 2013).

The proposed sanitary sewer service will be via an 8-inch main that will gravity feed down to the existing main located at the southern end of Grinnell Avenue Southwest. Each proposed sewer stub for every lot will gravity feed to the main located within Road A. The applicant has proposed the installation of six sanitary sewer manholes (3 within Road A, one at the western end of access Tract C and one at the northeastern corner of the storm pond within Tract D and one within the property boundaries adjacent to the terminus of Grinnell Lane SW. The proposal conforms with the City of Orting Development Standards, Drawings No. S-1A through S-9, as required.

The applicant is proposing to extend the existing 8-inch water main along the entire project frontage of Beckett Lane SW. Thrust blocking will be installed at the southern extent of this water main. An intersecting 8-inch water main with thrust blocking will be installed along the length of Road A. Water valves will be installed for each lot at the corner markers between each adjacent lot and 1 ½-inch or 2-inch lines will be extended down each Access Tract (Tracts A, B and C). The proposal conforms with City of Orting Development Standards, Drawing Nos. W-1A, 1B, W-3, W-6 to W-18B, as required. A SEPA Mitigation measure will require the 8-inch watermain to be looped with the existing system, likely extending to Grinnell Ave SW.

The applicant will offset impacts to the City's sewer and water system through payment of General Facility Charges and Facility Enhancement Fees.

These fees are due at the time of building permit issuance. The current water General Facility Charge is \$4,267.97 per Equivalent Residential Unit (ERU). The current 1% Water Facility Enhancement Surcharge is \$42.65 per ERU. The current Sewer General Facility Charge is \$ \$9,198.73 per ERU with a 1% Wastewater Facility Enhancement Charge of \$91.69 ERU.

B. Police & Fire Protection

Police staff did not respond to the request for review. City staff assume there is adequate police services to serve the development. The Orting Valley Regional Fire Department indicated there are adequate fire and emergency services to serve the development. The applicant is proposing a cul-de-sac along Road A to allow for a fire truck turn around. The cul-de-sac, as proposed, does not meet the City's requirements. Therefore, a SEPA mitigation measure will require the applicant to redesign the proposed cul-de-sac to meet City of Orting Standard Details T-8A, T-8B, and T-8C. None of the access tracts is longer than 150' and therefore do not require hammerhead turn arounds (City of Orting Development Standards, Drawing Nos. T-7 and T-8B). A fire hydrant will be installed to City standards on the north side of Road A (City of Orting Development Standards, Drawing No. W-4A, 4B, 4C, W-5 and W-19, as required).

C. Drainage

Lisa Colville expressed concern about drainage from the development. The applicant provided a preliminary storm drainage report prepared by CES NW (Ex. 11). As proposed, the project will provide adequate storm drainage facilities and comply with Department of *Ecology Stormwater Management Manual for Western Washington*, Volumes I-V. The applicant is proposing installation of a storm drainage line extending from a storm drain catch basin within Beckett Lane SW from the southern project boundary to meet with another catch basin located at the intersection with Road A. From there, the storm drain line will extend along the northern boundary of Road A with three catch basins located in Road A. The storm drain line will then extend to a storm drain manhole located at the edge of the stormwater pond adjacent to the western terminus of Tract C. The storm drainage will be routed to a 30,275sf storm pond (Tract D) before being discharged via another storm line and storm drain manhole located at the northwestern corner of the storm pond. All storm drainage will ultimately flow into the wetlands adjacent to the Puyallup River along the western boundary of the subject parcel. The storm drainage facilities are designed to conform to City of Orting Development Standards, Drawing Nos. D-1A to D-6, as required.

A SEPA Mitigation Condition will require the project to conform to the erosion and sediment control standards, construction access and silt fencing requirements of City of Orting Development Standards, Drawings No. X-1 through X-3.

A SEPA Mitigation Condition will require the applicant to provide a six-foot-tall fence surrounding the storm pond.

The applicant will offset impacts to the City's Drainage System through the payment of General Facility Charges and a Stormwater Surcharge. These fees are due at the time of building permit issuance. The current Storm General Facility Charge is \$1,022.56 per ERU. The current 1% Stormwater Surcharge is \$10.23 per ERU.

D. Parks/Open Space

Several residents expressed a desire to see a park in the development. The first three phases of the Meadows at Orting do not include any park space, whereas other subdivisions in the city do have parks (Ex. 15). Residents expressed an interest in seeing a park in this phase of the development. The City of Orting requires developers to either provide park land at the rate of 980 sf/household or pay a Park Impact Fee. No land for park dedication is proposed in the development. The applicant will offset the increase in usage for public parks through the payment of a Parks Impact Fee per OMC 13-6-7(B) Table 15-6-2. The impact fee is due at the time of building permits. The Park Impact fee is currently \$830 per dwelling unit.

The subject parcel is partially within the Residential Conservation zone. It is encumbered with wetlands and is within the Shoreline Master Program shoreline jurisdiction. The gross site area is 436,071sf (10.01 acres). The wetland and buffer (Tract E) will be 211,367sf (4.85 acres) or 48% of the gross land area. Therefore, significant open space will be provided.

E. Streets

The Smiths and the Residents at Orting Meadows all expressed concern about the traffic into and out of Orting (Ex. 14 & 15). Traffic delays on SR 162 are a daily issue with an ever-increasing amount of traffic. Some of this traffic is bound for Orting. Other traffic is through traffic to neighboring towns and to developments built in the County. Traffic outside of the Orting City limits is not subject to concurrency. State routes are exempted from local concurrency. Therefore, the issue of regional traffic is not a subject of this application.

The applicant provided a Traffic Report prepared by Heath and Associates (November 2018) (Ex, 16). The applicant will offset impacts by paying the City's Traffic Impact Fee and providing half street improvements along Beckett Lane SW.

Beckett Lane SW is a northeasterly-southwesterly, two-lane road with a posted speed limit of 25 mph. The cross section of the road is 44-wide travel lanes with sidewalks, curbs and gutter. Parking is allowed on the south side of the street near the project.

The new Road A will intersect at an approximate 90-degree angle with Beckett Lane SW. It would be desirable to have Road A connect to Grinnell Avenue SW at its present southern terminus. This would create looped roads and allow for additional access points for the subdivision phase to the north. However, there is insufficient space within the lot to allow for the connection without impacting the onsite wetlands or buffers.

The project is creating a net new 19 units and replacing an existing unit. Health and Associates estimates the development will result in 19 new PM Peak Hour Trips and a total Average Daily Trips of 179 trips. The applicant will offset impacts to the City's transportation system through payment of a Transportation Impact Fee. This fee is due at the time of building permit issuance. The current Transportation Impact Fee is \$2,149 per PM peak hour trip.

F. Access

The proposed lots will be served by a new public road (Road A) which will access Beckett Lane SW. Lots 13-14, and 17-19 will be accessed by two private access tracts (Tracts A and B), respectively. The stormwater pond will be accessed via Tract C. The half street improvements along Beckett Lane SW, Road A and the three Access Tracts will be designed to comply with City of Orting Development Standards, Drawing Nos. T-1A through T-2B, T-5A through T-5B, and T-8B, T-8D, T-9-T-10, and T-12, as required.

G. Sidewalks

Sidewalks and landscape strips will be provided along the project frontage at Beckett Lane SW as well as both sides of Road A. No sidewalks will be provided for the Access Tracts. The sidewalks along Beckett Lane SW will connect to existing sidewalks at the north property boundary. Sidewalks and planter strips will be designed to conform to City of Orting Development Standards, Drawing Nos. T-3B through T-4C.

H. Transit

There are no transit services available in the City of Orting. None are proposed by the development. Given the lack of transit services, no provisions for transit access are required.

I. Landscaping

The applicant submitted a Landscape Plan prepared by the Bradley Design Group (December 2018) (Ex. 17). The plan demonstrates a mix of trees, shrubs and ground covers and corresponding irrigation as required by OMC 13-5-2(C).

The Orting Municipal Code requires a perimeter buffer around all new subdivisions. This buffer must retain significant trees (OMC 13-5-2-(D)). The applicant does not intent to retain any of the existing trees on site within the development area. The applicant is providing a wetlands buffer that will retain all existing vegetation from the development area west to the Puyallup River.

Pursuant to OMC 13-5-2(E), the applicant has provided perimeter landscaping with a mix of evergreen trees and shrubs. The applicant has also proposed a six-foot solid fence on the portions of the plat proposed for residential development. Given the full plat contains wetlands, buffers and shoreline areas that are greater in width than the development portions, the fence will be less than 50% of the total width of the plat (OMC 13-5-2(E)(2)(c)).

The landscape plan relies on the adjacent homeowners to irrigate and maintain the perimeter landscaping along both Road A and the Beckett Lane SW right of way. Therefore, a SEPA Mitigating Condition will require the applicant to post a maintenance bond pursuant to OMC 13-5-2(H) and (I). A further SEPA Mitigating Condition will require applicant to create a homeowners association with the responsibility of ensuring the long term survival and upkeep of all perimeter landscaping and street trees as planted and to replace any dying or dead plant material in kind, the upkeep of all subdivision signage, and the upkeep of the wetland perimeter fencing and signage.

J. Parking

All residential dwellings are required to have two off-street parking spaces per unit. These spaces must be at least 160sf in area exclusive of access drives or aisles. The width may not be less than 8 feet. Each space must have adequate provision for ingress and egress. The application does not include building footprints. There is adequate area on each lot to meet the parking requirement. The City will require the applicant to demonstrate adequate off-street parking for each lot at the time of building permit review.

K. Schools

The Smiths and the Residents at Orting Meadows (Ex. 14 & 15) each expressed concerns about the impacts to the Orting School District. District schools are already overcrowded. However, the last two levy measures failed. The City of Orting is a pass-through entity for the District's school impact fees. The proposed development will add 19 new single-family homes. These homes will be serviced by the Orting School District. Impacts to the school district will be offset by payment of school impact fees based on the Fee Schedule in OMC 15-6-7 Table 16-6-1. Effective February 13, 2007, the maximum fees for single-family dwelling units is \$2,780 per unit.

3. Adverse Impacts. As conditioned and mitigated, no adverse impacts are anticipated resulting from the proposed project. Specific issues are addressed below.

A. Shoreline

The project site abuts the Puyallup River. Portions of the site lie within the Urban Conservancy area of the Orting Shoreline Master Program. Shoreline development is proposed within 300 feet of a shoreline jurisdictional wetland (SMP 5.07.A.03.C). Therefore, the applicant provided a wetlands analysis prepared by EnviroVector (Ex. 10). No development is proposed within the wetlands or buffers (SMP 5.07.A.03.D). The wetlands and buffers are proposed to be maintained within their natural condition (SMP 5.07.A.03.G).

The development will be farther than 150 feet from the Ordinary High Water Mark of the Puyallup River and should not impact anadromous fish habitat (SMP 5.07.B.03.C). No parking facilities are proposed within the shoreline jurisdiction (SMC 5.08).

Though public access is required by the Orting Shoreline Master Program, providing public access in this location is infeasible given the entire frontage

to the shoreline area is impacted by wetlands and buffers. Therefore, the staff recommend the applicant not be required to provide public access pursuant to SMP 5.09.03.B.1 and J.

As noted in the Drainage section above (Finding of Fact 2C), the development will comply with the City's adopted stormwater standards (SMP 5.12.03.A). No development will occur within the floodplain. As noted in Finding of Fact No. 1, on September 25, 2018 FEMA issued a determination on the applicant's requested Letter of Map Amendment which removed the proposed development portions of the parcels from the mapped floodplain. No shoreline protection measures or bulkheading will be required to create the new residential lots (SMP 6.07.04.B). As noted above, the staff is recommending the commission exempt the application from the requirements for providing shoreline access due to the presence of extensive wetlands and buffers between the development and the shoreline (SMP 6.07.04.C). All setbacks have been shown on the plat (SMP 6.07.04.D and E). No development is proposed in wetlands, floodways, geologically hazardous areas or over water (SMP 6.07.04.F).

A SEPA Mitigating Condition will require the applicant to install permanent signs along the boundary of the wetland buffer pursuant to SMP 5.07.A.03.M and N. An additional SEPA Mitigating Condition will require the applicant to install permanent split rail fencing along the edge of the wetland buffer adjacent to the proposed development (SMP 5.07.A.03.O). Finally, a SEPA Mitigating Condition will require the applicant to post a performance bond to assure that the fence is maintained (SMP 5.07.A.03.P).

A SEPA Mitigating Condition will prevent the applicant from developing the lots with more than 30% impervious surfaces based on the gross area of the full plat. No development will occur within 150 feet of the OHWM. The underlying zoning restricts the height of any building to 35 feet (SMP 6.07.05).

The new roads and utilities will not extend into the shoreline environment (SMP 6.09.03 and 6.10.03).

B. Wetlands

As proposed, no impacts to wetlands are anticipated. The applicant provided a critical areas report prepared by EnviroVector (Ex. 10). There is one jurisdictional wetland located on the western portion of the subject property. This wetland connects to the Puyallup River hydrologically through a channel on the southern portion of the subject property. The wetland is physically separated from the river by a levy and road. Wetland A is a total of 12.69 acres. Of this 77,220sf (1.77 acres) is on the subject site. Wetland A is a Category II wetland with a required buffer of 150 feet. No development is proposed in the wetland or within the required buffer. Several recommended conditions of approval relate to the buffer protection as noted above in Finding of Fact No. 3A.

C. Views

A chief concern of all the public commenters was views. The residents of Buell Street SW paid a premium fee for their lots because they had unobstructed views of Mount Rainier and the farmland to the south. They were told there would be no further phases for the Meadows and that the land to the south would remain open space. The subject property has two parcels. One is zoned Residential Conservation (RC). This zone has a lot size of two acres. Additionally, this area is predominately within the Shoreline Master Program jurisdiction and is completely encumbered by wetlands and their buffers. This portion of the subject parcel will not be developed. The other parcel is zoned Residential Urban with a density of 6 du/acre. This area is proposed for a total of 20 homes including the demolition and replacement of an existing home.

The City of Orting does not have any specific requirements for preservation of views. The development is in conformance with the requirements of the Residential Urban zone and will meet with the height and density requirements of that zone. There are no further actions the City can require with respect to the concerns expressed by the public with respect to views. The City was not party to any sales of the prior phases and will not be party to the sales within this phase and therefore cannot comment on the issues raised by the public with respect to premium lots or the value of the adjacent housing. The development, as mitigated, is in conformance with the Orting Municipal Code and, as noted in Finding of Fact No. 4, is consistent with the Orting Comprehensive Plan.

D. Compatibility

Two issues brought up by adjacent homeowners (Ex. 14 & 15) were privacy and compatibility. With respect to privacy, neighbors noted they had purchased lots they thought would not have adjacent homes. As noted in Finding of Fact No. 3C, the development, as proposed, will conform to the Orting Municipal Code and the Orting Comprehensive Plan. The development will be consistent in use, intensity, appearance and density to adjacent residential development. As the zoning implements the Comprehensive Plan and the development as mitigated will conform to the zoning code, the development will be compatible with surrounding uses. With respect to privacy, each lot will conform to the appropriate front, rear and side yard setbacks. The applicant has proposed perimeter landscaping and fencing next to adjacent residential uses as described in Finding of Fact 2I.

E. Hazards

There are no discernable hazards presented by the proposal. The applicant will be required to provide a temporary erosion and sediment control plan as well as best management practices for construction spills. Ms. Smith noted that traffic is such that evacuation in the event of a lahar will be difficult. She suggested this is a justification for limiting development. The City of Orting is working on plans for a lahar evacuation bridge. As noted in Finding of Fact 2E, the City cannot control or influence traffic on state routes. We are required by the Growth Management Act to permit development that is in conformance with our zoning codes and Comprehensive Plan. As noted

above in Finding of Fact No. 3C, this proposed development, as mitigated, meets these criteria.

4. Consistency with Comprehensive Plan. The project is consistent with the following policies of the Orting Comprehensive Plan.

- Pol. LU 5.2** The Residential Urban (RU) land use category is intended for areas that are suitable for residential development with the provision of full services. It includes existing exclusively residential subdivisions that have been platted at an average density of six units per acre. The maximum density of development in the RU district shall be six units per acre except that one additional unit may be allowed on a lot that is at least 150% larger than the minimum lot area.
- Pol. LU 5.6** Ensure that the City's development regulations require new development to be in the best interest of the surrounding property, the neighborhood, or the City as a whole, and generally in harmony with the surrounding area.
- Pol. LU 5.7** Planning Commission review of residential developments should be focused on the height of structures, noise and lighting impacts and providing adequate open space.
- Pol. LU 11.1** All development activities shall be located, designed, constructed and managed to avoid disturbance of and minimize adverse impacts to fish and wildlife resources, including spawning, nesting, rearing and habitat areas and migratory routes.
- Pol. LU 11.2** Prohibit the unnecessary disturbance of natural vegetation in new development, in accordance with the Critical Areas Ordinance.
- Pol. LU 11.4** Seek to retain as open space wetlands, river and stream banks, ravines, and any other areas that provide essential habitat for endangered or threatened plant or wildlife species.
- Pol. LU 11.5** Protect wetlands to enable them to fulfill their natural functions as recipients of floodwaters and as habitat for wildlife through the critical areas ordinance.
- Pol. LU 11.8** The City shall consider the impacts of new development on water quality as part of its review process and require any appropriate mitigating measures. Impacts on fish resources shall be a priority concern in such reviews.
- Pol. LU 11.9** The City Shoreline Master Program shall govern the development of all designated Shorelines of the State within Orting. Lands adjacent to these areas shall be managed in a manner consistent with that program.
- Pol. LU 13.1** Coordinate new development with the provision of an adequate level of services and facilities, such as schools, water, transportation and parks, as established in the capital facilities element.
- Pol. LU 13.2** Ensure that new development does not outpace the City's ability to provide and maintain adequate public facilities and services, by allowing new development to occur only when and where adequate facilities exist or will be provided.

- Pol. LU 13.3** The City will coordinate concurrency review. Developers shall provide information relating to impacts that the proposed development will have on public facilities and services. The City shall evaluate the impact analysis and determine whether the development will be served by adequate public facilities.
- Pol. H 1.7** Accommodate Orting's fair share of the County's housing needs through the designation of adequate residential land for development and the achievement of the city's housing policies.
- Pol. T 15** Require safe, attractive sidewalks on all new streets. Implement a program to improve pedestrian and bicycle use of existing streets.
- Pol. T 30** Maintain and apply standardized transportation impact mitigation procedures and strategies.
- Pol. CF 3.1** Development shall be allowed only when and where all public facilities are adequate and only when and where such development can be adequately served by essential public services without reducing levels of service elsewhere.
- Pol. CF 3.5** A development shall not be approved if it causes the level of service on a capital facility to decline below the standards set forth in CF Policy 3.3 and 3.4, unless capital improvements or a strategy to accommodate the impacts are made concurrent with the development for the purposes of this policy. "Concurrent with the development" shall mean that improvements or strategy are in place at the time of the development or that a financial commitment is in place to complete the improvements or strategies within six years.
- Pol. CF 3.7** Require that development proposals are reviewed by the various providers of services, such as school districts, sewer, water, and fire departments, for available capacity to accommodate development and needed system improvements.
- Pol. CF 3.8** New or expanded capital facilities should be compatible with surrounding land uses; such facilities should have a minimal impact on the natural or built environment.
- Pol. CF 8.3** The City should require new development to provide onsite storm drainage and all off-site improvements necessary to avoid adverse downstream impacts.

Conclusions of Law

1. Authority

Pursuant to OMC 15-4-1, Tables 15-4-1 and 15-4-2, Preliminary Plats are Type IV land use decisions determined by the City Council after an open record hearing. Variances are Type III decisions by the Hearing Examiner. Generally, the Planning Commission holds an open record hearing on a preliminary plat and makes a recommendation to the City Council. However, in this case, the jurisdiction is the Hearing Examiner because of the Type III Variance request (OMC 15-4-2-B). Therefore, the Examiner will make a recommendation to the City Council. The City Council will hold a closed record hearing before issuing

a final decision. The final decision of the City Council may be appealed to the Pierce County Superior Court (OMC 15-10-6).

2. Review Criteria

OMC 12-5-3 governs the review criteria for approval of preliminary plats. OMC 13-6-3-C governs the review criteria for Variances. The review criteria are quoted below in italic and applied through the corresponding conclusions of law.

A. Preliminary Plat Approval Criteria

OMC 12-5-3: Criteria for Approval:

The planning commission shall make an inquiry into the public use and interest proposed to be served by the establishment of the subdivision and/or dedication, shall hold an open record public hearing, and shall consider:

A. Conformity: Whether the preliminary plat conforms to chapter 8 of this title and with title 15 of this code;

B. Specific Provisions: If appropriate provisions are made for, but not limited to, the public health, safety and general welfare, for open spaces, drainageways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds, and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school; and

C. Public Interest: Whether the public interest will be served by the subdivision and dedication.

OMC 12-8-1: General Requirements for Approval of Subdivision:

In addition to the criteria for approval applicable to an individual application, all subdivisions must meet the following general requirements in order to be approved:

A. Land Use Controls: No subdivision may be approved unless written findings of fact are made that the proposed subdivision or short subdivision is in conformity with any applicable zoning ordinance, comprehensive plan or other existing land use controls.

B. Dedications; Generally:

1. An offer of dedication may include a waiver of right of direct access to any street from any property, and if the dedication is accepted, any such waiver is effective. The city may require such waiver as a condition of approval.

2. Roads not dedicated to the public must be clearly marked "private" on the face of the plat.

3. Any dedication, donation or grant as shown on the face of the plat shall be considered to all intents and purposes, as a quitclaim deed to the said donee(s) or grantee(s) for his/her/their use for the purpose intended by the donor(s) or grantor(s).

4. If the plat or short plat is subject to a dedication, the certificate or a separate written instrument shall contain the dedication of all streets and other areas to the public, and individual(s), religious society(ies) or to any corporation, public or private, as shown on the plat or short plat, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. Said certificate or instrument of dedication shall be signed and acknowledged before a notary public by all parties having any ownership interest in the lands subdivided and recorded as part of the final plat.

5. Every plat and short plat containing a dedication filed for record must be accompanied by a title report confirming that the title of the lands as described and shown on said plat is in the name of the owners signing the certificate or instrument of dedication.

6. Dedication of land to any public body, provision of public improvements to serve the subdivision, and/or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be required as a condition of subdivision approval. No dedication, provision of public improvements or impact fees imposed under Revised Code of Washington 82.02.050 through 82.02.090 shall be allowed that constitutes an unconstitutional taking of private property.

C. Dedication Of Public Park: The planning commission shall recommend naming of streets and parks within proposed subdivisions. If preliminary plats include dedication of land for public parks with areas greater than required for subdivision approval and the proponents request commemorative names, the planning commission shall consider such requests. The city council shall adopt the names as part of final plat approval.

D. Release From Damages: The city shall not as a condition to the approval of any subdivision require a release from damages to be procured from other property owners.

E. Flood, Inundation Or Swamp Conditions: A proposed subdivision may be disapproved because of flood, inundation, or swamp conditions. Construction of protective improvements may be required as a condition of approval, and such improvements shall be noted on the final plat. No plat shall be approved covering any land situated in a floodway as provided in Revised Code of Washington chapter 86.16 without the prior written approval of the state department of ecology.

F. Bonds: In lieu of the completion of the actual construction of any required improvements prior to the approval of a short or final plat, the planning commission or city council may accept a bond, approved as to form by the city attorney, in an amount and with surety and conditions satisfactory to it, or other secure method, providing for and securing to the city the actual construction and installation of such improvements within a period specified by the city and expressed in the bonds. In addition, the city may require the posting of a bond securing to the city the successful operation of improvements for up to two (2) years after final approval. All bonded improvements shall be designed and certified by or under the supervision of a registered civil engineer prior to the acceptance of such improvements.

B. Staff Response

- B.i. Conformity – Land Use Controls** As described in Finding of Fact No. 1-3, as mitigated and as conditioned, the proposed subdivision is in conformity with all applicable zoning requirements, the Orting Comprehensive Plan and other existing land use controls.
- B.ii. Conformity – Dedication of Roads** As noted in Finding of Fact No. 2F, the proposal will create a new public road built to City standards. The roadway will be dedicated to the City. Access to Lots 13-14, and 17-19 will be accessed by two private access tracts (Tracts A and B), respectively. The stormwater pond will be private and accessed via Tract C. All lots and Tracts will be directly accessible from the new private road. A recommended condition of approval will require the applicant to record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.
- The applicant provided a title report demonstrating ownership of the property. The plat will contain the signatures of all those with ownership interest in the property.
- As noted in Finding of Fact No. 2D, the applicant will pay impact fees for streets in accordance with the City's adopted transportation improvement program, the City's Comprehensive Plan, and OMC Title 15 Chapter 6.
- B.iii. Conformity – Dedication of Parks** As noted in Finding of Fact No. 2D, the applicant will pay park impact fees pursuant to OMC Title 15-6-7(B). The proposal does not include a public or private park dedication.
- B.iv. Conformity – Release from Damages** No release from damages from other property owners was required or will be required as a condition of approval.

- B.v. Conformity – Flood, Inundation or Swamp Conditions** As noted in Finding of Fact No. 1 and 3A, portions of the project site are located within the floodplain. However, all of the developable portion of the site is outside of the floodplain and not subject to Title 14 OMC Flood Control.
- B.vi. Conformity – Bonds** SEPA Mitigation Measures (Ex. 18) required the applicant to post bonds for maintenance of the perimeter landscaping and the wetland delineation fence. The City and applicant may agree to further bond conditions prior to final plat approval. Final plat approval will not be given until all required infrastructure is in place, inspected and approved or the applicant has posted an appropriate bond.
- B.vii. Specific Provisions** As noted in Finding of Fact No. 2, appropriate provisions have been made the public health, safety and general welfare (FOF No. 2B), for open spaces (FOF No. 2D), drainageways (FOF No. 2C), streets or roads, alleys, other public ways (FOF No. 2E-F), transit stops (FOF No. 2H), potable water supplies, sanitary wastes (FOF No. 2A), parks and recreation, playgrounds (FOF No. 2D), schools and school grounds (FOF No. 2K), and shall consider all relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school (FOF No. 2G).
- B.viii. Public Interest** As noted in Finding of Fact No. 4, the proposal implements the Comprehensive Plan for this zone which, therefore, serves the public interest.
- C. Variance Approval Criteria** **OMC 13-6-3-C Criteria for Approval:**
- Decision Criteria: Before any variance may be granted, it shall be shown:*
- 1. That there are special circumstances applicable to the subject property or to the intended use such as shape, topography, location, or surroundings that do not apply generally to the other property or class of use in the same vicinity and zone;*
 - 2. That such variance is necessary for the preservation and enjoyment of a substantial property right or use possessed by other property in the same vicinity and zone but which because of special circumstances is denied to the property in question;*
 - 3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvement in such vicinity and zone in which the subject property is located;*
 - 4. That the granting of such variance will not adversely affect the comprehensive plan.*

D. Staff Response

- D.i Special Circumstances** There are special circumstances related to this subject property that do not generally apply to other properties in the same vicinity or zone. As noted in Finding of Fact No. 3A-B, the property is encumbered by both shoreline areas and shoreline wetlands. The shorelines and wetlands plus their associated buffers encumber 4.85 acres of the 10.01-acre total property. The applicant has proposed a development density of 4 du/ac in a 6 du/ac zone. If the wetlands and shoreline did not encumber the property, the applicant would be able to develop the site with significantly more homes. The applicant has requested a variance from the right of way setback requirement on Lot 18 and the associated perimeter landscaping buffer width. Without the variances, the applicant would not be able to develop Lot 18 and would lose that lot, further reducing the site's development potential.
- D.ii. Substantial Property Right** The variances are necessary to preserve the applicant's substantial property right to develop the lot to the maximum permissible density given the restriction of the zone and the requirements for critical areas and shoreline preservation. Other properties within the zone, including the adjacent property to the north, have been able to develop to the full development density in the Residential Urban zone. The critical areas prevent development of this site to the minimum residential density required by the zone. The variances, if approved, will allow the applicant to develop 20 lots instead of 19 on a property that if unencumbered might develop up to a maximum of 60 lots.
- D.iii. Public Welfare** As mitigated and with the recommended conditions of approval, granting the variances will not be materially detrimental to the public welfare or injurious to the surrounding property. The January 4, 2019 SEPA MDNS required the applicant to maintain perimeter landscaping along the public right of way through posting of appropriate bonds (SEPA MDNS Mitigation Measure #2) and to create a homeowners association charged with maintaining the perimeter landscaping (SEPA MDNS Mitigation Measure #3). A recommended condition of approval will require the applicant to construct a six-foot tall solid wood fence between the perimeter landscaping and the development envelope of Lot 18. This will provide screening for the public as viewed from the right of way while also providing privacy for the homeowner of Lot 18.
- D.iv. Comprehensive Plan** As noted in Finding of Fact No. 4, the project as mitigated and conditioned is consistent with the Orting Comprehensive Plan. Approval of the variances will not adversely affect the Comprehensive Plan.

Recommendation

Based on the Findings of Fact and Conclusions of Law stated above, the Staff recommends the Hearing Examiner recommend approval of the proposed preliminary plat and the right of way and perimeter landscaping width variances to the City Council, subject to the following recommended conditions of approval:

1. The project shall conform to SEPA Mitigating Conditions as listed in the January 4, 2019 SEPA MDNS (Ex. 18).
2. The applicant shall record a certificate or a separate written instrument containing the dedication of all streets and other areas to the public, and a waiver of all claims for damages against any governmental authority which may be occasioned to the adjacent land by the established construction, drainage and maintenance of said road. This condition of approval shall be met prior to final plat approval.
3. The applicant shall provide a six-foot, solid wood fence between the perimeter landscaping and the building envelope for Lot 18. The perimeter landscaping shall be open to the Beckett Lane SW right of way.

NOTICE OF ORTING PLANNING COMMISSION PUBLIC HEARING

Monday, November 9, 2020 – 7:00 pm

NOTICE IS HEREBY GIVEN the Orting Planning Commission will be holding a Public Hearing. The purpose of this hearing is to receive public testimony regarding a proposal made by Copper Ridge LLC and CES NW Inc. for a Final Plat Approval of a proposed subdivision located at 403 Beckett Lane SW, Orting, WA 98360. The proposal is for development of 20 single-family residential lots, a new road (Road A), three access tracts (Tracts A, B and C), a storm tract (Tract D) and a wetland/buffer Tract (Tract E).

The hearing will be held at a virtual special Planning Commission Meeting on Nov. 9th, 2020 at 7:00pm. The City is utilizing remote attendance for the hearing. Comments made be made by the public by a log in or call in number and then entering the Meeting ID. To join the meeting/hearing on a computer or mobile phone: <https://bluejeans.com/769506434>

Phone Dial-in: +1.408.419.1715 (United States(San Jose)) or +1.408.915.6290 (United States(San Jose)).

Then enter Meeting ID: 769 506 434

If you are unable to join the hearing written comments may be submitted to City Planner Emily Adams electronically, no later than 1:00pm on Nov. 9th, 2020 at EAdams@cityoforting.org or by mail to the Planning Commission secretary at 102 Bridge St S, PO Box 489, Orting, WA, 98360.

Written comments will be sent to the Commission prior to the hearing and will become part of the public record. Further information may be obtained by emailing Emily Adams at the email above or by phone at 253-284-0263.



Ad Order Information

Ad Number 0004796424-01 **Ad Type** TAC-Legal Liner **Production Method** AdBooker **Production Notes**

External Ad Number **Ad Attributes** **Ad Released** No **Pick Up**

Ad Size 1 X 35 li **Color**

Product TAC-NT-News Tribune **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN the Orting Planni **Position** 0301 - Legals & Public Notices

Run Dates 10/30/2020

Product TAC-upsell.thenewstribune.com **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN the Orting Planni **Position** 0301 - Legals & Public Notices

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If you are unable to join the hearing written comments may be submitted to City Planner Emily Adams electronically, no later than 1:00pm on November 9, 2020 at EAdams@cityoforting.org or to the Planning Commission Secretary at PO 489, Orting, WA 98360. Written comments will be sent to the Commission prior to the hearing and will become part of the public record. Further information may be obtained by emailing Emily Adams at the email above or by phone at 253-284-0263.

NOTICE OF ORTING CITY COUNCIL CLOSED RECORD HEARING

Tuesday, November 24th, 2020 – 7:00 pm

NOTICE IS HEREBY GIVEN that the City Council will be holding a closed record hearing.

The purpose of this hearing is to review the record and take action on a proposal made by Copper Ridge LLC and CES NW Inc. for a Final Plat Approval of a proposed subdivision located at 403 Beckett Lane SW, Orting, WA 98360. The proposal is for development of 20 single-family residential lots, a new road, three access tracts, a storm tract and a wetland/buffer Tract. The Orting Planning Commission held an open public hearing on November 9, 2020 and recommended approval of the final plat. The public is invited to attend. Any person with standing may appeal the final decision. **The hearing will be held at a virtual Special City Council Meeting. The City is utilizing remote attendance for the hearing. Comments made by the public by a log in or call in number and then entering the Meeting ID.**

To join the meeting/hearing on a computer or mobile phone: <https://bluejeans.com/129750645?src=calendarLink>

Phone Dial-in: +1.408.419.1715 or +1.408.915.6290

Meeting ID: 129 750 645

If you are unable to join the hearing, written comments may be submitted by 1:00pm on November 24th to Emily Adams, City Planner, at eadams@cityoforting.org. Written comments will be sent to the Council prior to the hearing and will become a part of the record. Interested citizens are encouraged to attend the hearing. Questions may be directed to the City Planner by email or by phone at 253-284-0263.



Ad Order Information

Ad Number 0004808347-01 **Ad Type** TAC-Legal Liner **Production Method** AdBooker **Production Notes**

External Ad Number **Ad Attributes** **Ad Released** No **Pick Up**

Ad Size 1 X 32 li **Color**

Product TAC-NT-News Tribune **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN that the Orting C **Position** 0301 - Legals & Public Notices

Run Dates 11/13/2020

Product TAC-upsell.thenewstribune.com **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN that the Orting C **Position** 0301 - Legals & Public Notices

Run Dates 11/13/2020

NOTICE IS HEREBY GIVEN that the Orting City Council will be holding a closed record hearing. The purpose of this hearing is to review the record and take action on a proposal made by Copper Ridge LLC and CES NW Inc. for a Final Plat Approval of a proposed subdivision located at 403 Beckett Lane SW, Orting, WA 98360. The proposal is for development of 20 single-family residential lots, a new road, three access tracts, a storm tract and a wetland/buffer Tract. The Orting Planning Commission held an open public hearing on November 9, 2020 and recommended approval of the final plat. The public is invited to attend. Any person with standing may appeal the final decision. **The hearing will be held at a virtual Special City Council Meeting on November 24th, 2020 at 7:00pm.** The City is utilizing remote attendance for the hearing. Comments may be made by the public by a log in or call in number and then entering the Meeting ID. To join the meeting/hearing on a computer or mobile phone: <https://bluejeans.com/129750645?src=calendarLink>
Phone dial-in: +1.408.419.1715 OR +1.408.915.6290 **Meeting ID:** 129 750 645
QUESTIONS: Questions may be directed to the City Planner at eadams@cityoforting.org or by phone at 253-284-0263.

Comments & Concerns to be presented at the City of Orting Planning
Commission Public Hearing on November 9

My name is Roy Edmondson III and my property address is; 717 Koehler Ave. SW

The questions and concerns are as follows:

1. Replace all damaged and missing Parking Strip Trees.
2. Install Sprinkler System to existing Parking Strip on Beckett Lane S.W., similar to new system installed in Parking Strip in front of the 20 new homes to be built.
3. Repair any existing roads that may have been damaged by any heavy trucks and equipment during preparing the 20 lots for building.
4. What is to be done on the existing properties adjacent to the new lots which have been raised 4 to 6 feet above existing home lots?

Thank you,
Roy Edmondson III
717 Koehler Ave. S.W.
(253) 906-3487
November 4, 2020

PS: Where can I get a copy of the RC&C Document for the Meadows at Orting South HOA.

Attn: Emily Adams/Orting Planning Commission

Lisa Coville <jfsjwl@live.com>

Mon 11/9/2020 7:59 PM

To: Emily Adams <EAdams@cityoforting.org>;

We live at 502 Beckett Ln SW which is the house at the of the street adjacent to this last phase of The Meadows. Our concerns are as follows:

- 1) The tall Poplar tree located on the fence line. We would like the tree removed or liability documented that any damage caused by said tree would be solely The Meadows.
- 2) We were told that a wood fence would be installed along our mutual property line. We are just double checking that that will still be done.
- 3) We still have some concerns regarding runoff water that forms from a serious rain event. It used to follow the edge of the street on the east side. Then it would cross the street to the north corner of this development. Now the street sits at a higher elevation due to road improvements. We are hoping that this will not impact us in such a way as to seriously back up water on our property.

Thank you for your attention to our concerns.

Lisa & Jeff Coville

Sent from my Verizon, Samsung Galaxy smartphone

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Total Control Panel

[Login](#)

To: eadams@cityoforting.org

Message Score: 50

High (60): Pass

From: jfsjwl@live.com

My Spam Blocking Level: High

Medium (75): Pass

Low (90): Pass

[Block](#) this sender

[Block](#) live.com

This message was delivered because the content filter score did not exceed your filter level.



Date: November 9, 2020
Planning Commission Public Hearing
Meadow (4) At Orting South Final Plat
Testimony Record
7:25pm – 7:29pm

Testimony given by: Name & Physical Address

Roy Edmundson at 717 Koehler Ave SW:

- Wayne Carlson from AHBL read Mr. Edmundson's letter into the record. See attached letter.

Lisa Coville at 502 Beckett Lane SW:

- Stated there was a poplar tree on the property line that she would like addressed as she feels it is a hazard. She would like it taken out or have the developer assume responsibility if the tree falls.
- She had been told there would be a fence between her property and the development which has not been installed.
- Stated she had concerns regarding increase surface water being added to here property due to the increase height of Beckett Lane SW as well have possible impact from the development itself.

Question/Response:

Response to Roy Edmundson Letter by Engineer JC Hungerford:

- The parking strip trees along Beckett were not damaged by the contract for the Meadows 4 development and per OMC are the adjacent property owner's responsibility.
- The Developer is not responsible for installing irrigation along an already constructed frontage. The Developer has installed an irrigation system along the frontage of this development on Beckett Lane SW.
- Soundbuilt Homes is aware of the road damage, after construction and after the trucks are no longer transporting, Soundbuilt Homes will repair the road to City standards.

- The drainage for Meadows 4 is closely monitor by the City, both Meadows 3 and 4 share a swell that collects surface water which then drains through piping to the storm water system. As in the past the City has educated home owners regarding the water swells that are on their property and will continue to do so. Swells continue to be the most effective over French Drains and piping.

Response to Lisa Coville by Engineer JC Hungerford:

- It will need to be determined on who's the property the Poplar tree is on. Soundbuilt Homes and Ms. Coville will research this together; the tree will be the responsibility of the property owner. If it is on the property line the two adjacent property owners would need to discuss and share the responsibility for the determination of whether to remove the tree or not.
- The fencing between the Coville property and Meadows 4 will be installed; fences surrounding the entire development is part of the preliminary plan approval and normally are installed towards the end of the project.
- There is now a storm drain systems on both the east and west side of Beckett Lane SW with drainage to catch basins. Engineer Hungerford will meet with Lisa Coville and her husband to review the drainage system changes made for the Meadows 4 development.
- Ms. Coville's cell number will be forwarded to Engineer Hungerford by City staff.

Response to Planning Commissioners questions:

Commissioner Wilson asked why the Transportation Impact Fee is based on only one (1) PM trip? Engineer Hungerford responded that this was regulated by the OMC and is the standard with most jurisdictions. Per the Institute of Transportation Engineers Trip Generation Manual, 1 PM Peak Hour Trip is generated for a single-family residence.

Commissioner Wilson asked about home products and how was that determined. The Developer's representative present at the meeting stated he was not sure what product would be built on this plat but he assured it would meet City Code.

Commissioner Wilson asked why the improvements were done on only ½ of the street. Engineer Hungerford stated the developer was responsible for and has completed paving the whole street, and doing curb, gutter and sidewalk on the one side of the street that is adjacent to Meadow 4; the other side is adjacent to a completed development.

Commissioner Bartholomew asked if the house identified for destruction had been demolished. Engineer Hungerford report yes it has been demolished.



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Dates
Subject: 2021 Budget Ordinance	AB20-88		11.18.20	11.12.20 11.24.20
	Department:	Finance		
	Date Submitted:			
Cost of Item:		<u>\$25,273,777</u>		
Amount Budgeted:		<u>N/A</u>		
Unexpended Balance:		<u>N/A</u>		
Bars #:		Various		
Timeline:		By December 31, 2020		
Submitted By:		Scott Larson		

Fiscal Note: See attached Budget

Attachments: Ordinance No. 2020-1066; 2021 Budget

SUMMARY STATEMENT:

The 2021 Revenue Budget is estimated to be \$19.1 million and the expense budget is estimated to be \$25.3 million. The difference between revenue and expense is driven by capital projects and will be made up with money the city has set aside over the years to fund these projects. The General Fund revenue is estimated to be \$3.719 million and the estimated expense budget is \$3.718 million, leaving the city with a general fund surplus of approximately \$1,500.

Changes to the budget document since the study session include:

- Struck the flatbed trailer in the Public Works Department
- Increased Grant budget by \$37,000. This will fund the grants based on the CGA recommendation.
- Reduced the budgeted hours for the Term Limited Records Organizer in the Building Department ~\$8,000
- Adjusted staff benefits based on changes during open enrollment
- Added a \$98,711.35 fund reserve to the cemetery. These funds were generated from the sale of cemetery property in 2020.

RECOMMENDED ACTION: MOTION: *To Adopt Ordinance No. 2020-1066, An Ordinance of the City Of Orting, Washington Relating to the Annual Budget for Fiscal Year 2021; Adopting the City of Orting 2021 Budget and The Job Classification And Pay Range For Employees.*

**CITY OF ORTING
WASHINGTON
ORDINANCE NO. 2020-1066**

AN ORDINANCE OF THE CITY OF ORTING, WASHINGTON RELATING TO THE ANNUAL BUDGET FOR FISCAL YEAR 2021; ADOPTING THE CITY OF ORTING 2021 BUDGET; ADOPTING THE JOB CLASSIFICATION AND PAY RANGE FOR EMPLOYEES; ESTABLISHING AN EFFECTIVE DATE; AND, PROVIDING FOR SEVERABILITY

WHEREAS, State law, Chapter 35A.33 RCW requires the City to adopt an annual budget and provides procedures for the filing of estimates, a preliminary budget, deliberations, public hearings, and final fixing of the budget; and

WHEREAS, the Mayor of the City of Orting, Washington, completed and placed on file with the City Clerk a preliminary budget and estimate of the amount of the moneys required to meet the public expenses, bond retirement and interest, reserve funds, and expenses of government of said city for the fiscal year ending December 31, 2021; and

WHEREAS, a notice was published that the council of said City would meet on the 12th day of November 2020, and the 24th day of November 2020 at the hour of 7:00 pm and 7:00 pm., respectively, virtually, for the purpose of making and adopting a budget for said fiscal year and giving taxpayers within the limits of said City an opportunity to be heard upon said budget; and

WHEREAS, the said City Council did meet at said time and place and did then consider the matter of said preliminary budget and has made adjustments and changes deemed necessary; and

WHEREAS, the proposed budget does not exceed the lawful limit of taxation allowed by law to be levied on the property within the City of Orting for the purposes set forth in said budget, and the estimated expenditures set forth in said proposed budget being all necessary to carry on the government of said city for said year and being sufficient to meet the various needs of said city for said period; and

WHEREAS, the City Council after hearing and after duly considering all relevant evidence and testimony presented, and have made all adjustments to the preliminary budget as deemed necessary and prudent by the City Council, has determined that adoption of the proposed budget is in the best interest of the City;

NOW, THEREFORE, the City Council of the City of Orting, Washington, do ordain as follows:

SECTION 1. Adoption of 2021 Budget. The budget for the City of Orting, Washington, for

the fiscal year 2021 covering the period from January 1, 2021 through December 31, 2021, with regular revenues and expenditures and ending fund balances as set forth in Section 2 of this ordinance, is hereby adopted at the fund level in its final form and content as set forth in the document entitled "City of Orting 2021 Budget", three copies of which are on file in the Office of the City Clerk.

SECTION 2. Fund Reserves. The following funds have reserve accounts. These reserve moneys will be expensed as identified in the 2021 budget. Impact Fee amounts include projected additions from new construction during 2020.

Street Impact Fee Reserve:	\$313,000
Cemetery Property Sale Reserve	\$98,711.35

SECTION 3. Summary of Revenues and Appropriations. Estimated resources, including fund balances or working capital for each separate fund of the City of Orting, and aggregate totals for all such funds combined, for the year 2021 are set forth in summary form below, and are hereby appropriated for expenditure at the fund level during the fiscal year 2021 as set forth in Exhibit A.

SECTION 4. Job Classifications and Pay Ranges. The job classifications and pay ranges for employees of the City as set forth in the schedule in Exhibit B are hereby adopted as part of the budget for 2021 and shall constitute the job classifications and pay ranges for such employees except as to those employees who are members of a bargaining unit wherein the applicable bargaining agreement may establish a different job classification and/or pay range.

SECTION 4. Transmittal by City Clerk. The City Clerk is directed to transmit a certified copy of the budget hereby adopted to the State Auditor's Office and to the Association of Washington Cities.

SECTION 5. Severability. Should any section, paragraph, sentence, clause or phrase of this Ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this Ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this Ordinance or its application to other persons or circumstances.

SECTION 6. Effective Date. This Ordinance shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after the date of publication.

ADOPTED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE 24TH DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte A. Archer
Inslee, Best, Doezie & Ryder, P.S.
City Attorney

Filed with the City Clerk: 11.5.20
Passed by the City Council: 11.24.20
Ordinance No. 2020-1066
Date of Publication:
Effective Date:

2021 Budget, Exhibit A
Summary of Expenses

<u>Fund</u>	<u>2021 Budget</u>
General Fund	\$3,718,339.42
City Streets	\$777,185.15
Cemetery	\$52,965.40
Parks Department	\$922,746.00
Tourism Fund	\$5,720.00
TBD	\$1,200.00
Police Department Drug	\$3,300.00
LOCAL Vehicle Purchase 2016	\$100,423.11
LOCAL Backhoe Purchase 2017	\$24,058.10
Emergency Evacuation Bridge	\$260,000.00
Transportation Impact	\$250,000.00
Water	\$2,072,192.64
Wastewater	\$14,149,646.33
Stormwater	\$2,870,892.53
Utility Land Acquisition	\$65,000.00
Cemetery Perpetual Fund	\$0.00
<u>Skinner Estate Fund</u>	<u>\$2,000.00</u>
Total Appropriations	\$25,275,668.67

Exhibit B

2021 Job Classifications and Pay Ranges

<u>Position</u>	<u>Range</u>	<u>Approved FTE</u>		<u>Department</u>	<u>Salary (Low & High)</u>	
		<u>Positions</u>			<u>Low</u>	<u>High</u>
Unrepresented Employees						
City Administrator	45	1		GG	124,702.43	140,353.68
Finance Director	36	1		GG	95,574.03	107,569.41
City Planner	34	1		GG	90,087.69	101,394.48
City Clerk	29	1		GG	77,710.43	87,463.77
Building Official	26	1		GG	71,116.05	80,041.74
Administrative Assistant	18	1		GG	56,139.67	63,185.69
Events & Activities Coordinator	12	0.5		GG	23,508.04	26,458.51
Intern (Clerk's Office)	1	0.5		GG	16,982.71	19,114.19
Term Limited Records Organizer	8	1		GG	41,773.19	47,016.09
Court Administrator	27	1		Court	73,249.53	82,442.99
Police Chief	42	1		Police	114,120.39	128,443.50
City Engineer	45	1		PW	124,702.43	140,353.68
Public Works Director	40	1		PW	107,569.41	121,070.32
Term Limited Landscape Maintenance	1	0.5		PW	16,982.71	19,114.19
Supported Employment		0.2		PW	6,240.00	6,240.00
Police Wages (Per CBA)						
Officer	P24	7		Police	70,491.20	81,723.20
Detective	P26	1		Police	77,022.40	84,177.60
Lieutenant	P28	2		Police	84,177.60	91,977.60
Public Works and Administrative Staff (Per CBA)						
Sr. Accountant	20	1		GG	58,620.64	65,978.05
Accountant I	15	2		GG	50,566.68	56,913.25
HR Clerk	17	1		GG	53,646.19	60,379.26
Building Inspector/Permits	20	0		GG	58,620.64	65,978.05
Building Permits Tech	15	0		GG	50,566.68	56,913.25
Court Clerk	15	1		GG	50,566.68	56,913.25
Admin Asst. PW	20	1		PW	58,620.64	65,978.05
PW Supervisor	26	1		PW	69,996.11	78,781.24
Wastewater Plant Supervisor	26	1		PW	69,996.11	78,781.24
Water Plant Supervisor	24	1		PW	65,978.05	74,258.88
Wastewater OIT	14	2		PW	49,093.87	55,255.58
Wastewater I	16		PW	52,083.68	58,620.64	
Wastewater II	19		PW	56,913.25	64,056.36	
Wastewater III	22	2		PW	62,190.64	69,996.11
Water OIT	14		PW	49,093.87	55,255.58	
Water I	16		PW	52,083.68	58,620.64	
Water II	19	4		PW	56,913.25	64,056.36
Water III	21		PW	60,379.26	67,957.39	
Maintenance Worker I	13		PW	47,663.95	53,646.19	
Maintenance Worker II	15	1		PW	50,566.68	56,913.25
Stormwater Worker I	14		PW	49,093.87	55,255.58	
Stormwater Worker II	18		PW	55,255.58	62,190.64	
Code Enforcement	22	1		GG	62,190.64	69,996.11
Police Records Clerk I	13	1		GG	47,663.95	53,646.19



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Regular Meeting Dates
Subject: Public Hearing - Comprehensive Plan Amendments	AB20-90			
		N/A	11.18.20	11.24.20
	Department: Planning			
	Date Submitted: 11.18.2020			
	Cost of Item: \$NA			
Amount Budgeted: \$NA				
Unexpended Balance: \$NA				
Bars #:				
Timeline:				
Submitted By:		Emily Adams (Planner)		
Fiscal Note:				
Attachments: Staff Report and Exhibits, Adopting Ordinance				
<p>SUMMARY STATEMENT: The four proposed amendments that City Council decided should be carried forward have undergone analysis prepared by City staff and a public hearing before the Planning Commission. The commission recommends approval as proposed. Amendments include:</p> <ol style="list-style-type: none"> 1. A staff-initiated request for a Comprehensive Plan Amendment and Rezone of the City Hall site, located at 102 Bridge Street South, from Mixed Use Town Center (MUTC) to Public Facilities (PF). 2. A citizen-initiated request for a Comprehensive Plan Amendment and Rezone for the property at 210 Calistoga Street West from Residential Urban (RU) to Mixed Use Town Center (MUTC). 3. A staff-initiated request for a Comprehensive Plan Amendment and Rezone of Wellhead Site #3 located at 101 Williams Blvd NW from Residential Urban (RU) to Public Facilities (PF). 4. Text Amendment – A staff-initiated request for Comprehensive Plan Text Amendments which would modify the docketing process for the review of future Comprehensive Plan Amendment requests to be consistent with the Orting Municipal Code and other general housekeeping items to ensure consistency between City plans and code. 				
<p>RECOMMENDED ACTION: MOTION: <i>To adopt Ordinance No. 2020-1067 relating to land use and zoning; adopting amendments to the comprehensive plan; providing for severability; and establishing an effective date</i></p>				



CITY OF ORTING

104 BRIDGE ST S, PO BOX 489, ORTING WA 98360

Phone: (360) 893-2219 FAX: (360) 893-6809

www.cityoforting.org

City Council Staff Report

Project Name:	Comprehensive Plan Amendments and Rezones
Date of Staff Report:	November 10, 2020
Staff Recommendation:	Approval of all amendments
City Staff Contact:	Emily Adams, AICP City Planner
Public Comment Period:	August 26 – September 9 following SEPA DNS issuance, September 24 – October 5 following notice of the Planning Commission public hearing and November 13 – November 24 following notice of the City Council public hearing.
Public Notice:	Type 5 applications do not require notice of application per OMC 15-4-1. Notice of a public hearing was published and posted 10 days prior to the hearing per OMC 15-7-3.

Exhibits:

- A. Staff Report
- B. Site Specific Amendments Location and Current Zoning Maps
- C. Adopting Ordinance
- D. Comprehensive plan text amendments
- E. Amended Zoning Map
- F. SEPA environmental checklist
- G. SEPA determination of nonsignificance
- H. Published notice of SEPA DNS issuance
- I. Published notice of Planning Commission public hearing
- J. Posted notice of Planning Commission public hearing
- K. Comment from Jerry Cowan for Planning Commission Public Hearing
- L. Published notice of City Council Public Hearing
- M. Posted Notice of City Council Public Hearing

I. Background Information

The City, as a non-charter code city planning pursuant to the Growth Management Act, may amend (but is not required to) its Comprehensive Plan no more than once per year.

Orting Municipal Code 15-2-5 sets out a procedure for submission, review and action on proposed amendments to the City's Comprehensive Plan.

The timeframe for accepting applications for the 2020 Amendment Cycle was January 1 through February 28, 2020 and six applications were received. Following application closure, staff reviewed each amendment request according to the six criteria established in December 2019, when the Comprehensive Plan Amendment Procedures were adopted. Upon deliberation, City Council decided four of the six proposed amendments merited additional review by City staff and the Planning Commission. Resolution 2020-11 directed the Administrator to proceed with review of the selected amendments during the current cycle.

Each proposed amendment subsequently underwent analysis by City staff, as outlined in this Staff Report, and a public hearing before the Planning Commission followed a recommendation to Council. The City Council will now review the record and hold a hearing to consider the amendments. Following the hearing the City Council the City Council will take action on the proposed amendments.

II. Comprehensive Plan Amendment Requests:

1. *Site Specific Request #1 – 102 Bridge Street (New City Hall)*

Applicant/Owner: City of Orting

Project Address: 102 Bridge Street South

Parcel Number: 0519326010

A. Findings of Fact: This 0.5-acre site is the location of the new City Hall currently under construction. Staff has requested this site be rezoned to Public Facilities (PF) to align with the land use of the site. The site is currently zoned Mixed Use Town Center (MUTC) which is intended for a mix of commercial retail, office and residential, whereas the PF zone is intended for City owned uses.

i. Previous Analysis:

1. Whether the same area or issue was studied during the last amendment process and conditions in the immediate vicinity have significantly changed so as to make the requested change within the public interest.

The same issue and site was not studied during the last amendment process.

2. Whether the proposed amendment meets existing state and local laws, including the Growth Management Act (GMA).

The proposed amendment is consistent with existing state and local laws. The rezone would be contiguous with the PF zoning of the

adjacent parcel to the southwest which is the site of the Public Safety Building.

3. In the case of text amendments or other amendments to goals or policies, whether the request benefits the city as a whole versus a selected group.

N/A – this is not a text amendment.

If the request meets the criteria set forth in 1-3 above, it shall be further evaluated according to the following criteria:

4. Whether the proposed amendment can be incorporated into planned or active projects.

There are no planned or active projects for this to be incorporated into.

5. Amount of analysis necessary to reach a recommendation on the request. If a large-scale study is required, a request may have to be delayed until the following year due to workloads, staffing levels, etc.

This request will not require large-scale studies.

6. Volume of requests received. A large volume of requests may necessitate that some requests be reviewed in a subsequent year.

This is one of six requests, a manageable amount for staff this year. [Only four of the six requests moved forward in the process.]

ii. Consistency with Development Code

This amendment and rezone are consistent with the following, applicable development code:

OMC 13-3-2.H: The purpose of the PF zone “to be applied to major parcels of land serving the cultural, educational, recreational and public service needs of the community, such as, but not limited to schools, water and wastewater facilities, City buildings, City parking lots, and other City owned uses. This zone shall only apply to lands owned by governmental agencies.”

OMC 13-3-3, Table 1 City of Orting Land Use: The use on site, “government offices” is a permitted use in the PF zone

OMC 13-5-1, Table 1 Development Standards: The structure on site is consistent with the development standards including minimum lot requirements, minimum setbacks, maximum height, maximum coverage, and maximum density of the PF zone. For the PF zone minimum setbacks and maximum building height must be consistent with the most intensive

adjacent zone. For this property that would be the MUTC zone, the zone under which City Hall was planned, developed, and approved.

The comprehensive plan amendment and rezone would not create a nonconforming structure or use and is consistent with the use on site and the City of Orting's practice of zoning City owned land used operated for city facilities as PF.

iii. Consistency with Comprehensive Plan

The proposed amendments are consistent with the comprehensive plan by ensuring public service centers remain downtown and accessible via car, bike or to pedestrians. The reclassification to PF aids in implementing the Downtown Orting Vision Plan (Figure LU-3) which identifies a Gateway at the corner where the new City Hall will be located. The reclassification to PF ensures city-owned property, in this case the City Hall building, will be located at that corner to serve as a Gateway into the City, which is done through the design of the building, including the clock tower on the corner. Specific goals/ policies include:

- Goal LU 2 Preserve the small town rural service center character of Orting.

- Pol. LU 12.1 The Public Facility district is for areas devoted to public facilities such as schools, water and wastewater facilities, city buildings, state and federal properties, city-owned parking lots and to acknowledge and reserve sites that have been planned for public purposes.

- Pol. ED 4.3 Promote the infill and redevelopment of the downtown to enhance the sense of community, encourage pedestrian/bicycle mobility, and reduce the number and length of motorized shopping trips by working with property and business owners to market Orting, and provide parking solutions.

2. Site Specific Request #2 – 210 Calistoga Street West

Applicant/Owner: Gerald Cowan

Project Address: 210 Calistoga Street West

Parcel Number: 3670000261

A. Findings of Fact: This is a citizen-initiated request by the parcel owner, for a rezone from the current Residential Urban (RU) zoning to Mixed-Use Town Center (MUTC). The citizen has submitted the required materials and fee.

i. Previous Analysis:

1. Whether the same area or issue was studied during the last amendment process and conditions in the immediate vicinity have significantly changed so as to make the requested change within the public interest.

The same issue and site were not studied during the last amendment process.

2. Whether the proposed amendment meets existing state and local laws, including the Growth Management Act (GMA).

The proposed amendment meets existing state and local laws. It is contiguous with the same zoning designation to the northeast and mirrors the zoning across Calistoga Street.

3. In the case of text amendments or other amendments to goals or policies, whether the request benefits the city as a whole versus a selected group.

N/A – this is not a text amendment.

If the request meets the criteria set forth in 1-3 above, it shall be further evaluated according to the following criteria:

4. Whether the proposed amendment can be incorporated into planned or active projects.

There are no planned or active projects for this to be incorporated into.

5. Amount of analysis necessary to reach a recommendation on the request. If a large-scale study is required, a request may have to be delayed until the following year due to workloads, staffing levels, etc.

This request will not require large-scale studies.

6. Volume of requests received. A large volume of requests may necessitate that some requests be reviewed in a subsequent year.

**This is one of six requests, a manageable amount for staff this year.
[Only four of the six requests moved forward in the process.]**

ii. Consistency with Development Code

This amendment and rezone are consistent with the following, applicable development code:

OMC 13-3-2.D: The purpose of the MUTC zone “is to provide an attractive mix of commercial retail, office, residential and service development in the Town core. Pedestrian amenities, public transportation, and architectural design review will be considerations in development approvals for projects in this zone.”

OMC 13-3-3, Table 1 City of Orting Land Use: The current use on site is a single-family detached home. This use is not permitted in the MUTC zone. The proposed use, multi-family (duplexes) is permitted on site.

OMC 13-5-1, Table 1 Development Standards: The MUTC zone does not have any minimum lot requirements, minimum setbacks, or maximum density. The maximum height is 45’ or 3 stories subject to architectural design review and the maximum coverage is 100%. The structure on site is consistent with these development standards.

The comprehensive plan amendment and rezone would create a nonconforming use, as is expected with some zoning changes. The existing structure itself would be conforming.

iii. Consistency with Comprehensive Plan

The proposed comprehensive amendment and rezone is consistent with the comprehensive plan by allowing for higher residential housing within the delineated downtown core (Figure LU-3). This ensures it’s in a location that increases human activity within Orting’s downtown core, is served by public facilities, has minimal effect on the City’s single-family neighborhoods, and aids in providing a variety of housing types for the City. This would not be possible under the current RU zoning which would only allow for a single, detached housing unit on site.

Pol. LU 1.1 Encourage higher residential density and more intensive commercial development and human activity within Orting's downtown core to create a vibrant city center, reduce reliance on the automobile, and to provide opportunities for affordable housing.

- Goal LU 3 Encourage urban growth in areas that can be served by adequate public facilities and services and protect natural resources and environmentally sensitive lands, within the urban growth area.
- Goal LU 4 Provide a variety of housing choices for new residents.
- Pol. LU 4.1 Promote residential areas that offer a variety of housing densities, types, sizes, costs, and locations to meet future demand.
- Goal LU 5 Residential development shall be of high-quality design and shall be consistent with the character of Orting.
- Pol. H 1.1 Provide for a variety of housing types and densities in appropriate areas.
- Pol. H 2.2 Encourage creative design and development of denser, urban housing in and near the downtown.

3. Site Specific Request #3 – 101 Williams Blvd NE, Wellhead Site #3

Applicant/ Owner: City of Orting
Project Address: 101 Williams Blvd NE
Parcel Number: 7001770850

A. Findings of Fact: This property is used as a well site for the City. Staff has requested this site be rezoned to Public Facilities (PF) to align with the land use of the site. The site is currently zoned Residential-Urban (RU), which is intended for residential uses, whereas the PF zone is intended for City-owned uses.

i. Previous Analysis:

1. Whether the same area or issue was studied during the last amendment process and conditions in the immediate vicinity have significantly changed so as to make the requested change within the public interest.
The same issue and site were not studied during the last amendment process.
2. Whether the proposed amendment meets existing state and local laws, including the Growth Management Act (GMA).
The proposed amendment meets existing state and local laws.

3. In the case of text amendments or other amendments to goals or policies, whether the request benefits the city as a whole versus a selected group.

N/A – this is not a text amendment.

If the request meets the criteria set forth in 1-3 above, it shall be further evaluated according to the following criteria:

4. Whether the proposed amendment can be incorporated into planned or active projects.

There are no planned or active projects for this to be incorporated into.

5. Amount of analysis necessary to reach a recommendation on the request. If a large-scale study is required, a request may have to be delayed until the following year due to workloads, staffing levels, etc.

This request will not require large-scale studies.

6. Volume of requests received. A large volume of requests may necessitate that some requests be reviewed in a subsequent year.

This is one of six requests, a manageable amount for staff this year. [Only four of the six requests moved forward in the process.]

ii. Consistency with Development Code

This amendment and rezone are consistent with the following, applicable development code:

OMC 13-3-2.H: The purpose of the PF zone “to be applied to major parcels of land serving the cultural, educational, recreational and public service needs of the community, such as, but not limited to schools, water and wastewater facilities, City buildings, City parking lots, and other City owned uses. This zone shall only apply to lands owned by governmental agencies.”

OMC 13-3-3, Table 1 City of Orting Land Use: The use on site, “utility facilities” / “water supply facilities” is a permitted use in the PF zone

OMC 13-5-1, Table 1 Development Standards: The use on site is consistent with the development standards including minimum lot requirements, minimum setbacks, maximum height, maximum coverage, and maximum density of the PF zone. For the PF zone minimum setbacks and maximum building height must be consistent with the most intensive adjacent zone. For this property that would be the RU zone, the zone under which the onsite structures were planned, developed, and approved.

The comprehensive plan amendment and rezone would not create a nonconforming structure or use.

iii. Consistency with Comprehensive Plan

The proposed amendments are consistent with the comprehensive plan by ensuring utility services have minimal visual impact on the surrounding properties. By reclassifying the site to PF from RU it ensures the site, which is heavily screened and already used for public facilities, remains a public facilities site in the future which could aid in potential facility siting should the well ever be decommissioned.

Goal LU 2 Preserve the small town rural service center character of Orting.

Pol. LU 12.1 The Public Facility district is for areas devoted to public facilities such as schools, water and wastewater facilities, city buildings, state and federal properties, city-owned parking lots and to acknowledge and reserve sites that have been planned for public purposes.

Pol. SM 19.5 Utility facilities and rights-of-way should be designed to preserve the natural landscape and to minimize conflicts with present and planned land uses.

Goal U 2 Seek to minimize impacts associated with the siting, development, and operation of utility services and facilities on adjacent properties and the natural environment.

4. Comprehensive Plan Text Amendments

Applicant: City of Orting
Project Address: City-wide
Parcel Number: N/A

A. Findings of Fact: The proposed text amendments are generally considered housekeeping items. They are formatting, reference, or text amendments proposed to ensure the comprehensive plan is consistent with more recently adopted plans, such as the 2040 Transportation Plan and the 2019 Shoreline Master Plan (SMP), and code amendments. This prevents potential confusion for residents, applicants, and staff and removes conflicts within the City's regulating documents. The text amendments also update the docketing process. The previous process is as follows:



It is proposed to be amended to remove the Planning Commission recommendation step prior to the City Council decision to set the docket to be consistent with the Orting Municipal Code. The Planning Commission is still vested with the role of making a recommendation on the disposition of the Comprehensive Plan amendments prior to decision by the City Council.

Proposed Amendments:

Location	Current text	Amended Text	Reasoning
I- 9	The Element seeks to maintain level of service (LOS) C/D	The Element seeks to maintain level of service (LOS) D	Updating text for consistency with 2040 Transportation Plan.
I- 9	A minor update of the SMP was adopted in 2013.	A minor update of the SMP was adopted in 2013, and again in 2019.	Reflect most recent update to SMP.
I- 14	Planning Commission reviews the docket and forwards its recommendations to the City Council for consideration. City Council decides which proposed amendments should be considered and establishes a plan amendment schedule.	Staff performs an initial review of all timely submitted proposed amendments and prepares a report for submission to City Council. City Council decides which proposed amendments should be considered and establishes a plan amendment schedule.	Updating to eliminate conflict with Ordinance No. 2019-1055 which amended OMC 15-12-5 setting procedure for comprehensive plan amendment.
SM-1	As defined in this Shoreline Master Program, the Orting shorelands extend two hundred (200) feet from the ordinary high water mark (OHWM) and floodways associated with the Carbon and Puyallup Rivers, and include any wetlands associated with these two rivers.	As defined in this Shoreline Master Program, the Orting shorelands extend two hundred (200) feet from the ordinary high water mark (OHWM) and floodways associated with the Carbon and Puyallup Rivers, and include any wetlands associated with these two rivers, and lands necessary for buffers for critical areas.	Updating to reflect definition in the 2019 Shoreline Management Plan, page 4.

Location	Current text	Amended Text	Reasoning
SM-2	<p>Pol. SM 1 The City shall designate as Urban Conservancy those shoreline areas meeting one or more of the following criteria:</p> <p>Pol. SM 2 They are suitable for water-related or water-enjoyment uses;</p> <p>Pol. SM 3 They are open space, floodplain or other sensitive areas that should not be more intensively developed; They have potential for ecological restoration; They retain important ecological functions, even though partially developed; or</p> <p>Pol. SM 4 They have the potential for development that is compatible with ecological restoration.</p>	<p>Pol. SM 1 The City shall designate as Urban Conservancy those shoreline areas meeting one or more of the following criteria:</p> <ol style="list-style-type: none"> 1. They are suitable for water-related or water-enjoyment uses; 2. They are open space, floodplain or other sensitive areas that should not be more intensively developed; They have potential for ecological restoration; They retain important ecological functions, even though partially developed; or 3. They have the potential for development that is compatible with ecological restoration. 	<p>Consolidating four separate policies into one to fix formatting and creating consistency with the 2019 SMP.</p>
SM-6	Habitat Restoration & Enhancement	Vegetative Conservation	Consistency with 2019 SMP
SM-7	<p>Pol. SM 10.4 The design and usage of native vegetation for prevention and control of shoreline erosion should be encouraged where:</p> <ol style="list-style-type: none"> a. The length and configuration of the shoreline will accommodate the proposed design; b. Such protection is a reasonable solution to the needs of the specific site; and c. Shoreline restoration will accomplish the following objectives: d. Recreate natural shoreline conditions and habitat; e. Reverse otherwise erosional conditions; and 	<p>Pol. SM 10.4 The design and usage of native vegetation for prevention and control of shoreline erosion should be encouraged where:</p> <ol style="list-style-type: none"> a. The length and configuration of the shoreline will accommodate the proposed design; b. Such protection is a reasonable solution to the needs of the specific site; and c. Shoreline restoration will accomplish the following objectives: <ol style="list-style-type: none"> i. Recreate natural shoreline conditions and habitat; ii. Reverse otherwise erosional conditions; and iii. Enhance access to the shore, especially to public shores. 	<p>Formatting fix to create consistency with the 2019 SMP.</p>

Location	Current text	Amended Text	Reasoning
	f. Enhance access to the shore, especially to public shores.		
SM-7	Wildlife Habitat	Salmon and Steelhead Habitats	Consistency with 2019 SMP
SM-8	Floodplain Management	Flood Hazard Management	Consistency with 2019 SMP
SM-9	Pol. SM 14.1 Public access to the Orting shorelines does not include the right to enter upon or cross private property, except for dedicated public easements. Public access provisions should be incorporated into all private and public developments, except for individual single family residences.	Pol. SM 14.1 Public access to the Orting shorelines does not include the right to enter upon or cross private property, except for dedicated public easements. Pol. SM 14.2 Public access provisions should be incorporated into all private and public developments, except for individual single family residences.	Consistency with 2019 SMP
SM-12	Shoreline Protective Structures	Shoreline Stabilization	Consistency with 2019 SMP
SM-13	Transportation and Circulation	Transportation Facilities	Consistency with 2019 SMP
CF-4	The transportation system shall function at a service level of at least C/D.	The transportation system shall function at a service level of at least D.	Updating text for consistency with 2040 Transportation Plan.
LU. App-1	Last year, the City issued 100 single family residential building permits. So far as of the end of June, another 69 have been issued.	In 2016, the City issued 100 single family residential building permits. At the end of June 2017, another 69 had been issued.	Accurately reflect the date associated with building permit data.

The amendments in the context of the Comprehensive Plan Chapter and Section in which they are located is shown in Exhibit D.

i. Previous Analysis:

1. Whether the same area or issue was studied during the last amendment process and conditions in the immediate vicinity have significantly changed so as to make the requested change within the public interest.

These issues were not studied during the last cycle and are a result of updates to plans adopted during the last cycle.

2. Whether the proposed amendment meets existing state and local laws, including the Growth Management Act (GMA).

The proposed text amendments meet existing state and local laws and increase internal consistency in the Comprehensive Plan and external consistency with other City adopted plans and regulations.

3. In the case of text amendments or other amendments to goals or policies, whether the request benefits the city as a whole versus a selected group.

The requests benefit the City as a whole by creating consistency and clarity for citizens, staff and applicants. The proposed amendments will not benefit a selected group.

If the request meets the criteria set forth in 1-3 above, it shall be further evaluated according to the following criteria:

4. Whether the proposed amendment can be incorporated into planned or active projects.

There are no planned or active projects for this to be incorporated into.

5. Amount of analysis necessary to reach a recommendation on the request. If a large-scale study is required, a request may have to be delayed until the following year due to workloads, staffing levels, etc.

This request will not require large-scale studies.

6. Volume of requests received. A large volume of requests may necessitate that some requests be reviewed in a subsequent year.

This is one of six requests, a manageable amount for staff this year. [Only four of the six requests moved forward in the process.]

ii. Consistency with Development Code

These amendments provide consistency between adopted City plans. The plans inform development regulations. The amendments will eliminate conflict and prevent confusion for staff and the public. Specifically updating the docketing process in the Comprehensive Plan will create conformance with the Orting Municipal Code.

iii. Consistency with Comprehensive Plan

The proposed amendments ensure that goals and policies from updated plans, such as the Orting Transportation Plan and Shoreline Management Program are accurately reflected within the Orting Comprehensive Plan. These amendments will create consistency between the adopted plans and

ensure the Comprehensive Plan is up to date with proper references and procedures.

Comments Received

No comments were received from outside agencies. The Public Works Department expressed support for the city-initiated rezones to aid in being able to properly use the sites as public facilities without necessitating a land use process when the facilities need to be updated or changed.

SEPA Determination

After review of the environmental checklist a SEPA Determination of Nonsignificance was issued August 26, 2020 with a 14-day comment period ending on 5:00 pm September 9, 2020. The notice of determination was posted on applicable sites and published in the Tacoma News Tribune. No comments were received.

Staff Recommendation

Staff recommends approval of the Comprehensive Plan amendments and rezones.

Planning Commission Recommendation

Following a public hearing before the planning commission on October 5, 2020 the planning commission recommended approval of all comprehensive plan amendments a proposed.

Reconsideration

A party to a public hearing may seek reconsideration only of a final decision by filing a written request for reconsideration with the administrator within five (5) days of the oral announcement of the final decision. The request shall comply with OMC 15-10-4B.

Appeal

Appeals from the final decision of the city council, board of appeals, or other city board or body for which all other appeals specifically authorized have been timely exhausted, shall be made to Pierce County superior court within twenty one (21) days of the date the decision or action became final per OMC 15-10-6.



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360

Phone: (360) 893-2219 FAX: (360) 893-6809

www.cityoforting.org

Staff Report Exhibit B: Site Specific Requests Location and Current Zoning Maps

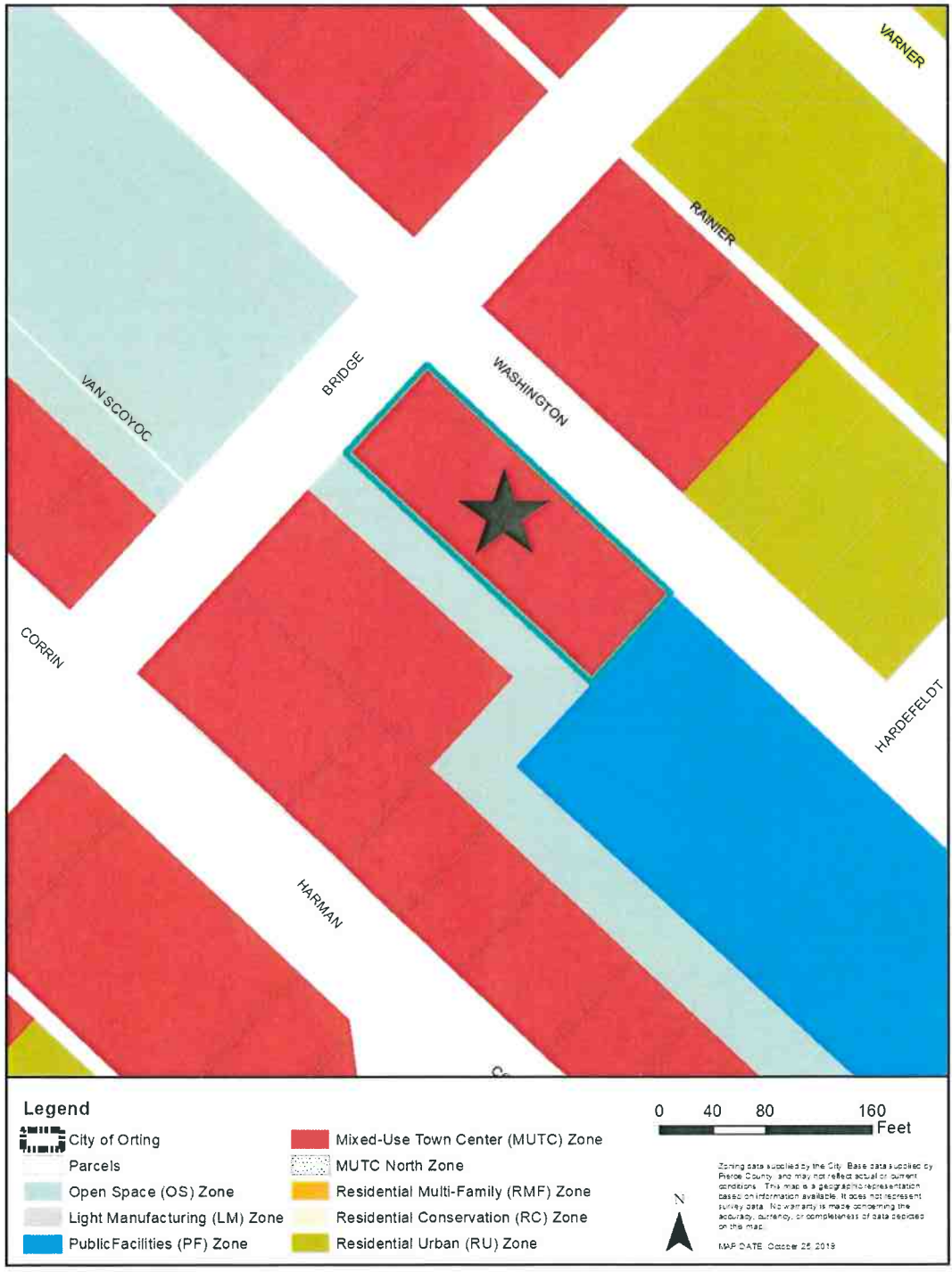
Site Specific Request #1 – 102 Bridge Street, New City Hall

Figure 1.1: Request #1 Location



“Small Town – Big View”

Figure 1.2: Request #1 Current Zoning

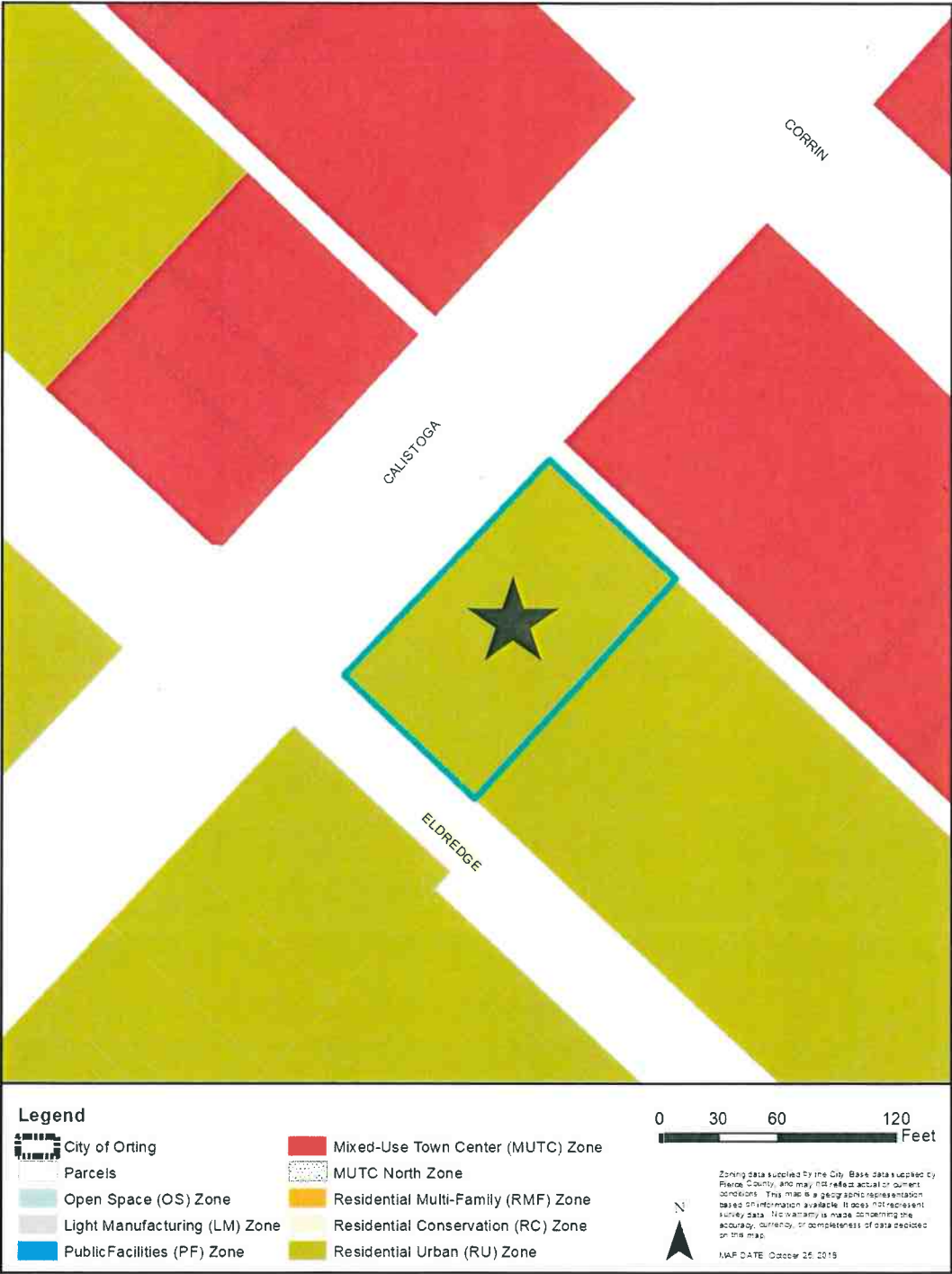


Site Specific Request #2 – 210 Calistoga St West

Figure 2.1: Request #2 Location



Figure 2.2: Request #2 Current Zoning



Site Specific Request #3 – 101 Williams Blvd NE, Wellhead Site #3

Figure 3.1: Request #3 Location

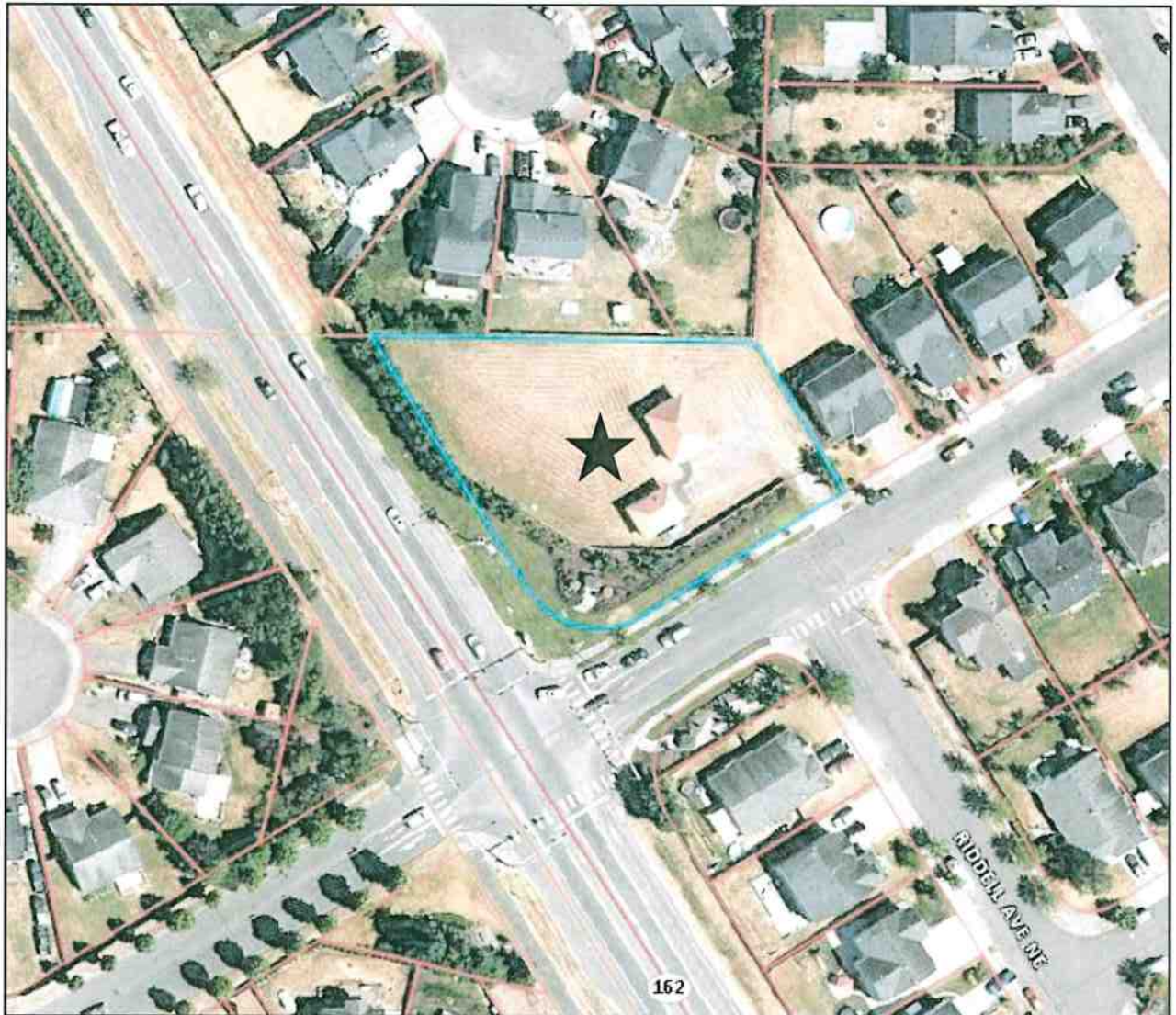


Figure 3.2: Request #3 Current Zoning



**CITY OF ORTING
WASHINGTON**

ORDINANCE NO. 2020-1067

**AN ORDINANCE OF THE CITY OF ORTING,
WASHINGTON, RELATING TO LAND USE AND ZONING;
ADOPTING AMENDMENTS TO THE COMPREHENSIVE
PLAN; PROVIDING FOR SEVERABILITY; AND
ESTABLISHING AN EFFECTIVE DATE**

WHEREAS, as required by the Growth Management Act (Chapter 36.70A RCW), the City adopted a comprehensive plan for the community on November 29, 2004, (the “Comprehensive Plan”), which is updated frequently; and

WHEREAS, in accordance with RCW 36.70A.130, an adopted Comprehensive Plan shall be subject to continuing evaluation and review, and amendments to the Comprehensive Plan shall be considered no more frequently than once every year; and

WHEREAS, in January 2020, the City initiated a review of the Comprehensive Plan to address plan elements that require updating, and requested amendment proposals from citizens; and

WHEREAS, The timeframe for accepting applications for the 2020 Amendment Cycle was January 1, 2020 to February 28, 2020; and

WHEREAS, staff reviewed each proposed amendment and conducted preliminary analysis pursuant to adopted procedures; and

WHEREAS, the City Council examined the applications, criteria, and analysis provided by staff and adopted Resolution 2020-11 directing the Administrator to proceed with review of the four selected amendments during the current cycle; and

WHEREAS, the City has undertaken a public involvement process and provided for early and continuous public participation opportunities including a City Council study session on June 16, 2020, a public hearing to select the amendments to move forward before the City Council on July 8, 2020, a public hearing on the selected amendments on October 5, 2020 before the Planning Commission and a public hearing before the City Council on November 24, 2020; and

WHEREAS, in accordance with WAC 365-196-630, a notice of intent to adopt the proposed Comprehensive Plan amendments was sent to the State of Washington Department of Commerce and to other state agencies with acknowledgement by the Department on September 25, 2020, for a 60-day review and comment period; and

WHEREAS, an environmental review of the proposed Comprehensive Plan amendments has been conducted in accordance with the requirements of the State Environmental Policy Act (“SEPA”), and a SEPA determination of non-significance was issued on August 26, 2020; and

WHEREAS, on October 5, 2020 the Planning Commission, after considering the public comments received and other information presented at the aforementioned public hearings and public meetings, voted to recommend the adoption of the proposed amendments to the Comprehensive Plan summarized in Exhibit A to this Ordinance to the City Council; and

WHEREAS, on November 24, 2020, the City Council held a second public hearing to take public testimony regarding the proposed amendments to the Comprehensive Plan; and

WHEREAS, having considered, among other things, the public testimony, the minutes of the Planning Commission meetings, the preliminary and final staff reports, and the Planning Commission recommendations, the City Council finds that the proposed amendments to the Comprehensive Plan are consistent with and would serve to further implement the planning goals of the adopted Comprehensive Plan and the Growth Management Act, bear a substantial relation to the public health, safety or welfare, and promote the best long term interests of the Orting community;

NOW, THEREFORE, the City Council of the City of Orting, Washington, do ordain as follows:

Section 1. Incorporation of Recitals. The above stated recitals are incorporated as though fully set forth herein.

Section 2. Adoption of Amendments to Comprehensive Plan. The City Council adopts the proposed 2020 text amendments to the Comprehensive Plan, “Exhibit D”, which is incorporated by reference herein.

Section 3. Adoption of a Corrected Land Use Map, Figure LU-1 2019. The City Council adopts the amended zoning and land use map, Figure LU-1, “Exhibit E”, which is incorporated by reference herein.

Section 4. Severability. Should any section, paragraph, sentence, clause or phrase of this Ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this Ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this Ordinance or its application to other persons or circumstances.

Section 5. Effective Date. This Ordinance shall be published in the official newspaper of the City and shall take effect and be in full force five (5) days after the date of publication.

**ADOPTED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE
24th DAY OF NOVEMBER.**

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk

Approved as to form:

Charlotte A. Archer, City Attorney

Filed with the City Clerk: 11.12.20

Passed by the City Council: 11.24.20

Ordinance No.2020-1067

Date of Publication:

Effective Date:

INTRODUCTION

PLAN ELEMENTS

TRANSPORTATION ELEMENT

The Transportation Element uses a detailed assessment of current conditions, forecasts of future growth, and local and state standards to form a framework of policies and a determination of project needs. This complex picture includes facilities for which the City is responsible as well as county and state facilities. The analyses consider capacity, safety, and multi-modal performance as well as pedestrian, non-motorized, and public transportation. Orting's dependency upon SR 162 for regional connections is an over-riding problem that can only be solved by a coordinated partnership of the City, Pierce County and the state.

The Element seeks to maintain level of service (LOS) ~~C/D~~. The community is accustomed to high service standards, but the travel forecasts indicate that service levels could drop significantly, depending on how the growth patterns and the transportation facilities are developed. With a standard ranging from LOS C to LOS D, the City has flexibility in meeting the high standards that the community's expectations while changing from a rural community to an suburban community.

SHORELINE ELEMENT

In response to state Department of Ecology changes to the Shoreline Master Program (SMP) guidelines, and GMA direction to coordinate comprehensive plans and shoreline plans, the City conducted a comprehensive update of the SMP in 2007. The update included a significant inventory and characterization of the shoreline conditions along the Carbon and Puyallup Rivers. In particular, "opportunity sites" for potential shoreline restoration and increased public access were identified. A minor update of the SMP was adopted in 2013, and again in 2019.

The Shoreline Element includes the goals and policies of the SMP. There is no Shoreline Appendix, as the detailed analysis is found in the SMP. Shoreline development regulations are also included in the SMP. All of the shorelines within the City have been designated Urban Conservancy. No development except for limited public facilities is allowed within the first 150 feet of the shoreline jurisdiction along the Rivers.

AMENDING THE COMPREHENSIVE PLAN

ANNUAL PLAN REVIEW AND AMENDMENT SCHEDULE

The plan amendment process is designated to be flexible to accommodate unique conditions such as the nature, complexity, or amount of plan amendment requests in a single year. The annual "window" of plan amendment submittals from the public will be open throughout the year (that is, the public can submit requests for amendments at any time). However, they will only be "processed" in accordance with the adopted regulations. The timing of the annual update process is represented by the following generalized schedule:

Proposed 2020 Comprehensive Plan Text Amendments

- | | |
|----------------|--|
| First Quarter | City accepts initial public requests for comprehensive plan amendments (docket). |
| Second Quarter | Planning Commission reviews the docket and forwards its recommendations to the City Council for consideration Staff performs and initial review of all timely submitted proposed amendments and prepares a report for submission to City Council. City Council decides which proposed amendments should be considered and establishes a plan amendment schedule. |
| Third Quarter | Planning Commission evaluates the proposed amendments and forwards its final recommendation to the City Council. Environmental and state agency review is conducted. |
| Fourth Quarter | City Council reviews the recommendation, holds a public hearing, and decides on adoption of the proposed amendments. |

All amendment proposals shall be considered concurrently by the Planning Commission and the City Council so that their cumulative impacts can be determined.

SHORELINE MANAGEMENT ELEMENT

SHORELINE ENVIRONMENT DESIGNATION

These designations establish the geographic coverage for specific policies guiding development within shoreline areas. Based on scientific analysis and the state of the shorelines, a single environment designation – Urban Conservancy has been applied to the following areas as defined under the Shoreline Management Act, shoreland areas or shorelands are:

“... those lands that extend landward for two hundred (200) feet in all directions as measured on a horizontal plane from the ordinary high water mark; floodways and contiguous floodplain areas landward two hundred (200) feet from such floodways; and all wetlands and river deltas associated with the streams, lakes, and tidal waters which are of a size large enough to be subject to the provisions of (the Shoreline Management Act); the same to be designated as to location by the Washington Department of Ecology. Any county or city may determine that portion of a one-hundred-year-flood plain to be included in its master program as long as such portion includes, as a minimum, the floodway and the adjacent land extending landward two hundred (200) feet there from.”

As defined in this Shoreline Master Program, the Orting shorelands extend two hundred (200) feet from the ordinary high water mark (OHWM) and floodways associated with the Carbon and Puyallup Rivers, and include any wetlands associated with these two rivers, and lands necessary for buffers for critical areas.

SHORELINE ENVIRONMENT DESIGNATION POLICIES

Pol. SM 1 The City shall designate as Urban Conservancy those shoreline areas meeting one or more of the following criteria:

Pol. SM 2a. They are suitable for water-related or water-enjoyment uses;

Pol. SM 3b. They are open space, floodplain or other sensitive areas that should not be more intensively developed; They have potential for ecological restoration; They retain important ecological functions, even though partially developed; or

Pol. SM 4c. They have the potential for development that is compatible with ecological restoration.

Pol. SM 5Pol. SM 2 The shorelines of the Carbon and Puyallup Rivers within the city limits of Orting shall be designated as the Urban Conservancy shoreline environment.

Pol. SM 6Pol. SM 3 All shorelines of the Carbon and Puyallup Rivers annexed to the City from its urban growth area shall be automatically assigned the Urban

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Proposed 2020 Comprehensive Plan Text Amendments

Conservancy shoreline environment designation until redesignated through a shoreline master program amendment.

~~Pol. SM 7~~ Pol. SM 4 New development should be limited to water-related or water-enjoyment uses.

~~Pol. SM 8~~ Pol. SM 5 Non water-related or non water-enjoyment development should not be permitted in the Urban Conservancy environment.

~~Pol. SM 9~~ Pol. SM 6 Residential development may be allowed when self-contained or when supporting public facilities such as sewer, water, and power are available, and where allowing such development will not lead to higher densities in the future.

~~Pol. SM 10~~ Pol. SM 7 Critical areas, such as wetlands should be protected through vegetation management, maintenance, and erosion control regulations.

~~Pol. SM 11~~ Pol. SM 8 The use regulations for the Urban Conservancy shoreline environment shall be as indicated by Chapters 5, 6, and 7 of the City of Orting's Shoreline Master Program. Uses that preserve the natural character of the area or promote preservation of open space, floodplain or sensitive lands either directly or over the long term should be the primary allowed uses.

GOALS AND POLICIES

~~HABITAT RESTORATION & ENHANCEMENT/VEGETATIVE CONSERVATION~~

- Pol. SM 10.1 Native plant communities within and bordering shorelines, wetlands, creeks, and side channels should be protected and maintained to protect the ecological functions of the shoreline environment.
- Pol. SM 10.2 Shoreline restoration projects should, wherever feasible, use soil bioengineering techniques to minimize the processes of erosion, sedimentation, and flooding.
- Pol. SM 10.3 Aquatic weed management should involve usage of native plant materials wherever possible in soil bioengineering applications and habitat restoration activities. Where removal of aquatic vegetation is necessary, it should be done only to the extent necessary to allow water-dependent activities to continue. Removal or modification of aquatic vegetation should prevent adverse impacts to native plant communities and salmonid habitat. Weed management and removal should include appropriate handling or disposal of weeds and weed seedlings.
- Pol. SM 10.4 The design and usage of native vegetation for prevention and control of shoreline erosion should be encouraged where:

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- a. The length and configuration of the shoreline will accommodate the proposed design;
- b. Such protection is a reasonable solution to the needs of the specific site; and
- c. Shoreline restoration will accomplish the following objectives:
 - d-i) Recreate natural shoreline conditions and habitat;
 - e-ii) Reverse otherwise erosional conditions; and
 - f-iii) Enhance access to the shore, especially to public shores.

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Pol. SM 10.5 The following best management practices should be incorporated into vegetation management activities:

- a. Avoid use of herbicides, fertilizers, insecticides, and fungicides near water bodies within the City.
- b. Limit the amount of lawn and garden watering to reduce surface runoff.
- c. Dispose of grass clippings, leaves, or twigs properly; do not sweep these materials into the street, into a body of water, or near a storm drain.

~~WILDLIFE HABITATS SALMON AND STEEL HEAD HABITATS~~

- Pol. SM 11.1 The City encourages aggressive efforts to protect and enhance salmonid habitat because of its importance to the aquatic ecosystem and the local economy.
- Pol. SM 11.2 Non-water dependent or non-water-related uses, activities, structures and fills should not be located in salmonid habitats.
- Pol. SM 11.3 Where new non-water-dependent uses, activities, and structures must locate in salmonid habitats, impacts on these areas shall be lessened to the greatest extent possible. Significant unavoidable impacts should be mitigated by creating in-kind replacement habitat near the project where feasible. Where in-kind replacement mitigation is not feasible, rehabilitation of degraded habitat is required.
- Pol. SM 11.4 Proposed development that have the potential to significantly affect salmonid habitat shall develop mitigation measures in consultation with the City of Orting, the State Department of Fish and Wildlife, the U.S. Army Corps of Engineers, the Washington State Department of Ecology and the Muckleshoot Indian Tribe.

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- Pol. SM 11.5 For proposed development, the City prefers full spanning structures without center support piles for crossing salmonid habitat.
- Pol. SM 11.6 Proposed structures and uses that create significant impervious surfaces shall include stormwater treatment systems.
- Pol. SM 11.7 Review of proposals for new impervious surfaces shall be guided by the City's adopted stormwater regulations in conjunction with the impervious surface and stormwater treatment requirements of the most recent version of Stormwater Management Manual for the Puget Sound Basin. This review shall apply except that the Orting Shoreline Administrator or his/her designee shall have authority to waive compliance with these guidelines for proposals with total impervious surface areas less than five thousand (5,000) square feet if the impact of the proposal does not warrant runoff treatment. Proposals for new impervious surface areas greater than five thousand (5,000) square feet shall adhere to the Stormwater Management Manual for the Puget Sound Basin regulations.
- Pol. SM 11.8 The City of Orting encourages and supports Adopt-A-Stream programs and similar efforts to protect and rehabilitate salmonid spawning, rearing, feeding, refuge, and migration habitat.

WATER QUALITY

- Pol. SM 12.1 The City should prevent impacts to water quality and stormwater quantity that would result in a net loss of shoreline functions, or a significant impact to aesthetic qualities, or recreational opportunities.
- Pol. SM 12.2 The City of Orting should ensure that there is mutual consistency between shoreline management provisions and other regulations that address water quality and storm water quantity, including public health, storm water, and water discharge standards. The regulations that are most protective of ecological functions should apply.

FLOODPLAIN MANAGEMENT/FLOOD HAZARD MANAGEMENT

- Pol. SM 13.1 The City shall coordinate with outside public agencies, including the U.S. Army Corps of Engineers, other appropriate interests to seek solutions to flooding. The City shall support projects that have a positive environmental benefit.
- Pol. SM 13.2 The City shall emphasize long-term solutions over short term solutions.

PUBLIC ACCESS

- Pol. SM 14.1 Public access to the Orting shorelines does not include the right to enter upon or cross private property, except for dedicated public easements.

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~~Pol. SM 14.1~~ Pol. SM 14.2 Public access provisions should be incorporated into all private and public developments, except for individual single family residences.

~~Pol. SM 14.2~~ Pol. SM 14.3 Development uses and activities on or near the shoreline should not impair or detract from the public's visual or physical access to the water.

~~Pol. SM 14.3~~ Pol. SM 14.4 Public access to the shoreline should be sensitive to the unique characteristics of the shoreline and should preserve the natural character and quality of the environment and adjacent critical areas.

~~Pol. SM 14.4~~ Pol. SM 14.5 Where appropriate, public access should be provided as close as possible to the water's edge without adversely affecting a sensitive environment.

~~Pol. SM 14.5~~ Pol. SM 14.6 Shoreline areas that hold unique value for public enjoyment should be purchased for public use, and public access areas should be of sufficient size to allow appropriate access, passage and enjoyment of the water.

~~Pol. SM 14.6~~ Pol. SM 14.7 Public access should be designed to provide for public safety and to minimize potential conflicts with private property and individual privacy. This may include providing a physical separation to reinforce the distinction between public and private space, achieved by providing adequate space, through screening with landscape planting or fences, or other means.

~~Pol. SM 14.7~~ Pol. SM 14.8 Public views of the shoreline should be enhanced and preserved. Enhancement of views should not be construed to mean excess removal of vegetation.

~~Pol. SM 14.8~~ Pol. SM 14.9 Public access facilities should be constructed of environmentally friendly materials and support healthy natural processes, whenever financially feasible and possible.

~~Pol. SM 14.9~~ Pol. SM 14.10 Public access facilities should be maintained to provide a clean and safe experience and protect the environment.

MANAGING SHORELINE DEVELOPMENT AND ACTIVITIES

~~SHORELINE~~ PROTECTIVE STRUCTURES STABILIZATION

Pol. SM 17.1 Levees should be located, designed, constructed and maintained so that they will not cause significant damage to adjacent properties or valuable resources, and so that the physical integrity of the natural shore process is maintained.

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- Pol. SM 17.2 Levees should be permitted only when the purpose or primary use being protected is consistent with this program and when they can be developed in a manner compatible with the multiple use of the floodway and associated resources, such as wildlife habitat, water quality, aesthetics, recreational resources and public access.
- Pol. SM 17.3 Subdivision of land shall be regulated to assure that the lots created will not require shoreline stabilization in order for reasonable development to occur.
- Pol. SM 17.4 Shoreline stabilization structures should be limited to the minimum size necessary.
- Pol. SM 17.5 Public access should be required as part of publicly financed shoreline erosion control measures.
- Pol. SM 17.6 Bulkheads are prohibited in the Orting shoreline jurisdiction.
- Pol. SM 17.7 Dikes and levees and revetments shall only be authorized by conditional use permit unless they are solely for the purpose of shorelands restoration, and shall be consistent with all flood control management plans and regulations adopted by the City of Orting
- Pol. SM 17.8 New levees shall be limited in size to the minimum height required to protect adjacent lands consistent with FEMA certification.
- Pol. SM 17.9 Dikes, levees and revetments shall be placed landward of the floodway, OHWM, or channel migration zone (whichever is further landward) except as current deflectors necessary for protection of bridges and roads, provided that flood hazard reduction projects may be authorized if it is determined that no other alternative to reduce flood hazards to existing development is feasible.
- Pol. SM 17.10 If an armored revetment is proposed, the siting and design of revetments shall be performed using appropriate engineering principles, including the usage of guidelines from both the Natural Resources Conservation Service and the U.S. Army Corps of Engineers and the following design criteria shall be met:
- a. The size and quantity of the material shall be limited to only that necessary to withstand the estimated energy intensity of the hydraulic system;
 - b. Filter cloth must be used to aid drainage and help prevent settling;
 - c. The toe reinforcement or protection must be adequate to prevent a collapse of the system from river scouring or wave action; and
 - d. Fish habitat components, such as large boulders, logs, and stumps must be considered in the design subject to Hydraulic Project Approval by the Washington Department of Fish and Wildlife, NOAA

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Fisheries, U.S. Fish and Wildlife Service and the U.S. Army Corps of Engineers.

Pol. SM 17.11 All new projects shall include and provide improved access to public shorelines whenever possible.

TRANSPORTATION AND CIRCULATION FACILITIES

Pol. SM 18.1 New roads, railroads and bridges in the Urban Conservancy environment should be minimized, and allowed only when related to and necessary for the support of permitted shoreline activities. New roads and bridges in the Urban Conservancy environment are prohibited, except when related to and necessary for the support of permitted shoreline activities. Major new highways should be located out of shoreline jurisdiction.

Pol. SM 18.2 New roads should be planned to fit the topographical characteristics of the shoreline such that minimum alteration of natural conditions results. New transportation facilities should be located and designed to minimize the need for shoreline protection measures and minimize the need to modify natural drainage systems. The number of waterway crossings should be limited to the minimum number possible.

Pol. SM 18.3 Trail and bicycle paths should be encouraged along the Puyallup and Carbon River in places where they are compatible with the natural character resources and ecology of the shoreline, such as in areas where there is a potential for a nonmotorized transportation linkage to existing public access area.

Pol. SM 18.4 Joint use of transportation corridors within shoreline jurisdiction for roads, utilities and motorized forms of transportation should be encouraged.

Pol. SM 18.5 Abandoned or unused road or railroad rights-of-way which offer opportunities for public access to the water should be acquired and/or retained for such use.

CAPITAL FACILITIES ELEMENT

GOALS AND POLICIES

Goal CF 3 Manage growth and the related development of city facilities and services to direct and control land use patterns and intensities.

Pol. CF 3.1 Development shall be allowed only when and where all public facilities are adequate and only when and where such development can be adequately served by essential public services without reducing levels of service elsewhere.

Pol. CF 3.2 The City shall continue upgrading the sanitary sewer system to ensure adequate capacity for future growth and development.

Pol. CF 3.3 The following level of service guidelines shall be used to evaluate whether existing public facilities are adequate to accommodate the demands of new development:

Water (Source Capacity and Reliability) LOS: Maintain the existing source capacity of approximately 1.73 MGD for adequate household use and fire protection. The minimum fire flow requirements are based on Pierce County's Ordinance No. 17C.60:

<u>Development Classification</u>	<u>Minimum Fire Flow Requirement</u>
Residential	750 gpm for 45 minutes
Commercial & Multi-Family	1500 gpm for 60 minutes
Industrial	2,000 gpm for 120 minutes

Water Quality LOS: The water system quality shall be in compliance with Washington Administrative Code requirements for water quality.

Sewer LOS: Maximum month average daily flows for the City's wastewater gravity collection system and wastewater treatment facility shall not exceed the Washington Department of Ecology's MGD limit.

Stormwater LOS: Stormwater management shall comply with the Washington Department of Ecology's requirements.

Fire LOS: Design – Coordinate land use planning, development review and fire protection facility planning to ensure that: a) adequate fire protection and emergency medical service can be provided; and b) project designs minimize the potential for fire hazard.

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Fire LOS: Rating – Orting Valley Fire and Rescue (Pierce County Fire District 18) shall maintain and make efforts to improve its current insurance rating of "7".

Police LOS: Design – Coordinate land use planning, development review, and police protection facility planning to ensure that: a) adequate police protection can be provided; and b) project designs discourage criminal activity.

Police LOS: Response Time – The Orting Police Department shall have as a goal to maintain a 3 to 4 minute response time for emergency calls.

Parks, Trails and Open Space LOS: The following level of service standards shall apply to land and facilities:

Total Park Land –	8 acres per 1,000 population
<i>Consisting of:</i>	
Mini-Parks –	1 acre per 1,000 population
Neighborhood Parks –	2 acres per 1,000 population
Community Parks –	5 acres per 1,000 population
Fields/Courts –	1 per 1,000 population
Trails –	1 mile per 1,000 population
Natural Resource Areas –	14 acres per 1,000 population

Transportation LOS:

Pol. CF 3.4 Transportation and land use planning should be coordinated so that adequate transportation facilities can be built concurrent with growth. The following level of service standards should be used to evaluate whether existing transportation facilities are adequate to accommodate the demands of new development:

The transportation system shall function at a service level of at least ~~C~~D.

Pol. CF 3.5 A development shall not be approved if it causes the level of service on a capital facility to decline below the standards set forth in CF Policy 3.3 and 3.4, unless capital improvements or a strategy to accommodate the impacts are made concurrent with the development for the purposes of this policy. "Concurrent with the development" shall mean that improvements or strategy are in place at the time of the development or that a financial commitment is in place to complete the improvements or strategies within six years.

Pol. CF 3.6 If adequate facilities are currently unavailable and public funds are not committed to provide such facilities, developers must provide such facilities at their own expense, or pay impact fees in order to develop. If the probable

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funding falls short of meeting the capital facility needs of the anticipated future land uses and population, the type and extent of land uses planned for the City must be reassessed.

- Pol. CF 3.7 Require that development proposals are reviewed by the various providers of services, such as school districts, sewer, water, and fire departments, for available capacity to accommodate development and needed system improvements.
- Pol. CF 3.8 New or expanded capital facilities should be compatible with surrounding land uses; such facilities should have a minimal impact on the natural or built environment.
- Pol. CF 3.9 Maintain the water quality of the Carbon and Puyallup Rivers by complying with Washington Department of Ecology guidelines.

LAND USE APPENDIX

POPULATION TRENDS

Orting is growing. ~~Last year~~In 2016, the City issued 100 single family residential building permits. ~~So far as of~~At the end of June 2017, another 69 ~~have had been~~ issued. In 2015 and 2016, preliminary subdivisions creating 70+ lots were approved. Final plats creating 170+ lots were approved. This year, final plats for 80+ lots are scheduled for approval. We don't know how many new homes will be built on any of these, but with the current market, we expect to see quite a few new homes.

The April 2017 population estimate from the state Office of Financial Management shows 7,835 residents . The April 2016 population estimate was 7,535. The following is an updated excerpt from the Comprehensive Plan Land Use Appendix:

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background

1. Name of proposed project, if applicable:

City of Orting 2020 Comprehensive Plan Amendments

2. Name of applicant:

**Emily Adams, City Planner
City of Orting**

3. Address and phone number of applicant and contact person:

**Mailing Address: PO Box 489, Orting, WA 98360
Phone: 253-284-0263**

4. Date checklist prepared:

August 20, 2020

5. Agency requesting checklist:

City of Orting

6. Proposed timing or schedule (including phasing, if applicable):

The Comprehensive Plan Amendments are a nonproject action undergoing public review. Action on the amendments is anticipated by December 2020.

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

The City of Orting considers applications received to amend the City of Orting Comprehensive Plan on an annual basis. Individual site-specific requests for changes to the Comprehensive Plan map and zoning changes are incorporated into the comprehensive plan update.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Not applicable

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

The City of Orting currently has projects in the various stages of development review prior to issuance of preliminary and final plat.

10. List any government approvals or permits that will be needed for your proposal, if known.

The proposed amendments would require approval by the Orting City Council.

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

The City of Orting is performing its annual Comprehensive Plan Amendments. Three of the four amendments have concurrent rezones. Amendments include:

1. **Site Specific Request #1 – A staff-initiated request for a Comprehensive Plan Amendment and Rezone of the new City Hall site, located at 102 Bridge Street South, from Mixed Use Town Center (MUTC) to Public Facilities (PF). If approved, this amendment will allow for the existing land use the match the zoning as the PF zone is intended for publicly owned uses.**
2. **Site Specific Request #2 – A citizen-initiated request for a Comprehensive Plan Amendment and Rezone for the property at 210 Calistoga Street West from Residential Urban (RU) to Mixed Use Town Center (MUTC). If approved, this amendment would allow for the site to be developed at a greater density, and for a wider variety of uses including multi-family housing and commercial.**
3. **Site Specific Request #3 – A staff-initiated request for a Comprehensive Plan Amendment and Rezone of Wellhead Site #3 located at 101 Williams Blvd NW from Residential Urban (RU) to Public Facilities (PF). If approved, this amendment will allow for the existing land use the match the zoning as the PF zone is intended for City owned uses.**
4. **Text Amendment – A staff-initiated request for a Comprehensive Plan Text Amendment would modify the docketing process for the review of future Comprehensive Plan Amendment requests. The previous process is as follows:**



It is proposed to be amended to remove the Planning Commission recommendation step prior to the City Council decision to set the docket to be consistent with the Orting Municipal Code. The Planning Commission is still vested with the role of making a recommendation on the disposition of the Comprehensive Plan amendments prior to decision by the City Council.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not

required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The City of Orting is located between the Puyallup and Carbon Rivers in Pierce County, generally within Township 18N and 19N, Range 5E.

1. Site Specific Request #1 –102 Bridge Street South, parcel number 0519326010



2. Site Specific Request #2 –210 Calistoga Street West, parcel number 367000261



3. Site Specific Request #3 - 101 Williams Blvd NW, parcel number 7001770850



B. Environmental Elements

No discussion of the individual Environmental Elements is required for GMA actions per WAC 197-11-235.3.b.

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: Emily Adams

Name of signee: Emily Adams, AICP

Position and Agency/Organization: Orting City Planner

Date Submitted: August 26, 2020

D. Supplemental sheet for nonproject actions

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Site specific request #2 (210 Calistoga rezone) will likely increase the volume of water discharged from the site as the allowed coverage maximum for the Mixed Use Town Center (MUTC) zone is higher than the current Residential Urban (RU) zoning. The RU zone has a maximum building coverage of 40 percent and a maximum hard surface coverage of 65 percent while the MUTC zone allows 100 percent coverage for buildings or hard surfaces.

It is likely that noise will increase at Site Specific Request #2 due to the higher density housing allowed in the MUTC zone. Noise will also likely increase at Site Specific Request #1 and #2 due to the increased traffic to the site.

The comprehensive plan amendments and rezone proposals are not expected to have any impact on air emissions or the production, storage, or release of toxic or hazardous substances or noise.

The change in Comprehensive Plan docketing process will not have impacts to water, air, or the production, storage, or release of toxic or hazardous substances.

Proposed measures to avoid or reduce such increases are:

Any future development will be subject to the City of Orting requirements for drainage; air emissions; production, storage, or release of toxic or hazardous substances; and noise. OMC Title 5 provides specific regulations related to noise control, air quality, and storage and disposal of toxic or hazardous substances. OMC Title 9 provides regulations for water quality and stormwater management.

Depending on applications for future uses within the amendment areas, the City may require the applicant to evaluate project emissions to air, production, storage, or release of toxic or hazardous substances; and noise impacts if the proposals are inconsistent with the likely impacts associated from development analyzed within the amendment areas.

Stormwater-related impacts will be mitigated through adherence with the City's adopted stormwater design manual (2012 Ecology Stormwater Management Manual for Western Washington, as amended in 2014); the 2012 Low Impact Development Technical Guidance Manual for the Puget Sound; and the 2013 Rain Garden Handbook for Western Washington as measures to help avoid increases in discharge to water.

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Site Specific Request #1 is the site for the new City Hall. The request to reclassify the site from MUTC to PF is intended to reflect the public ownership of the City Hall building that is currently being constructed on the site. The same regulations affecting the protection of plants, animals, fish, and marine life apply whether the site is classified as MUTC or PF.

Site Specific Request #2 is a parcel that has previously been disturbed by urban development associated with the construction of the current residential dwelling on the southwest half of the site and by previous ground clearing on the other half.

Site Specific Request #3 is surrounded by residential development. The site was previously forested but was cleared in the early 2000's along with the surrounding land for subdivision development. The site has been developed since then and is a wellhead site for the City. The request to reclassify the site from RU to PF is intended to reflect the public ownership of the wellhead on the site. The same regulations affecting the protection of plants, animals, fish, and marine life apply whether the site is classified as RU or PF.

The City of Orting Municipal Code Title 11 governs the protection and uses allowed within critical areas and their buffers. These standards include management practices deemed by the Washington State Department of Ecology and the Washington State Department of Commerce to incorporate best available science. The City's Critical Areas Code (Title 11) requires applicants proposing to develop sites containing or adjacent to critical areas have a qualified professional submit a critical areas special study for City review and approval. The protection of critical areas will not diminish or change if these sites are rezoned.

The change in Comprehensive Plan docketing process will not have impacts to plants, animals, fish, or marine life.

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

Development proposals will be required to comply with the standards found in Title 11 – Critical Areas, Title 14 – Flood Control, and Title 13-5-2-C – Preservation of Significant Trees and Vegetation, in order to protect or conserve plants, animals, and fish. The City will require landscape plans (including significant trees) and critical areas reports for project-level SEPA environmental review for proposals as required under OMC 11-2-1 and OMC 13-5-2, respectively.

3. How would the proposal be likely to deplete energy or natural resources?

Site Specific Request #1 is to rezone the site from MUTC to PF. The PF zone classification allows for educational, recreational and public service uses, rather than the residential and commercial uses permitted in the MUTC zone. The request to reclassify the site from MUTC to PF is intended to reflect the public use of the site as the location of the Orting City Hall. This is not anticipated to have an effect on energy or natural resources as development of the new City Hall building will not change under the new zoning classification. The same suite of building and energy codes that would apply to development proposals in the MUTC zone would also apply to the property if the rezone was approved.

Site Specific Request #2 would alter site classification from RU, a zone that permits single and two-family dwelling units at a density of 6 dwelling units per acre, to MUTC a zone that allows

for commercial uses, and multi-family development with no maximum density. The reclassification would increase the density on site. The same suite of building and energy codes that would apply to development proposals in the RU zone would also apply to the property if the rezone was approved. Proposed future site development may include uses that require associated mechanical systems, lighting, plumbing fixtures and/or other systems, thereby resulting in greater consumption of energy than if the site were developed with allowed uses under the current designation.

Site Specific Request #3 is to rezone the site from RU to PF. This zone classification allows for educational, recreational and public service uses, rather than the residential uses permitted within the RU zone. The request to reclassify the site from RU to PF is intended to reflect the existing public wellhead that is located on the site. The same suite of building and energy codes that would apply to development proposals in the RU zone would also apply to the property if the rezone was approved. The use on the property is not proposed to change, and therefore no impacts to energy or natural resources are anticipated.

The change in Comprehensive Plan docketing process will not deplete energy or natural resources.

Proposed measures to protect or conserve energy and natural resources are:

The retention of native vegetation and significant trees is a required stormwater management technique within the City of Orting which aids in the conservation of natural resources. The City of Orting has also adopted a suite of building codes adopted by the Washington State Building Code Council WAC Title 15 to aid in the conservation of energy and resources. These include:

1. The international building code, published by the International Code Council, Inc.;
2. The international residential code, published by the International Code Council, Inc.;
3. The international mechanical code, published by the International Code Council, Inc., including the international fuel gas code and the national fuel gas code, published by the International Code Council, Inc., except that the standards for liquified petroleum gas installations shall be NFPA 58 (storage and handling of liquified petroleum gases) and ANSI Z223.1/NFPA 54 (national fuel gas code);
4. The international fire code, published by the International Code Council, Inc., including those standards of the National Fire Protection Association specifically referenced in the international fire code; provided that, notwithstanding any wording in this code, participants in religious ceremonies shall not be precluded from carrying hand held candles;
5. Except as provided in Revised Code Of Washington 19.27.170, the uniform plumbing code and uniform plumbing code standards, published by the International Association Of Plumbing And Mechanical Officials; provided that, any provisions of the uniform plumbing code and uniform plumbing code standards affecting sewers or fuel gas piping are not adopted; and
6. The rules adopted by the council establishing standards for making buildings and facilities accessible to and usable by the physically disabled or elderly persons as provided in Revised Code of Washington 70.92.100 through 70.92.160, as now or hereafter amended.

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

The proposal would not directly affect environmentally sensitive areas or areas designated (or eligible or under study) for government protection. The City's Critical Areas Code (Title 11) has the purpose of limiting development and alteration of critical areas and requires applicants proposed to develop sites containing or adjacent to critical areas have a qualified professional submit a critical areas special study for City review and approval. The application of the City's critical areas regulations is applied equally to properties in all zones.

The change in Comprehensive Plan docketing process will not affect environmentally sensitive areas or areas designated for governmental protection.

Proposed measures to protect such resources or to avoid or reduce impacts are:

Impacts to critical areas will not increase as a result of the proposed amendments to the City's Comprehensive Plan and concomitant zoning amendments. The proposed amendments to the City's Comprehensive Plan and concomitant zoning amendments will not alter how Title 11 – Critical Areas, Title 14 – Flood Control, and Title 13-5-2-C – Preservation of Significant Trees and Vegetation, are applied to sites in order to protect or conserve plants, animals, floodplains, and critical areas.

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

The three site-specific requests proposed would alter land uses from what is planned under the City's Comprehensive Plan in accordance with review and approval criteria contained within the OMC.

Site Specific Request #1 would alter planned land uses from mixed use town center (allowing a mix of commercial and residential uses) to public facilities (allowing educational, recreational and public service uses). The reclassification would acknowledge the public use of the site and serve to diminish the number of allowed uses that are permitted on the site thereby limiting future development types. The use of the as a new City Hall building will not change or become non-conforming under the amended classification.

Site Specific Request #2 would alter the planned land uses from single-family residential (6 dwelling units per acre) under the RU zone to the MUTC zone which permits commercial and multi-family development (with no maximum density). The reclassification would affect land use by increasing the density on site and allow the site to develop with multiple multi-family units. The proposal is compatible with parcels to the northeast and mirrors the existing classification immediately across Calistoga Street.

Site Specific Request #3 would alter the planned land uses from single-family residential (6 dwelling units per acre) to public facilities (allowing educational, recreational and public service uses). The reclassification would acknowledge the public use of the site and serve to diminish the number of allowed uses that are permitted on the site thereby limiting future development types. This rezone would eliminate residential as an allowed use on site, future development would need to be public facility uses. The use of the site as a wellhead will not change or become non-conforming under the amended classification.

The change in Comprehensive Plan docketing process will not affect land or shoreline use.

Proposed measures to avoid or reduce shoreline and land use impacts are:

Impacts to adjacent land uses will be mitigated by the City's development standards (Title 13, Chapter 5 OMC). This includes bulk regulations (setbacks, height, lot coverage, and density), as well as landscaping and parking lot screening to aid in diminishing impacts on adjacent properties. Site Specific Request #3, the well head site adjacent to residential properties, is already well-screened with fencing and landscape screening that includes trees, shrubs, and groundcover. The new City Hall located at Site Specific Request #1 is already under construction and will include landscaping and screening.

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Increased density at Site Specific Request #2 will likely increase traffic to the sites over volumes associated with uses under the current zoning. Public services and utilities are available, or can be extended at the applicant's expense, to accommodate future development that may occur due to the reclassification of the areas.

The change in Comprehensive Plan docketing process will not increase demands on transportation or public services or utilities.

Proposed measures to reduce or respond to such demand(s) are:

Future site-specific development applications will be subject to SEPA environmental review and code requirements. For larger projects, traffic impact analyses may be required to evaluate the impacts associated with development proposals, as determined by the City Engineer. Traffic impacts will be required consistent with OMC 15.6 (Impact Fees). Additional point impacts may also require mitigation.

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

The Comprehensive Plan Amendment proposal is not anticipated to conflict any local, state, or federal laws or requirements for the protection of the environment. Future project specific development applications will be subject to SEPA environmental review and code requirements in place at the time of application.

The change in Comprehensive Plan docketing process is consistent with public notice requirements in the Growth Management Act and does not conflict with any other local, state, or federal laws or requirements for the protection of the environment.



CITY OF ORTING

110 TRAIN ST SE, PO BOX 489, ORTING WA 98360
Phone: (360) 893-2219 FAX: (360) 893-6809
www.cityoforting.org

SEPA Determination of Non-Significance (DNS)

Name of Proposal: 2020 Comprehensive Plan Amendments

Proponent: City of Orting

Description: The City of Orting is performing its annual Comprehensive Plan Amendments. Three of the four amendments have concurrent rezones. Amendments include:

- Site Specific Request #1 – A staff-initiated request for a Comprehensive Plan Amendment and Rezone of the new City Hall site, located at 102 Bridge Street S, from Mixed Use Town Center to Public Facilities.
- Site Specific Request #2 – A citizen-initiated request for a Comprehensive Plan Amendment and Rezone for the property at 210 Calistoga Street West from Residential Urban to Mixed Use Town Center.
- Site Specific Request #3 - A staff-initiated request for a Comprehensive Plan Amendment and Rezone of Wellhead Site #3 located at 101 Williams Blvd NW from Residential Urban to Public Facilities.
- Text Amendments - A staff-initiated request for a Comprehensive Plan Text Amendments of what are generally housekeeping items to update the text for consistency with other City plans and regulations.


Location: The City of Orting is located between the Puyallup and Carbon Rivers in Pierce County, generally within Township 18N and 19N, Range 5E. This is a non-project action that would affect multiple parcels in the City of Orting.

Lead Agency: City of Orting.


The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030. This decision was made after review of a completed environmental checklist and other information on file with the lead agency. The information is available to the public on request.

Responsible Official: City Administrator or his/her authorized designee
Mark Bethune, City Administrator
Orting City Hall, 110 Train St SE, Orting, WA 98360

Please submit written comments to Mark Bethune at the address above, or by email to Emily Adams, City Planner at eadams@cityoforting.org
This Determination of Nonsignificance (DNS) is issued under WAC 197-11-340(2). The Lead Agency will not act on this proposal for 14 days from the issue date (issue date: August 26, 2020). Comments must be submitted by 5:00 pm on September 9, 2020.



Mark Bethune, City Administrator



Date

“Small Town – Big View”

Published notice of SEPA determination of nonsignificance in the Tacoma News Tribune:

Notice Type : <u>Legal Notices</u>	Posting Date : 8/26/2020
Printer Friendly	
<p>SEPA Determination of Non-Significance (DNS) Name of Proposal: 2020 Comprehensive Plan Amendments Proponent: City of Orting Description: The City of Orting is performing its annual Comprehensive Plan Amendments. Three of the four amendments have concurrent rezones. Amendments include: Site Specific Request #1 A staff-initiated request for a Comprehensive Plan Amendment and Rezone of the new City Hall site, located at 102 Bridge Street S, from Mixed Use Town Center to Public Facilities. Site Specific Request #2 A citizen-initiated request for a Comprehensive Plan Amendment and Rezone for the property at 210 Calistoga Street West from Residential Urban to Mixed Use Town Center. Site Specific Request #3 - A staff-initiated request for a Comprehensive Plan Amendment and Rezone of Wellhead Site #3 located at 101 Williams Blvd NW from Residential Urban to Public Facilities. Text Amendments - A staff-initiated request for a Comprehensive Plan Text Amendments of what are generally housekeeping items to update the text for consistency with other City plans and regulations. Location: The City of Orting is located between the Puyallup and Carbon Rivers in Pierce County, generally within Township 18N and 19N, Range 5E. This is a non-project action that would affect multiple parcels in the City of Orting. Lead Agency: City of Orting. The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030. This decision was made after review of a completed environmental checklist and other information on file with the lead agency. The information is available to the public on request. Responsible Official: Mark Bethune, City Administrator, City of Orting, 110 Train St SE, Orting, WA 98360 / Please submit written comments to Mark Bethune at the address above, or by email to Emily Adams, City Planner at eadams@cityoforting.org This Determination of Nonsignificance (DNS) is issued under WAC 197-11-340(2). The Lead Agency will not act on this proposal for 14 days from the issue date (issue date: August 26, 2020. Comments must be submitted by 5:00 pm on Sept. 9, 2020 to the email or address above listed.)</p>	

Published notice of Planning Commission Public Hearing in the Tacoma News Tribune:

Notice Type : <u>Legal Notices</u>	Posting Date : 9/24/2020
Printer Friendly	
<p>CITY OF ORTING NOTICE OF PLANNING COMMISSION PUBLIC HEARING NOTICE IS HEREBY GIVEN that the Planning Commission will be holding a Public Hearing. The purpose of this hearing is to receive public testimony regarding the following proposed Comprehensive Plan amendments. Proposed amendments: (1) 102 Bridge St S (new City Hall) rezone (2) 210 Calistoga West rezone (3) 101 Williams Blvd rezone (4) text amendments. The hearing will be held at a virtual regular Planning Commission Meeting on October 5th, 2020 at 7:00pm. The City is utilizing remote attendance for the hearing. Comments made be made by the public by a log in or call in number and then entering the Meeting ID. To join the meeting/hearing on a computer or mobile phone: https://bluejeans.com/814277829 Phone Dial-in +1.408.419.1715 or +1.408.915.6290 (United States (San Jose)) Then enter meeting ID: 814 277 829 If you are unable to join the hearing written comments may be submitted to City Planner Emily Adams electronically, no later than 1:00pm on October 5th, 2020 at EAdams@cityoforting.org. Written comments will be sent to the Commission prior to the hearing and will become part of the public record. Further information may be obtained by emailing Emily Adams at the email above or by phone at 253-284-0263.</p>	

NOTICE OF ORTING PLANNING COMMISSION PUBLIC HEARING

Monday, October 5th, 2020 – 7:00 pm

NOTICE IS HEREBY GIVEN the Orting Planning Commission will be holding a Public Hearing. The purpose of this hearing is to receive public testimony regarding the following proposed Comprehensive Plan amendments. Proposed amendments:

- (1) 102 Bridge St S (new City Hall) rezone
- (2) 210 Calistoga West rezone
- (3) 101 Williams Blvd rezone
- (4) Text amendments

The hearing will be held at a virtual regular Planning Commission Meeting on October 5th, 2020 at 7:00pm. The City is utilizing remote attendance for the hearing. Comments made be made by the public by a log in or call in number and then entering the Meeting ID.

To join the meeting/hearing on a computer or mobile phone:

<https://bluejeans.com/814277829>

Phone Dial-in: +1.408.419.1715 or +1.408.915.6290 (United States(San Jose)).

Then enter Meeting ID: 814 277 829

If you are unable to join the hearing written comments may be submitted to City Planner Emily Adams electronically, no later than 1:00pm on October 5th, 2020 at EAdams@cityoforting.org or by mail to the Planning Commission secretary at 110 Train St. SE, PO Box 489, Orting, WA, 98360.

Written comments will be sent to the Commission prior to the hearing and will become part of the public record. Further information may be obtained by emailing Emily Adams at the email above or by phone at 253-284-0263.



09/30/2020

Emily Adams
City Planner
City of Orting

RE: 210 Calistoga St W
Rezone from RU to MUTC

Mark,

I would like to thank the City of Orting in advance for considering the requested rezoning of 210 Calistoga. The intent of the rezoning is to convert the current single family residence to apartments. This site is ideal to provide affordable residence's for multiple families within walking distance of all the amenities afforded by our community. The intent is to build these apartment's in a fashion to blend in with the community and enhance the downtown core. The actual construction may be a couple years out.

Thank you,
Jerry Cowan
253-227-4670

Ad Order Information

Ad Number 0004808358-01 **Ad Type** TAC-Legal Liner **Production Method** AdBooker **Production Notes**

External Ad Number **Ad Attributes** **Ad Released** No **Pick Up**

Ad Size 1 X 31 li **Color**

Product TAC-NT-News Tribune **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN that the Orting C **Position** 0301 - Legals & Public Notices

Run Dates 11/13/2020

Product TAC-upsell.thenewstribune.com **Placement** 0300 - Legals Classified **Times Run** 1

Run Schedule Invoice Text NOTICE IS HEREBY GIVEN that the Orting C **Position** 0301 - Legals & Public Notices

Run Dates 11/13/2020

NOTICE IS HEREBY GIVEN that the Orting City Council will be holding a Public Hearing. The purpose of this hearing is to receive public testimony regarding the following proposed Comprehensive Plan amendments. Proposed amendments: (1) 102 Bridge St S (new City Hall) rezone (2) 210 Calistoga West rezone (3) 101 Williams Blvd rezone (4) text amendments. **The hearing will be held at a virtual Special City Council Meeting on November 24th, 2020 at 7:00pm. The City is utilizing remote attendance for the hearing. Comments may be made by the public by a log in or call in number and then entering the Meeting ID. To join the meeting/hearing on a computer or mobile phone:**

<https://bluejeans.com/129750645?src=calendarLink>

Phone dial-in: +1.408.419.1715 OR +1.408.915.6290 **Meeting ID:** 129 750 645

If you are unable to join the hearing, written comments may be submitted by 1PM on November 24th to Emily Adams, City Planner, at eadams@cityoforting.org. Written comments will be sent to the Council prior to the hearing and will become a part of the record.

QUESTIONS may be directed to the City Planner by email or by phone at 253-284-0263.

NOTICE OF ORTING CITY COUNCIL PUBLIC HEARING

Tuesday, November 24th, 2020 – 7:00 pm

NOTICE IS HEREBY GIVEN the Orting City Council will be holding a Public Hearing. The purpose of this hearing is to receive public testimony regarding the following proposed Comprehensive Plan amendments. Proposed amendments:

- (1) 102 Bridge St S (new City Hall) rezone
- (2) 210 Calistoga West rezone
- (3) 101 Williams Blvd rezone
- (4) Text amendments

The hearing will be held at a virtual Special City Council Meeting on Nov. 24th, 2020 at 7:00pm. The City is utilizing remote attendance for the hearing. Comments made be made by the public by a log in or call in number and then entering the Meeting ID.

To join the meeting/hearing on a computer or mobile phone:

<https://bluejeans.com/129750645?src=calendarLink>

Phone Dial-in: +1.408.419.1715 or +1.408.915.6290 (United States(San Jose)).

Then enter Meeting ID: 129 750 645

If you are unable to join the hearing written comments may be submitted to City Planner Emily Adams electronically, no later than 1:00pm on Nov. 24h, 2020 at EAdams@cityoforting.org.

Written comments will be sent to the Council prior to the hearing and will become part of the public record. Further information may be obtained by emailing Emily Adams at the email above or by phone at 253-284-0263.



Councilmembers

Position No.

1. Tod Gunther
2. John Kelly
3. Tony Belot
4. John Williams
5. Gregg Bradshaw
6. Greg Hogan
7. Scott Drennen



Mayor Joshua Penner, Chair

Orting City Council

Special Meeting Minutes
Budget Workshop
October 24TH, 2020
9:00am -1:00pm
Virtual, Orting, WA

1. CALL SPECIAL MEETING TO ORDER, PLEDGE, ROLL CALL

Mayor Penner called the meeting to order at 9:00am, and Councilmember Williams led the pledge of allegiance.

Councilmembers Present: Deputy Mayor Greg Hogan, Councilmembers Tod Gunther, John Kelly, John Williams, Tony Belot and Gregg Bradshaw.

Absent: Councilmember Drennen

Staff Present: Scott Larson, City Administrator, Jane Montgomery, City Clerk, City Attorney, JC Hungerford, Engineer, Chris Gard, Chief of Police, Greg Reed, Public Works Director. Kim Kainoa, Court Administrator.

Councilmember Kelly made a motion to excuse Councilmember Drennen. Second by Councilmember Drennen. Motion passed (6-0)

Mayor Penner read the following statement: *The City utilized remote attendance for Councilmembers and City employees. Please note: OPMA rules regarding provision for the public in a space were suspended by proclamation of the Governor. The meeting was however, available for the public.

2. BUDGET WORKSHOP

A. Discussion – 2021 Preliminary Budget.

Budget Introduction and Vision Mayor/City Administrator

Mayor Penner began the budget session by thanking the City Council. He emphasized the fact that the Mayor does not pass a budget, but it is his job to prepare a balanced draft budget and pass that over to the City Council. At that point, the budget becomes theirs. The Mayor stated that the budget is the primary policy document of the Council and determines staff's actions for the upcoming year. The Mayor hopes they keep it balanced and wants them to think of what policy and vision they are setting in place for each department. His vision is to be the best run City in Washington State. He spoke about some ways to accomplish that:

- Be the most responsive city- Outstanding customer service;
- Be the most ready for emergency's- Seek out Leadership roles outside of the City;
- Personnel- Be a place people go to experience leadership development;
- How do we want to employ people? Term Limited / Supported Employment. Look at all the options;
- Get as may processes on rails as we can- (Example 5 year rate structure for utility's);
- Create structure and be informed-Creation of Committee/Study Session Structure;
- Purchase of Vehicles- (Now have a spaced out replacement plan in place)
- Facility's- (Dedicated approach to long term facility reliability)
- Look at the possibility of moving to a two year budget cycle
- Re-Organization of current teams to be more efficient

The Mayor briefed on proposed policy's that are in the draft budget; Mayors Compensation, Council Compensation, Legislative discretionary funds. He stated that the budget is conservatively balanced with a surplus. He asked that they respect the surplus but make the decisions that they believe are necessary to enable their vision and the combined vision of the community for next year.

Scott Larson, City Administrator did a budget orientation detailing the different sections in the budget book which were provided to each Councilmember:

- Mayors Budget Message
- Financial Policy
- 2021 Budget Highlights
- Fund Balances
- General Fund Revenue
- Breakdown of the General Fund- Will be briefed by each Department Head
- Capital Improvement Programs- Council adopted Projects
- Wages/ Positions
- Individual Requests
- Financial Position
- City's Debt
- Revenue and Expenses
- Budget Ordinance
- Property Tax Resolution
- Utility Rates

Scott Larson, City Administrator laid out his vision and goals for the executive team. He stated that in spite of the Corona virus the City has not seen a major impact to the budget. The current budget has a \$54,000 increase in Revenue which is fairly modest. There will be a slight increase in property taxes driven by the increase in housing values and some new construction. Expenses will go up approximately \$34,000. This is due to conservative budgeting. The goal is to not be in a position to have to cut critical items in the event of unforeseen events in 2021. The City focused on investing in critical assets to avoid large future expenses. He briefed on staffing issues, the desire to support other cities, and a plan to continue to pursue new partnerships.

Joe DePinto the City's lobbyist gave a briefing on how his services benefit the City. He explained the makeup of the House and Senate. Revenue projections were down earlier in the year they predicted a downfall of 8.4 billion dollars but is now down to 4.2 billion which is good news. He briefed on AWC's priorities. There will likely be a large transportation package presented which will be a plus for Orting. Mr. DePinto lobbies at the State, County and Federal level to chase down funds, by promoting the City of Orting and providing the City the opportunity to make a case for funding in front of the people who make those decisions. Mr. DePinto will return and give a briefing after the elections.

Mayor recessed the meeting at 9:56am for a break.

Mayor Penner resumed the meeting at 10:02am.

The Following Departments gave a brief on their individual departments and their goals. Councilmembers were provided the opportunity to ask questions after each overview.

1. General Fund – Court

Update provided by Kim Kainoa, Court Administrator

2. General Fund – Police

Update provided by Chris Gard, Chief of Police.

Mayor Penner recessed the meeting at 11:01am for a break.
The Meeting resumed at 11:07am

3. General Fund – Other

The update was provided by Scott Larson, City Administrator.

Mayor Penner also laid out his proposal to provide each Councilmember a discretionary legislative piece of the general fund to pursue projects they feel would be of benefit to their constituents. The proposed amount is \$3,000. Discussion followed

Mayor Penner briefed on his proposal to take a look at the salary for the Mayor. Cities the size of Orting range anywhere from \$6,000 up to \$100,000. The current salary for the Mayor is \$12,000 a year. No two cities are alike as each Mayor performs the same work. He based his proposal on the amount of work which he feels fairly compensates the Mayor of Orting based on the duties that the Mayor of this City is expected to perform. His proposal is that it be increased to \$30,000.

Mayor Penner recessed for a break at 12:10pm
Mayor Penner resumed the meeting at 12:16pm

Parks Discussion

Scott Larson briefed on the following with regard to revenue the City is expecting about the same as 2020, so things will stay the same in regard to anticipated revenues. Requests have been made regarding new trucks and maintenance workers, and a reader board. The ADA spinner is not reflected in the 2021 budget. Ongoing Projects are still teed up, such as the Whitehawk ballfields. Council discussions followed and input was provided by the City Engineer and the Mayor on Park projects. A zip line, and the ambition and conceptual ideas to brand the City as a gateway to Mt. Rainier was discussed. Councilmember Gunther will make an appointment with Scott Larson to propose his ideas on funding of a zip line.

4. Engineering – Projects- City Engineer

JC Hungerford briefed on City Projects.

- **Well 1 VFD**-Replace pump motors with Variable Frequency Drive (VFD) units. Replace filtration sand media.\$200,000
- **2021 Lift Stations** (Puyallup River & Rainier Meadows)-Construction of improvements for Puyallup River and Rainier Meadows Lift Stations \$1,400,000
- **Wastewater Treatment Plant**-Construction of solids handling improvements for the Wastewater Treatment Plant-\$10,000,000
- **Village Green (Puyallup River) Outfall**- Replace existing undersized storm water outfall for Village Green. Grant funded project.-\$223,000
- **Calistoga Street/Kansas Street Outfall**-Replace the failed storm water system on Calistoga Street West along with the outfall-\$1,500,000
- **Emergency Evacuation Bridge System**-\$6,000,000
- **Whitehawk Boulevard Extension**- Right of Way Acquisition: \$250,000

Council discussion followed.

5. Public Works- Greg Reed, Public Works Director

Greg Reed presented a power point detailing 2021 Requests .The request were:

- Two F-150 Trucks
- Inspection Camera
- Solar Powered Variable Message Board
- Term Limited Landscape Maintenance Worker
- Permit Coordinator

6. Council Discussion-Mayor/City Administrator

Mayor Penner stated that on the 12th Budget discussions will resume. A second version will be presented at this time that reflects any of the items Council had requested.

3. ADJOURN

Councilmember Gunther made a motion to recess. Second by Deputy Mayor Hogan. Motion passed (6-0).

Mayor Penner recessed the meeting at 1:26pm

ATTEST:

Jane Montgomery, City Clerk, CMC

Joshua Penner, Mayor

Councilmembers

Position No.

1. Tod Gunther
2. John Kelly
3. Tony Belot
4. John Williams
5. Gregg Bradshaw
6. Greg Hogan
7. Scott Drennen



Mayor Joshua Penner, Chair

Orting City Council

Regular Business Meeting Minutes
Virtual, Orting, WA
October 28, 2020
7 p.m.

1. CALL MEETING TO ORDER, PLEDGE OF ALLEGIANCE, AND ROLL CALL. REQUEST FOR ADDITIONS OR CORRECTIONS TO THE AGENDA.

Mayor Penner called the meeting to order at 7:00pm. Councilmember Belot led the pledge of allegiance, and a roll call was taken.

Councilmembers Present: Deputy Mayor Greg Hogan, Councilmembers Tod Gunther, John Kelly, John Williams, Tony Belot, and Gregg Bradshaw.

Absent: Councilmember Drennen

Staff Present: Scott Larson, City Administrator (CA), Mark Bethune, City Administrator Emeritus, Jane Montgomery, City Clerk, Charlotte Archer, City Attorney, JC Hungerford, Engineer, Chris Gard, Chief of Police.

Deputy Mayor Hogan made a motion to excuse Councilmember Drennen. Second by Councilmember Belot. Motion passed (6-0)

REQUESTS FOR ANY ADDITIONS OR MODIFICATIONS TO THE AGENDA

No Requests made.

Mayor Penner read the following statements:

The City is utilizing remote attendance for Councilmembers and City employees. Please note: OPMA rules regarding provision for the public in a space have been suspended by proclamation of the Governor. The meeting is however, available for the public. To join the meeting use the following information: To join the meeting on a computer or mobile phone: <https://bluejeans.com/168856033?src=calendarLink>--Phone Dial-in --+1.408.419.1715
Meeting ID: 168 856 033

***Public Service Announcement**

Pierce County Emergency Management skipped October's siren test and will resume Monday, November 2nd, 2020. They just completed a siren upgrade and want ample time to prepare residents for a change in what they will hear – chime and voice versus the “wail” sound. Be watching social media and other communication avenues for more information.

If you want to hear the updated sounds, check out this Page: <https://www.piercecountywa.gov/.../115310/Lahar-Warning-System>

2. PUBLIC COMMENTS.

No public Comments were submitted.

3. PRESENTATION

A. Rainier Communications Commission.

✦ *Megan Hutton*

Megan Hutton gave a presentation outlining the changes for RCC from a per subscriber rate which has been the model for Orting for over 10 years, to a percentage of gross revenue model, which she

briefed was the industry standard and more reflective of cost needs. This change will have an impact for customers, but it was stated it would be minimal. She provided a brief history of RCC as well.

4. HEARING- Mayor Penner read the following hearing rules:

All members of the public were provided the opportunity to testify during the virtual public hearing via a call in number and meeting. Alternatively if they did not want to attend the meeting they were allowed to submit written comments prior to the public hearing no later than 3:00 pm. on October 28th, 2020; to Jane Montgomery, City Clerk, at jmontgomery@cityoforting.org.

A. AB20-83 -2021 Property Taxes- Resolution No. 2020-37, A Resolution Of The City Of Orting, Washington, Requesting the Highest Lawful Levy.

Mayor Penner opened the Hearing at 7:50pm, announced the Title, Read the Rules and asked for a briefing from staff. Scott Larson briefed on the proposed resolution. This resolution would raise the property tax cap by \$12,111.70 to \$1,347,915.06, which is an increase of less than 1% over the prior years' levy which was \$1,335,880.61. The actual rate paid by citizens goes down from \$1.53 per thousand assessed valuation to \$1.40. Due to the fact that house values rose there will be an increase to citizens but not because taxes increased. The increase in the total amount of property tax collections is driven by \$2 million in new construction, and assessed valuations from 2020 and 2021 which are an increase of 10.5%.

Public Comments

No comments were submitted. Council discussion followed.

Mayor Penner closed the hearing at 8:06pm

Deputy Mayor Hogan made a Motion: To Approve Resolution No. 2020-37, a Resolution of the City Of Orting, Washington, Requesting the Highest Lawful Levy. Second by Councilmember Kelly. Motion failed (4-2) Nays: CM Gunther, CM Belot, CM Williams, and CM Bradshaw.

Action: Councilmembers will reach out to CA Larson and this will come back to a future agenda.

5. CONSENT AGENDA

- A. Regular Meeting Minutes of September 30th, 2020.
- B. Payroll and Claims Warrants.
- C. **AB20-81**-Scope and Budget from Parametrix for Professional Services as described in The Attached Kansas Street SW Design and Permitting Documents in the Amount Of \$470,232.64.
- D. **AB20-84**- Resolution No. 2020-36, A Resolution Of The City Of Orting, Washington, Adopting The Region 5 All Hazard Mitigation Plan – 2020-2025 Edition And The City Of Orting Addendum To The Region 5 Hazard Mitigation Plan.

Deputy Mayor Hogan made a Motion: To approve Consent Agenda as prepared. Second by Councilmember Bradshaw. Motion passed (6-0)

6. OLD BUSINESS

A. AB20-76- CARES Small Business Grant Funds, Additional Applications.

CA Larson briefed on the additional applications for grants for small business grants. The Resolution approves the three additional and increases the allocation to \$145,000 from the original amount Council approved of \$100,000. The grant awards are identified in the Exhibit. The payment of these funds will come from the City's general fund, and the Mayor or designee will seek reimbursement from the CARES Act funding allocated to the City. The City has to have all funds out the door by November 30th, 2020.

Deputy Mayor Hogan Made a Motion To Approve Resolution No 2020-38, A Resolution Of The City Of Orting, Washington, Declaring A Public Purpose And Authorizing A City Grant Of Funds To Small Businesses For Covid-19 Relief. Second by Councilmember Williams. Motion Passed (6-0)

7. NEW BUSINESS

A. AB20-80- Carbon River Setback Feasibility Study- Resolution No. 2020-35, A Resolution Of The City Of Orting, Washington, Establishing Project Alternatives For Consideration During The Carbon River Setback Feasibility Study Performed By Pierce County.

JC Hungerford briefed that on August 19, 2020, Pierce County Surface Water Management presented to Orting City Council at a Study Session. In response, the Public Works Committee along with City Council has expressed a desire to encourage Pierce County to analyze additional project alternatives. The Public Works Committee has drafted the attached resolution for consideration by City Council which is a no build alternative.

Councilmember Bradshaw made a Motion: To Adopt Resolution 2020-35, A Resolution of the City of Orting, Washington, and Establishing Project Alternatives for Consideration during the Carbon River Setback Feasibility Study Performed by Pierce County. Second by Deputy Mayor Hogan. Motion passed (6-0).

8. EXECUTIVE SESSION

City Attorney Archer briefed that there would be an Executive session per RCW 42.30.110 1 (g) Personnel Issue. They will recess for 10 minutes and no action is anticipated upon return to open session.

Mayor Penner recessed the meeting for a break at 8:30pm to be followed by an Executive session. Mayor Penner Recessed to Executive session at 8:35pm for 10 minutes.

8:45pm extended for 5 minutes

8:50pm extended for 5 minutes

8:55pm extended for 5 minutes

9:00pm extended for 5 minutes

9:05pm extended for 5 minutes

Mayor Penner called the meeting back to order at 9:10pm.

9. ADJOURNMENT

Councilmember Kelly made a motion to adjourn. Second by Councilmember Gunther. Motion passed (6-0).

Mayor Penner recessed the meeting at 9:10pm.

ATTEST:

Jane Montgomery, City Clerk, CMC

Joshua Penner, Mayor

VOUCHER/WARRANT REGISTER
FOR NOVEMBER 25, 2020 COUNCIL
CLAIMS/PAYROLL VOUCHER APPROVAL

CITY OF ORTING

WE, THE UNDERSIGNED, DO HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE MATERIALS HAVE BEEN FURNISHED, THE SERVICES RENDERED OR THE LABOR PERFORMED AS DESCRIBED HEREIN AND THAT THE CLAIM IS A JUST, DUE AND UNPAID OBLIGATION AGAINST THE CITY OF ORTING, AND THAT WE ARE AUTHORIZED TO AUTHENTICATE AND CERTIFY TO SAID CLAIM.

NOVEMBER 2nd COUNCIL

CLAIMS WARRANTS #49244 THRU #49298
IN THE AMOUNT OF \$ 329,736.22
MASTERCARD EFT = \$24,522.30

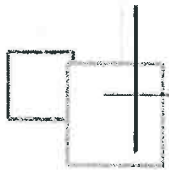
PAYROLL WARRANTS # 23720 THRU #23722 = \$ 14624.37
EFT \$ 151,171.84
IN THE AMOUNT OF \$ 165,796.21
Carry Over \$ 24,437.54

ARE APPROVED FOR PAYMENT ON NOVEMBER 25, 2020

COUNCILPERSON _____

COUNCILPERSON _____

CITY CLERK _____



Fund Transaction Summary

Transaction Type: Invoice
Fiscal: 2020 - November 2020 - 2nd Council

Fund Number	Description	Amount
001	Current Expense	\$123,094.17
101	City Streets	\$10,410.40
104	Cemetery	\$74.36
105	Parks Department	\$2,457.58
303	Emergency Evacuation Bridge Fund	\$143.75
304	City Hall Construction	\$108,507.63
401	Water	\$14,363.60
408	Wastewater	\$28,025.30
410	Stormwater	\$52,109.66
412	Utility Land Acquisition	\$15,072.07
	Count: 10	\$354,258.52

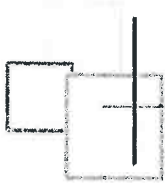


Register

Fiscal: 2020
 Deposit Period: 2020 - November 2020
 Check Period: 2020 - November 2020 - 2nd Council

Number	Name	Pay Date	Clearing Date	Amount
Key Bank	0032707010			
Check				
<u>912474</u>	Keybank-MasterCard	11/16/2020		\$24,522.30
		Total	Check	\$24,522.30
		Total	0032707010	\$24,522.30
Key Bank	2000073			
Check				
<u>49244</u>	The Rusty Rack Guy's	11/16/2020		\$10,904.25
<u>49245</u>	Ford Motor Credit Company LLC	11/17/2020		\$4,084.81
<u>49246</u>	Rose, Ashleigh	11/17/2020		\$108.68
<u>49247</u>	SEP Consulting	11/17/2020		\$1,488.68
<u>49248</u>	Forerunner	11/19/2020		\$6,000.00
<u>49249</u>	Orting Dental Center	11/19/2020		\$15,000.00
<u>49250</u>	Alan Environmrtal Products INC	11/25/2020		\$891.20
<u>49251</u>	Applied Concepts, Inc	11/25/2020		\$84.16
<u>49252</u>	BlueTarp Credit Services	11/25/2020		\$874.23
<u>49253</u>	Canonica, Steven	11/25/2020		\$42.00
<u>49254</u>	Cascade Floral Products INC	11/25/2020		\$721.46
<u>49255</u>	Cintas Corporation #461	11/25/2020		\$220.08
<u>49256</u>	Consolidated Supply	11/25/2020		\$49.46
<u>49257</u>	Controlled F.O.R.C.E	11/25/2020		\$1,540.00
<u>49258</u>	Culligan Seattle WA	11/25/2020		\$30.22
<u>49259</u>	Data Bar	11/25/2020		\$1,527.99
<u>49260</u>	DM Disposal Co., Inc	11/25/2020		\$1,643.37
<u>49261</u>	Dmcrma	11/25/2020		\$150.00
<u>49262</u>	Drain-Pro INC	11/25/2020		\$1,083.04
<u>49263</u>	Enumclaw, City of	11/25/2020		\$2,214.10
<u>49264</u>	Flags A' Flying	11/25/2020		\$197.77
<u>49265</u>	GC Systems INC	11/25/2020		\$741.83
<u>49266</u>	H D Fowler Company	11/25/2020		\$855.62
<u>49267</u>	Hach Company	11/25/2020		\$2,486.30
<u>49268</u>	Harrington's Janitorial	11/25/2020		\$1,200.00
<u>49269</u>	Huffman, ED	11/25/2020		\$42.00
<u>49270</u>	Inslee, Best, Doezie & Ryder, P.S	11/25/2020		\$10,297.86
<u>49271</u>	Law Offices of Matthew J Rusnak	11/25/2020		\$2,041.67
<u>49272</u>	Mitel Technologies, Inc	11/25/2020		\$3,382.84
<u>49273</u>	Office of State Auditor	11/25/2020		\$168.00
<u>49274</u>	Orting Basketball Booster Club	11/25/2020		\$1,344.10

<u>49275</u>	Orting Valley Fire & Rescue	11/25/2020	\$2,390.15
<u>49276</u>	P.c. Budget & Finance	11/25/2020	\$4,097.53
<u>49277</u>	Parametrix	11/25/2020	\$95,067.15
<u>49278</u>	Pcrd (landfill)	11/25/2020	\$116.18
<u>49279</u>	Pease Construction INC	11/25/2020	\$107,294.62
<u>49280</u>	Pole Tech Flagpole Manufacturer	11/25/2020	\$1,630.00
<u>49281</u>	PRO-VAC	11/25/2020	\$786.96
<u>49282</u>	Puget Sound Energy	11/25/2020	\$11,281.85
<u>49283</u>	Reed, Greg	11/25/2020	\$459.04
<u>49284</u>	Rogers Machinery Co, Inc	11/25/2020	\$495.25
<u>49285</u>	Schwab-Ellison Co, Inc	11/25/2020	\$21.98
<u>49286</u>	SCORE	11/25/2020	\$368.00
<u>49287</u>	Spectral Laboratories	11/25/2020	\$252.00
<u>49288</u>	Sumner Lawn'n Saw	11/25/2020	\$829.25
<u>49289</u>	Sunnyside, City Of	11/25/2020	\$1,410.00
<u>49290</u>	Systems For Public Safety Inc	11/25/2020	\$20,755.36
<u>49291</u>	Terex Services	11/25/2020	\$2,267.16
<u>49292</u>	UniFirst Corporation	11/25/2020	\$372.74
<u>49293</u>	United Laboratories	11/25/2020	\$818.76
<u>49294</u>	Usabluebook	11/25/2020	\$264.40
<u>49295</u>	Washington State Criminal Justice Training Comm	11/25/2020	\$6,694.00
<u>49296</u>	Water Management Lab Inc.	11/25/2020	\$161.00
<u>49297</u>	Whitworth Pest Solutions, INC	11/25/2020	\$317.03
<u>49298</u>	Zumar Industries Inc	11/25/2020	\$170.09
		Total	Check
		Total	2000073
		Grand Total	\$329,736.22
			\$329,736.22
			\$354,258.52



Custom Council Report

Vendor	Number	Invoice	Account Number	Notes	Amount
Alan Environmrntal Products INC	49250	#INV13833	408-535-10-31-00	Sanitizing Whips-Hand Sanitizer Total	\$891.20 \$891.20
Applied Concepts, Inc	49251	Invoice - 11/19/2020 1:38:22 PM	001-521-50-48-04	Battery Handle Total	\$84.16 \$84.16
BlueTarp Credit Services	49252	J50600/3	105-576-80-31-04	LED Christmas Lights Total	\$874.23 \$874.23
Canonica, Steven	49253	2985-Canonica	401-534-50-49-15	Waterworks Renewal-GRCGR100002593 1 Total	\$42.00 \$42.00
Cascade Floral Products INC	49254	USA-13228	105-576-80-31-04	Cedar Garland Total	\$721.46 \$721.46
Cintas Corporation #461	49255	4066720417	408-535-60-48-04	Cleaning of City Park Restrooms Total	\$220.08 \$220.08
Consolidated Supply	49256	S010022655.001	408-535-50-48-02	PVC Sewer Cap Total	\$49.46 \$49.46
Controlled F.O.R.C.E	49257	9393	001-521-40-49-00	Controlled Force Training-Boone-Taylor Total	\$1,540.00 \$1,540.00
Culligan Seattle WA	49258	0582096 2638348	001-521-20-31-03 001-521-20-31-03	Water for Police Water for Police Total	\$27.72 \$2.50 \$30.22
Data Bar	49259	248045	001-521-20-31-01	Patches For Police Total	\$1,527.99 \$1,527.99
DM Disposal Co., Inc	49260	2111-321837464 2111-46329900	408-535-60-47-00 408-535-60-47-00	WWTP-Garbage Service WWTP-Garbage Service Total	\$400.50 \$1,242.87 \$1,643.37

Vendor	Number	Invoice	Account Number	Notes	Amount
Dmcma	49261	Membership Kainoa	001-512-50-49-06	Court Management Association Dues	\$150.00
				Total	\$150.00
Drain-Pro INC	49262	74689	408-535-60-48-04	Honey Bucket Service-Cemetery	\$96.57
		74690	408-535-60-48-04	Honey Bucket Service-Van Scoyoc	\$97.82
		74691	408-535-60-48-04	Honey Bucket Rental-River Ave	\$129.50
		74692	408-535-60-48-04	Honey Bucket Rental-Washington Ave	\$129.50
		74693	408-535-60-48-04	Honey Bucket Service-Calistoga St W	\$195.65
		74694	408-535-60-48-04	Honey Bucket Service-Rocky RD	\$129.50
		74695	408-535-60-48-04	Honey Bucket Rental -White Hawk BLVD	\$304.50
				Total	\$1,083.04
Enumclaw, City of	49263	05987	001-523-60-41-00	Jail Fees-OCT 2020	\$2,214.10
				Total	\$2,214.10
Flags A' Flying	49264	90707	105-576-80-31-00	6X10 US Flag	\$197.77
				Total	\$197.77
Ford Motor Credit Company LLC	49245	1763038-Lease Payment #25 - 2018 Ford F-150-P 8487902	001-591-21-70-03 001-592-21-80-02	Lease Payment #25 - 2018 Ford F-150-P 8487902	\$186.90
				Lease Payment #25 - 2018 Ford F-150-l 8487902	\$916.88
		8487901-Lease Payment # 25001-2018 Ford Interceptor-P 8487901	001-591-21-70-03 001-592-21-80-02	Lease Payment # - 3-2018 Ford Interceptor-P 8487901	\$2,253.95
				Lease Payment # - 3-2018 Ford Interceptor-l 8487901	\$727.08
				Total	\$4,084.81
Forerunner	49248	1008	001-524-60-31-01	1008-CRS Software Program	\$6,000.00
				Total	\$6,000.00
GC Systems INC	49265	39995	401-534-50-48-04	Parts for Harman Springs	\$597.86
		40010	401-534-50-48-04	Repair Kit & Fittings	\$143.97
				Total	\$741.83

Vendor	Invoice Number	Invoice	Account Number	Notes	Amount
H D Fowler Company	49266	I5631959	401-534-50-48-02	Supplies-Meter	\$855.62
				Total	\$855.62
Hach Company	49267	12178695	408-535-50-48-04	Probe Cable	\$1,069.13
		12188298	408-535-50-48-04	Sensor Cap- Replacement	\$182.08
		12196199	401-534-50-48-04	Probe Cable	\$1,235.09
				Total	\$2,486.30
Harrington's Janitorial	49268	NOV2020-400	001-513-10-31-00	Deep Clean & Disinfect PSB	\$120.00
			001-521-20-31-03	Deep Clean & Disinfect PSB	\$1,080.00
				Total	\$1,200.00
Huffman, ED	49269	2977-Huffman	401-534-50-49-15	Waterworks Renewal- GRCGR100002524 6	\$42.00
				Total	\$42.00
Inslee, Best, Doezie & Ryder, P.S	49270	262517-562518	001-515-41-41-01	City Attorney Retainer	\$2,225.00
			001-515-41-41-02	City Attorney Services	\$79.44
			001-515-41-41-02	City Attorney Services-Public Records Request	\$500.97
			001-515-41-41-04	City Attorney Services-Nuisance	\$3,109.00
			001-515-41-41-05	City Attorney Services-HR	\$3,632.00
			001-515-41-41-06	City Attorney Services-Code Enforcement	\$350.68
			001-515-41-41-07	City Attorney Services- Development	\$275.53
			101-542-30-41-05	City Attorney Services-Streets	\$75.14
			410-531-39-41-04	City Attorney Services- Stormwater	\$50.10
				Total	\$10,297.86
Keybank-MasterCard	912474	0408-Police OCT2020	001-521-20-31-01	Patches Added to Jumpsuit-Boone	\$18.00
			001-521-20-31-03	Hand Sanitizer Dispenser Refills	\$45.98
			001-521-20-31-03	Swiffer Wet Jet Mop & Pads	\$60.08
			001-521-20-31-03	Desk Organizer- Trunk Organizer	\$224.96
			001-521-20-31-03	Mail Boxes-Wall Mounts	\$342.25
			001-521-40-49-00	Shipping-Rose Patches to Academy	\$14.52
			001-521-50-48-02	Car Wash-Boone	\$15.00

Vendor	Number	Invoiced	Account Number	Notes	Amount
Keybank-MasterCard	912474	0408-Police OCT2020	001-521-50-48-02	Car Wash	\$18.00
			001-521-50-48-02	Car Wash-Taylor	\$18.00
			001-521-50-48-02	Car Wash	\$18.00
			001-521-50-48-02	Floor Liner-Cargo	\$347.41
		1181-Lincoln OCT 2020	001-524-20-31-00	Liner 2020 Escape	
			001-524-20-31-00	Office Supply	\$10.92
			001-524-20-31-00	HDMI Cables	\$17.47
			001-524-20-31-00	HDMI Cables	\$54.93
			001-524-20-31-00	USB Cable-Adapter	\$76.50
		1397-Turner OCT2020	001-521-50-48-02	Car Wash	\$12.00
		1513-Kainoa OCT 2020	001-512-50-31-00	Office Supplies	\$747.16
			001-514-23-31-02	City Hall Vacuum	\$54.65
			401-534-10-31-00	City Hall Vacuum	\$54.65
			408-535-10-31-00	City Hall Vacuum	\$54.65
			410-531-38-31-00	City Hall Vacuum	\$54.64
		1668-Finance OCT2020	001-511-60-31-01	Certificate Paper	\$9.27
			001-512-50-31-00	Hand Sanitizer	\$122.88
				Stand & Hand Sanitizer	
			001-514-20-10-02	Label Tape	\$16.81
			001-514-23-31-02	Toner	\$64.63
			001-514-23-31-02	Hand Sanitizer	\$122.88
				Stand & Hand Sanitizer	
			001-521-20-31-03	Hand Sanitizer	\$122.87
				Stand & Hand Sanitizer	
		1731-Reed OCT 2020	104-536-50-48-00	Natural Stone Fab	\$27.33
			410-531-38-31-00	Resolve	\$183.62
				Customized Pen Screen	
			412-594-38-62-01	Shelving for Public	\$832.00
		1920-Gabreluk OCT 2020	001-521-20-31-03	Works Building	
			001-521-20-31-03	Evidence Room	\$584.67
			001-521-50-42-01	Shelving	
			001-521-50-42-01	Firstnet Police	\$122.76
				Services	
		2915-Gard OCT2020	001-594-21-64-46	Dell Micro BTX	\$665.63
			001-521-20-31-01	Holster	\$134.00
			001-521-20-31-01	Beretta 9MM	\$159.30
			001-521-20-31-01	Magazine	
			001-521-20-31-01	Beretta 9MM	\$246.07
			001-521-20-31-01	Magazine	
			001-521-20-31-01	Uniform Pants-PC	\$278.68
				IMT	
			001-521-20-31-03	Printer Cartridges	\$68.74
			001-521-40-49-00	IACP Training-Gard	\$250.00
			001-521-50-48-03	Poxy-Crank Boot	\$137.70
			001-594-21-64-49	Sidearm-Beretta	\$864.00
				9MM	
		5423-Public Works OCT 2020	101-542-30-31-02	Boots-Barfield	\$100.00
			401-534-10-31-00	Meal for Waterline	\$24.79
				Kansas Repair	
			401-534-10-31-00	Dry Erase Markers-	\$29.04
				Picture Hanger	
				Strips	
			401-534-10-31-00	Battery-Wells	\$164.85
				Backup Supply	
			401-534-10-31-04	Boots-Barfield	\$100.00

Vendor	Number	Invoice	Account Number	Notes	Amount	
Keybank-MasterCard	912474	5423-Public Works OCT 2020	401-534-50-48-06	Car Wash-Public Works Trucks-Kansas ST	\$20.00	
			408-535-10-31-00	Waterline Repair Dry Erase Markers-Picture Hanger Strips	\$29.04	
			408-535-10-31-05	Boots-Barfield	\$100.00	
			410-531-38-31-00	USB Phone Charger	\$38.24	
			412-594-38-62-01	Stainless Steel Work Table	\$142.08	
			412-594-38-62-01	Shelving	\$158.47	
			412-594-38-62-01	Vertical File Stand-Blueprints	\$299.38	
			412-594-38-62-01	Fixture Displays	\$646.85	
			7765-Montgomery OCT2020	001-513-10-31-00	Seals	\$10.38
				001-513-10-31-00	Diploma Covers	\$195.41
				304-594-18-60-01	Desk Hutch	\$178.90
				304-594-31-60-01	Desk Hutch	\$26.83
				304-594-34-60-01	Desk Hutch	\$26.84
				304-594-35-60-01	Desk Hutch	\$53.67
				304-594-44-60-01	Desk Hutch	\$5.96
				304-594-76-60-01	Desk Hutch	\$5.96
			8424-Bethune OCT2020	001-513-10-31-00	Postage	\$12.80
				001-513-10-31-00	Meter File Folder Brackets	\$13.00
				001-513-10-31-00	Casters	\$20.71
				304-594-18-60-01	New City Hall Landscaping	\$548.91
				304-594-31-60-01	New City Hall Landscaping	\$82.34
				304-594-34-60-01	New City Hall Landscaping	\$82.33
				304-594-35-60-01	New City Hall Landscaping	\$164.67
				304-594-44-60-01	New City Hall Landscaping	\$18.30
				304-594-76-60-01	New City Hall Landscaping	\$18.30
			9853-Larson OCT2020	001-512-50-31-00	Office Supplies	\$10.08
				001-513-10-31-04	Office Supplies	\$47.48
				001-514-23-31-02	Wedcam	\$38.24
				001-514-23-31-02	Office Supplies	\$295.02
				001-521-20-31-03	Chairs	\$1,040.49
				001-524-20-31-00	Office Supplies	\$23.74
				001-594-21-64-46	Computers (CARES Funds)	\$12,437.35
				101-542-30-31-00	Wedcam	\$4.78
				105-576-80-31-00	Wedcam	\$4.78
				401-534-10-31-00	Wedcam	\$9.56
	408-535-10-31-00	Wedcam	\$9.56			
	410-531-38-31-00	Wedcam	\$9.56			
		Total	\$24,522.30			
Law Offices of Matthew J Rusnak	49271	316	001-512-50-49-01	Court Appointed Attorney-Nov 2020	\$2,041.67	
				Total	\$2,041.67	

Vendor	Number	Invoice	Account Number	Notes	Amount
Mitel Technologies, Inc	49272	980011976	001-594-12-41-02	Relocation of Phone System to New City Hall	\$236.80
			001-594-14-41-03	Relocation of Phone System to New City Hall	\$405.94
			001-594-21-41-03	Relocation of Phone System to New City Hall	\$1,014.85
			001-594-24-41-02	Relocation of Phone System to New City Hall	\$101.49
			001-594-76-75-01	Relocation of Phone System to New City Hall	\$101.48
			101-594-42-41-02	Relocation of Phone System to New City Hall	\$101.48
			105-594-76-41-03	Relocation of Phone System to New City Hall	\$135.32
			401-594-34-42-03	Relocation of Phone System to New City Hall	\$405.94
			408-594-35-64-55	Relocation of Phone System to New City Hall	\$473.60
			410-594-31-41-42	Relocation of Phone System to New City Hall	\$405.94
			Total	\$3,382.84	
Office of State Auditor	49273	L139184	001-575-21-40-00	Accountability Audit	\$168.00
				Total	\$168.00
Orting Basketball Booster Club	49274	2020 Cares Grant-Orting Basketball Booster Club-Resolution 2020-32	001-518-63-00-01	2020 Cares Grant-Orting Basketball Booster Club-Resolution 2020-32	\$1,344.10
				Total	\$1,344.10
Orting Dental Center	49249	2020 Cares Grant-Orting Dental Center-Resolution 2020-32	001-518-63-00-01	2020 Cares Grant-Orting Dental Center-Resolution 2020-32	\$15,000.00
				Total	\$15,000.00
Orting Valley Fire & Rescue	49275	2020-011	001-512-50-41-04	PSB-Electricity for Court July-Oct 31 2020	\$239.02
			001-521-50-41-07	PSB-Electricity for Court July-Oct 31 2020	\$2,151.13
				Total	\$2,390.15
P.c. Budget & Finance	49276	CI 294886 C-104188	001-554-30-40-00	Animal Control - Sept 2020	\$2,315.40
		CI-294810 C-404252	001-521-50-48-04	Certification of Radar & Radios	\$1,782.13
			Total	\$4,097.53	

Vendor	Number	Invoice	Account Number	Details	Amount
Parametrix	49277	22492	001-558-60-41-01	General Development- Community Baptist Church	\$340.00
			001-558-60-41-01	General Consulting- General	\$2,746.40
			001-558-60-41-01	General Development	\$2,881.25
			101-542-30-41-01	General Consulting- Streets	\$1,850.00
			101-595-10-40-01	Emergency Evac Bridge System- Project Management	\$240.00
			401-534-10-41-01	General Consulting- Water	\$1,020.00
			401-534-10-41-19	General Consulting- Telemetry O&M	\$595.00
			408-535-10-41-01	General Consulting- Sewer	\$425.00
			408-594-35-41-12	WWTP Improvements- Project Management	\$180.00
			408-594-35-63-37	Lift Station Improvements- Project Management	\$300.00
			408-594-35-63-37	Lift Station Improvements- Bidding Management	\$6,615.96
			410-531-39-41-01	General Consulting- General	\$170.00
			410-594-31-41-43	Calistoga Street W Improvements	\$9,420.00
			410-594-31-63-40	Kansas ST Outfall- Design	\$807.50
	21841		001-558-60-41-01	General Development	\$4,486.25
			001-558-60-41-01	General Consulting- General	\$5,074.00
			101-542-30-41-01	General Consulting- Streets	\$1,815.00
			101-542-30-41-15	Utility Mapping Update & Production	\$350.00
			401-534-10-41-01	General Consulting- Water	\$580.00
			401-534-10-41-19	General Consulting- Telemetry O & M	\$1,105.00
			401-534-10-41-37	General Consulting- Telemetry O & M	\$350.00
			408-535-10-41-01	General Consulting- Sewer	\$290.00
			408-535-10-41-21	General Consulting- Telemetry O & M	\$170.00
			408-535-10-41-39	General Consulting- Telemetry O & M	\$350.00
			408-594-35-41-12	WWTP Improvements- Predesign Engineering Report	\$85.00

Vendor	Number	Invoice	Account Number	Notes	Amount
Parametrix	49277	21841	408-594-35-41-12	WWTP Improvements- Project Management	\$617.50
			408-594-35-41-16	Rainier Meadows- Lift Station Rehab	\$550.00
			408-594-35-63-37	Lift Station Improvements	\$120.00
			408-594-35-63-37	Construction- Project Management Lift Station Improvements	\$8,917.50
			410-531-38-41-08	Construction- Bidding Assistance General Consulting- Telemetry O & M	\$350.00
			410-531-39-41-01	General Consulting- Storm	\$510.00
			410-594-31-41-43	Calistoga Street W Improvements-	\$77.50
			410-594-31-41-43	Calistoga Street W Improvements- Mapping & Boundary Survey	\$125.00
			410-594-31-41-43	Calistoga Street W Improvements- Project Management & QA/QC	\$1,105.00
			410-594-31-41-43	Calistoga Street W Improvements- Stormwater Report & 30% Design	\$7,670.00
			410-594-31-63-40	Kansas Street Outfall-Design	\$127.50
			410-594-31-63-40	Emergency Evac Bridge System- Grant Application	\$960.00
		21842	001-524-20-41-02	The Meadows- Construciton Services	\$23.75
			001-524-20-41-02	Belfair Estates- Construciton Services	\$3,092.50
		21843	303-595-90-40-01	Emergency Evacuation Bridge	\$143.75
		22491	410-594-31-63-24	Construction Admin Assistance	\$119.03
			410-594-31-63-24	Additional Sercices- Post High Water Evaluation	\$1,260.00
			410-594-31-63-24	Additional Services- Project Management	\$1,486.25
		22493	001-524-20-41-02	The Meadows- Design Review	\$120.00
			001-524-20-41-02	The Meadows- Construction Services	\$533.75
			001-524-20-41-02	Belfair Estates- Construction Services	\$1,092.50
		31840	410-594-31-63-24	Construction Admin Assistance-Project Mgmt	\$45.65

Vendor	Number	Invoice	Account Number	Notes	Amount
Parametrix	49277	31840	410-594-31-63-24	Construction Admin Assistance-Expenses	\$285.31
			410-594-31-63-24	Additional Services-Mitigation Plan Revisions	\$2,711.25
			410-594-31-63-24	Additional Services-Project Management	\$2,762.50
			410-594-31-63-24	Additional Services-Project Management	\$18,014.55
				Total	\$95,067.15
Pcrd (landfill)	49278	01-01663081	401-534-50-49-17	Waste Removal	\$58.09
			408-535-50-47-15	Waste Removal	\$58.09
				Total	\$116.18
Pease Construction INC	49279	Pay Request #14 -New City Hall Facilities-60	304-594-18-60-01	Pay Request #14 - New City Hall Facilities-60	\$64,376.77
			304-594-31-60-01	Pay Request #14 - New City Hall Facilities-60	\$9,656.52
			304-594-34-60-01	Pay Request #14 - New City Hall Facilities-60	\$9,656.52
			304-594-35-60-01	Pay Request #14 - New City Hall Facilities-60	\$19,313.03
			304-594-44-60-01	Pay Request #14 - New City Hall Facilities-60	\$2,145.89
			304-594-76-60-01	Pay Request #14 - New City Hall Facilities-60	\$2,145.89
				Total	\$107,294.62
Pole Tech Flagpole Manufacturer	49280	7020454	412-594-38-62-01	Flag Pole for Public Works Building	\$1,630.00
				Total	\$1,630.00
PRO-VAC	49281	89035	401-534-50-48-02	703 Kansas Water Repair-Truck	\$786.96
				Total	\$786.96
Puget Sound Energy	49282	200001247663-NOV2020	408-535-50-47-07	VC Lift Station	\$214.76
		200001247812-NOV2020	101-542-63-47-03	SR162 Signal	\$28.46
		200001248190-NOV2020	105-576-80-47-01	North Park	\$11.00
		200001248372-NOV2020	401-534-50-47-08	Well 3	\$355.82
		200001248539-NOV2020	001-525-50-47-01	Lahar Siren	\$11.00
		200001532189-NOV2020	105-576-80-47-02	Bell Tower	\$286.61
			105-576-80-47-03	Main Park	\$122.83
		200002708986-NOV2020	408-535-50-47-05	VG Lift Station	\$284.40
		200010396543-NOV2020	105-576-80-47-01	North Park	\$103.58
		200010396733-NOV2020	401-534-50-47-11	Well 4 Pump Station	\$3,188.88
		200014994137-NOV2020	408-535-50-47-05	VC Lift Station	\$129.67
		200019613294-NOV2020	104-536-50-47-02	Cemetery Shop	\$47.03
		200019646914-NOV2020	101-542-63-47-03	Street Lights	\$47.42

Vendor	Number	Invoice	Account Number	Notes	Amount
Puget Sound Energy	49282	200021421298-NOV2020	408-535-50-47-06	Rainer Meadows	\$35.00
		200022934653-NOV2020	001-575-50-47-01	MPC	\$647.83
		200024404523-NOV2020	408-535-50-47-02	Lift Station	\$119.75
		220011476581-NOV2020	408-535-50-47-03	High Cedars Lift Station	\$116.67
		220015220399-NOV2020	101-542-63-47-03	Street Lights	\$74.28
		220020534461-NOV2020	101-542-63-47-01	Public Work Shop	\$185.02
			401-534-50-47-01	Public Work Shop	\$185.01
			408-535-50-47-01	Public Work Shop	\$185.02
		300000002406-NOV2020	101-542-63-47-03	Street Lights	\$4,901.81
		Total	\$11,281.85		
Reed, Greg	49283	NOV2020-401	412-594-38-62-01	TV & Mount	\$459.04
				Total	\$459.04
Rogers Machinery Co, Inc	49284	1243378	408-535-50-48-04	Repair on Blower Defuser	\$495.25
				Total	\$495.25
Rose, Ashleigh	49246	Mileage OCT 16-31 2020	001-521-40-49-00	Mileage OCT 16-31 2020	\$56.93
		Milegae NOV 1-15 2020	001-521-40-49-00	Milegae NOV 1-15 2020	\$51.75
		Total		\$108.68	
Schwab-Ellison Co, Inc	49285	40300458933	410-531-38-48-01	Flat Repair	\$21.98
				Total	\$21.98
SCORE	49286	4885	001-523-60-41-00	Jail Fees-Oct 2020	\$368.00
				Total	\$368.00
SEP Consulting	49247	Orting 2020-1	001-521-40-49-00	Evidence Assessment	\$1,488.68
				Total	\$1,488.68
Spectral Laboratories	49287	153927	408-535-10-41-03	Lab Testing	\$252.00
				Total	\$252.00
Sumner Lawn'n Saw	49288	63207	401-534-50-48-04	General Service-FA1075	\$829.25
				Total	\$829.25
Sunnyside, City Of	49289	10233	001-523-60-41-00	Jail Fees-Sept 2020	\$1,410.00
				Total	\$1,410.00
Systems For Public Safety Inc	49290	038223-03224-038309	001-594-21-64-01	2-2020-Ford Fusion - 1 2020 Ford Escape	\$12,949.58
			001-594-24-64-06	2-2020-Ford Fusion - 1 2020 Ford Escape	\$4,591.64
			401-594-34-63-61	2-2020-Ford Fusion - 1 2020 Ford Escape	\$1,071.38

Vendor	Number	Invoice	Account Number	Notes	Amount
Systems For Public Safety Inc	49290	038223-03224-038309	408-594-35-63-43	2-2020-Ford Fusion - 1 2020 Ford Escape	\$1,071.38
			410-594-31-63-49	2-2020-Ford Fusion - 1 2020 Ford Escape	\$1,071.38
				Total	\$20,755.36
Terex Services	49291	7073560	410-531-38-48-01	Replace Leaking Front Main -FA1033	\$2,267.16
				Total	\$2,267.16
The Rusty Rack Guy's	49244	46964	412-594-38-62-01	Shelving Parts for City Shop	\$10,904.25
				Total	\$10,904.25
UniFirst Corporation	49292	330 1685500	408-535-10-31-03	Uniform Item-Protective Services	\$186.37
		330 1687589	408-535-10-31-03	Uniform Item-Protective Services	\$186.37
				Total	\$372.74
United Laboratories	49293	INV302353	101-542-30-31-00	Vandalism Mark Remover	\$466.92
			401-534-10-31-00	Vandalism Mark Remover	\$351.84
				Total	\$818.76
Usabluebook	49294	412572	408-535-50-35-00	Skimming Net-Pole	\$264.40
				Total	\$264.40
Washington State Criminal Justice Training Comm	49295	201134584	001-521-40-49-00	BLEA Class 810-Rose	\$3,347.00
		201134604	001-521-40-49-00	BLEA Class 811-Hubbard	\$3,347.00
				Total	\$6,694.00
Water Management Lab Inc.	49296	189652	401-534-10-41-03	Lab Testing	\$161.00
				Total	\$161.00
Whitworth Pest Solutions, INC	49297	528897	001-575-50-48-00	Pest Control - MPC	\$191.33
		529551	001-514-21-48-01	Pest Control - City Hall	\$125.70
				Total	\$317.03
Zumar Industries Inc	49298	34378	101-542-64-49-00	Dead End Street Sign	\$170.09
				Total	\$170.09
				Grand Total	\$354,258.52



**City Of Orting
Council Agenda Summary Sheet**

Subject: Resolution No 2020-40, Authorizing the Mayor or Designee to Execute an Interagency Agreement for Emergency Management Services	Agenda Item #	Committee	Study Session	Council
	AB20-92	Public Safety	11.18.20	11.24.20
	Department: Police Chief / City Administrator			
	Date Submitted: 11/11/20			
Cost of Item:		\$10,129 (per year)		
Amount Budgeted:		\$15,000		
Unexpended Balance:				
Bars #:		N/A		
Timeline:				
Submitted By:		Police Chief / City Administrator		
Fiscal Note:				
Attachments: Resolution No. 2020-42, draft Interlocal Agreement, Salary / Benefit Distribution				
SUMMARY STATEMENT: The municipalities of Puyallup, Bonney Lake, Buckley, Carbonado, Orting, South Prairie, Sumner, and Wilkeson, desire to cooperate and coordinate emergency management functions and activities to efficiently and effectively serve the residents of each municipality. The parties have negotiated an Interagency Agreement for this endeavor, by which the City of Puyallup’s emergency management personnel shall develop and update the parties Comprehensive Emergency Management Plans, and coordinate operational planning and trainings for the parties. Under the agreement, the City would pay an allocated amount for the personnel costs to Puyallup for the assigned emergency management personnel and related services. The annual cost assigned to Orting (based on population) is \$10,129, per year.				
RECOMMENDED ACTION: MOTION: <i>To Adopt Resolution No. 2020-42, authorizing the Mayor to execute an Interlocal Agreement for Emergency Management Services.</i>				

**CITY OF ORTING
WASHINGTON**

RESOLUTION NO. 2020-42

**A RESOLUTION OF THE CITY OF ORTING,
WASHINGTON, AUTHORIZING THE MAYOR OR
DESIGNEE TO EXECUTE AN INTERLOCAL
AGREEMENT FOR EMERGENCY MANAGEMENT
SERVICES.**

WHEREAS, the municipalities of Puyallup, Bonney Lake, Buckley, Carbonado, Orting, South Prairie, Sumner, and Wilkeson, desire to cooperate and coordinate emergency management functions and activities to efficiently and effectively serve the residents of each municipality; and

WHEREAS, the parties have negotiated an Interagency Agreement for this endeavor, by which the City of Puyallup's emergency management personnel shall develop and update the parties Comprehensive Emergency Management Plans, and coordinate operational planning and trainings for the parties; and

WHEREAS, the City Council finds that entering into this Interagency Agreement is in the best interests of the City and its residents, and desires to authorize the Mayor or designee to enter into this agreement pursuant to the Interlocal Cooperation Act, RCW 39.34.080; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING, WASHINGTON, DOES RESOLVE AS FOLLOWS:

Section 1. Approval and Authorization. The City Council authorizes the Mayor or designee to execute the Interlocal Agreement between the Cities of Bonney Lake, Buckley, Orting, Sumner, and Puyallup, and the Towns of Carbonado, South Prairie and Wilkeson, in a form acceptable to the City Attorney.

Section 2. Corrections. The City Clerk is authorized to make necessary clerical corrections to this resolution including, but not limited to, the correction of scrivener's errors, references, resolution numbering, section/subsection numbers and any references thereto.

Section 3. Effective Date. This Resolution shall take effect and be in full force upon passage and signatures hereon.

PASSED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE 24TH DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk

Approved as to form:

Charlotte A. Archer
Inslee Best
City Attorney

2021 Interlocal Agreement Funded Position

City/Town	OFM Pop. Estimates for		HR Cost New Emp.	Share of HR Cost New Emp.	Share of \$25K EMPG Grant	Annual Cost of ILA Position
	2020 Population	% of Total Pop. w/o Puyallup				
Bonney Lake	21,390	45.37%	\$80,300	\$36,433	\$11,343	\$25,090
Buckley	5,080	10.78%	\$80,300	\$8,653	\$2,694	\$5,959
Carbonado	685	1.45%	\$80,300	\$1,167	\$363	\$803
Orting	8,635	18.32%	\$80,300	\$14,708	\$4,579	\$10,129
Puyallup	42,700					
South Prairie	500	1.06%	\$80,300	\$852	\$265	\$586
Sumner	10,360	21.97%	\$80,300	\$17,646	\$5,494	\$12,152
Wilkeson	495	1.05%	\$80,300	\$843	\$262	\$581
Total	89,845					
Total w/o Puyallup	47,145	100.00%		\$80,300	\$25,000	\$55,300



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Special Meeting Date
Subject: City of Orting/AWC Legislative Priorities for 2021	AB20-93	CGA		
		11.10.20	11.18.20	11.24.20
	Department: Administration			
	Date Submitted:			
	Cost of Item: \$			
Amount Budgeted:		\$		
Unexpended Balance:		\$		
Bars #:				
Timeline:				
Submitted By:		Scott Larson		
Fiscal Note:				
Attachments: Recommended Legislative priorities				
SUMMARY STATEMENT:				
<p>The City Council typically approves Council legislative priorities each year before the legislative session begins in January. The Current Legislative priorities were drawn up by the City Administrator and presented to the Community and Government Affairs Committee. AWC's legislative priorities were taken into consideration.</p>				
<p>RECOMMENDED ACTION: <u>MOTION:</u> <i>To adopt the Orting City Council Legislative Priorities for 2021 as prepared.</i></p>				

City of Orting Legislative Priorities January 1, 2021

1. **Transportation priorities:** As the population expands further into East and South Pierce County transportation funding for this region should be a top legislative priority as it will allow increased economic and tourist activity. Specifically, the City supports Hwy 410/Hwy 162 interchange and corridor improvements that reduce the time it takes citizens to commute to work. The City is also seeking funding of our pedestrian bridge over Hwy 162 to reduce the slowdowns caused by crosswalks in the morning and evening.
2. **Planning and development for disaster preparedness.** Orting as well as all of Western Washington is at risk for hazards including volcanic eruption, lahar flows, and earthquakes. The Orting Pedestrian Evacuation Bridge system, infrastructure protection, improved evacuation plans, and resiliency to disasters require state and federal financial support. Analysis indicates that during school time, some children will not make a walk to high ground in sufficient time to escape a volcanic lahar from Mt. Rainier. City infrastructure is also vulnerable earthquakes especially subduction zone earthquake.
3. **Economic Development:** Lobby State Legislators to support economic development tools to encourage job creation and economic growth in East Pierce County and specifically Orting. Washington's cities outside of King County need additional economic development tools that assist in maintaining, expanding, and modernizing local infrastructure to help spur local private sector investment. Additionally, the Legislature should support placing an additional commercial airport in Pierce County near I-5.

Broader AWC Supported items that benefit the City of Orting

4. **Public Records requests:** Establish new statewide policies and procedures for Public Records Requests that set common sense limits on requests and penalties and provides remuneration to the City. If a request has a commercial purpose, whether private or non-profit, the requestor should be required to pay the city's costs for producing the records.
5. **CJTC:** Provide additional resources to allow new hires to quickly matriculate into a Basic Law Enforcement Academy class.
6. **Public Safety Funding:** Many small cities and regional fire districts struggle to hire qualified law enforcement and firefighter candidates due to high wages in the Seattle/Tacoma/Bellevue area. The state should support equalization funding for smaller cities to be able to hire and retain qualified candidates. The cost of body cams and other Public Safety accountability tools also disproportionately impact small cities. Equalization funding should also support our ability to implement many of the tools that citizens are starting to demand as part of their public safety programs.



2020

Legislative Priorities



Adopt a comprehensive set of transportation policies that provide robust new resources and local options

Cities are responsible for a significant share of the statewide transportation system and fund most of that responsibility out of local tax dollars. Cities struggle to meet the \$1 billion gap in transportation maintenance and preservation costs. To meet these ever-expanding needs, the state must maintain existing and create new transportation-specific revenue options for cities. The state must also develop a statewide transportation package that includes increased resources for city transportation needs.



Fully fund the Public Works Trust Fund (P WTF)

The Public Works Trust Fund is a crucial funding partner in our efforts to provide the necessary infrastructure for our communities. We seek full funding for the program and ask the state to protect the current stream of loan repayments and uphold the 2% state share of REET dedicated to the account. Additionally, we look to strengthen the program by ending the ongoing revenue diversions as soon as possible.



Create a tax increment financing (TIF) option for cities

Washington's cities need economic development tools that help maintain, expand, and modernize local infrastructure to spur local private sector investment. By investing in TIF, the Legislature can partner with cities to advance our shared goals of building a robust and diverse economy for communities around the state. For maximum impact, cities need access to both property-tax and sales-tax based TIF programs.



Preserve city fiscal health with secure funding sources

Cities need revenue authority and flexibility to keep up with community growth and increasing service needs. State investment in shared revenue distributions is instrumental to support essential city programs and services. Responsive revenue options allow local elected officials to make the best community-based decisions about how to keep up with growth and the increasing costs of providing basic services like public safety and transportation. Arbitrary restrictions on local revenue decisions unnecessarily hurt residents by limiting critical local services.



Support statewide medication assisted treatment (MAT) services in city and regional jails by providing local flexibility

Cities are experiencing the consequences of an overwhelmed state behavioral health system. While the state has made investments to address some of the challenges, more help is needed. Local jails have increasingly been called to action to address opioid use disorder and provide treatment. However, the costs are overwhelming city criminal justice budgets across the state. City jails need additional state support to access MAT services to save lives and reduce recidivism.



Advance a watershed-based strategic plan to address local fish-blocking culverts along with state culverts

Cities need the state to adopt a broader vision to create a comprehensive response that funds local barrier corrections and provides actual habitat access for fish. Cities recognize that the state is facing a \$4 billion price tag to fix fish-blocking culverts that the U.S. Supreme Court has found to impinge on tribal treaty rights to fish harvests. Cities also own 1,300 barriers in the same streams, and similarly have no identified revenues to pay for needed corrections. A statewide approach is the only way to achieve meaningful salmon and orca recovery.



Continue to pursue new resources and policies to increase affordable housing both at the state and local level

Our communities continue to face a housing crisis and need state support to incentivize housing options. The Legislature can help by proactively supporting cities' voluntary adoption of more effective ADU ordinances and providing additional councilmanic tax authority for housing. Cities need enhanced tools to attract and preserve multifamily development, like changing the multifamily tax exemption program to open it to smaller cities, extending the tax exemption for continued affordability guarantees, and expanding the ability to preserve existing affordable housing.

Contact:

Candice Bock

Government Relations Director
candiceb@awcnet.org • 360.753.4137





**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Dates
Subject: Resolution No. 2020-40, Surplus of Firearms	AB20-94	Public Safety	11.18.20	11.24.20
	Department:	Police		
	Date Submitted:	November 12, 2020		
Cost of Item:	_ \$			
Amount Budgeted:	_ \$			
Unexpended Balance:	_ \$			
Bars #:				
Timeline:				
Submitted By:	Chief Chris Gard			
Fiscal Note:				
Attachments: Resolution No. 2020--40				
SUMMARY STATEMENT:				
<p>In the performance of our official duties, the Orting Police Department acquired firearms, either through seizure, forfeiture or court order. All firearms included in this request have been cleared for disposal through our policy-driven process. By advice of our evidence consultant, and supported by RCW, the Orting Police Department would like to sell the firearms to a licensed dealer, either for payment or store credit for future purchases. Per City policy the Orting Police Department will contact three (3) licensed dealers, and proceed with the highest bidder.</p>				
<p>RECOMMENDED ACTION: MOTION: To Adopt Resolution No. 2020-40, A Resolution Of The City Of Orting, Washington, Declaring Attached List Of Firearms Surplus To The Needs Of The Police Department And Authorizing The City Administrator To Dispose Of It In A Commercially Reasonable Manner.</p>				

**CITY OF ORTING
WASHINGTON**

RESOLUTION NO. 2020-40

**A RESOLUTION OF THE CITY OF ORTING,
WASHINGTON, DECLARING ATTACHED LIST OF
FIREARMS SURPLUS TO THE NEEDS OF THE
POLICE DEPARTMENT AND AUTHORIZING THE
CITY ADMINISTRATOR TO DISPOSE OF IT IN A
COMMERCIALY REASONABLE MANNER**

WHEREAS, the City of Orting, owns used firearms as further described on **Exhibit A** and **Exhibit B** attached hereto (the "Property"); and

WHEREAS, the City is authorized under RCW 9.41.098 and RCW 35A.11.010 to dispose of surplus firearms for the common benefit; and

WHEREAS, City staff have advised and recommended to the City Council that the City does not and will not need the Property for City purposes in the immediate or foreseeable future, the Property is surplus to the needs of the City and Police Department, and that it is in the public interest to dispose of the Property in accordance with RCW 9.41.098 and RCW 35A.11.010;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING,
WASHINGTON, DOES RESOLVE AS FOLLOWS:**

Section 1. Recitals. The recitals set forth above are incorporated herein in full by this reference.

Section 2. Surplus Property Declaration. The Property as described on **Exhibit A** and **Exhibit B** attached hereto and incorporated herein by this reference is not and will not be needed for City purposes and is declared surplus.

Section 3. Authorization to Dispose of Surplus Property. The City Administrator is authorized and directed to remove the Property from the City's list of fixed assets, and to dispose of such Property in a manner compliant with RCW 9.41.098 and RCW 35A.11.010.

Section 4. Effective Date. This resolution shall be effective upon passage.

**PASSED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF
ON THE 24TH, DAY OF NOVEMBER, 2020.**

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk

Approved as to form:

Charlotte A. Archer
Inslee Best
City Attorney

Exhibit A

RIFLES FOR DISPOSAL

CASE N/R	NR	S/N	MAKE	CAL	MODEL
04-1017		UNK	WIN	.22	270
04-0322		UNK	SAVAGE	16G	SINGLE SHOT
05-2195		23324734	RUGER	.22	10-22
07-230		UNK	REM	.22	28-May
10-970		UNK	JC HIGGINS	12G	20
04-1490		424326S	WIN	30-30	94
04-1560		604782B	WIN	.22	64
17-0636		O15X10701	CROSMAN	.22PEL	CSNP25X
1906901415		249492	WIN	12G	1912
14-524		UNK	HAWTHORNE	.22	CENTURY
04-1560		C30222	REM	.32	UNK
06-1780		T00785M	REM	12G	870
18-31201758		L616435	MOSS	12G	500
16-658		RS47195M	REM	12G	870
17-746		RS87673F	REM	12G	870
05-675		19379455	GLENFIELD	.22	60
04-1007		A188389	BAY STATE	16G	UNK
13-489		FH197686	DPM5	.223	AR-15
16-707		UNK	SAVAGE	.22	SPORTER
16-707		P821374	SAVAGE	20G	94
19-17201166		16GO3282	LITTLE BADGER	.22	UNK
13-0313		P340648	SEARS-ROEBUCK	12G	200
14-099		78548790	RUGER	7MM	M77
17-356		10278426	RUGER	.44MAG	UNK
14-099		3167028	MARLIN	.22	60

1831201758

L616435

MOSS

500A

12 GAUGE

Exhibit B
Handguns in for disposal

CASE N/R	NR	S/N	MAKE	CAL	MODEL
93-663	1	N/A	PTS	.22	7866
93-1154	1	429272	JENNINGS	.22	J22
95-1526	1	LJ37955	TAURUS	.22	REVOLVER
96-21	A2	N/A	SAFARI	.45	UNK
97-138	1	1112862	REM	.22	580
99-369	1	4121595	PHOENIX ARMS	.22	HP22
99-1293	1	H9387	N/A	.38	REVOLVER
99-1293	4	N/A	N/A	.38	REVOLVER
00-823	1	AKM723US	UNK	.45	21
00-677	1	1872960	INTER ARMS	.380	STAR
01-501	1	CCV3521	N/A	.357	REVOLVER
01-1337	1	ZH6195	UNK	.38	UNK
01-1533	1	AA146324	ROSSI	.38	REVOLVER
03-1823	1	H45311	AMT	.22	AUTOMAG II
04-349	1	214504	H.S.	.22	REVOLVER
04-1187	1	D1383	H/R ARMS	.22	922
04-1272	1	103282	BAUER	.25	AUTO
05-1602	1	KH479162	TAURUS	.357	REVOLVER
06-1051	1	2125649	INTER ARMS	9MM	STAR
06-1238	1	AT3550	UNK	9MM	AT3550
06-1254	1	140902	ROSSI	.38	REVOLVER
06-2084	1	VG24879	TAURUS	.38	REVOLVER
06-2581	3	178	UNK	.44	REVOLVER
07-51	5	36244	IMPERIAL	.22	IMP
07-51	4	138758	S&W	.38	REVOLVER
07-445	1	889938	RAVEN ARMS	.25	MP25
07-1016	1	16058420	RUGER	.357	REVOLVER
07-1016	2	J70415	COLT	.357	MK III
08-906	1	US704378	SPRINGFLD	.45	XP
09-937	1	21792664	S&W	.44	REVOLVER
12-133	1	W15532	H/R ARMS	.22	SPORTSMAN
13-242	1	R00226	AMT	.380	BACKUP II
13-752	1	J041167	BIAKAL	9MM	MP5388
15-206	1	AD10162	SIG	.45	P229
17-218	1	TCZ5106	UNK	9MM	6906
1814001572	JS-1	2085776	RUGER	UNK	UNK
UNK	1	N/A	DERRINGER	UNK	BLK POWDER
13-489	1	FH197686	DPMS	UNK	UPPER RECEIVER
10-0062	1	AA289980	ROSSI	UNK	REVOLVER
09-297	1	HVH30	KALTEC	.380	UNK
14-118	1	168325	CHARTER ARMS	.38	UNK

100134	1	VCC7346	S&W	9MM	6904
1818600979	1	2W5NW53835	BROWNING ARMS	UNK	UNK
18-51	1	XD183795	SPRINGFLD	9MM	UNK
08-1041	1	118-018069	H&K	9MM	P2000
11-0611	1	F52328	PIETRO BERETTA	.380	UNK
11-231	1	ZR969US	GLOCK	9MM	17
13-0053	1	599855	BRYCO	.380	UNK
11-0079	1	PD394377	TAURUS	.357	UNK
15-00354	1	255849	JENNINGS	.22	.22LR
11-236	1	PBD7438	S&W	.4	40E
1916701464	1	27B385220	Sig Sauer	.38	P238
170676	1	47c013490	Sig Sauer	9mm	P226
16-996	1	MZP920	GLOCK	40 cal	
16-996	1	BP596885	Taurus	.44	revolver
09-1199	1	GMY146	GLOCK	40 cal	23
2023001014	1	1174001	Star	9mm	SA
2023001014	1	11907	Rigarmi/Brescia	22 LR	
2023001014	1	1360383	Raven Arms	.25	MP-25
2023001014	1	603630	Raven Arms	.25	MP-25



**City Of Orting
Council Agenda Bill Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Dates
Subject: Village Green Outfall Final Design and Permitting	AB20-98			
		11/4/20	11/18/20	11.24.20
	Department:	Public Works		
	Date Submitted:	11.12.20		
Cost of Item:	<u>\$ 76,164.88</u>			
Amount Budgeted:	<u>\$50,000</u>			
Unexpended Balance:	<u>\$ -26,164.88</u>			
Bars #:	410-594-31-41-30			
Timeline:				
Submitted By:	JC Hungerford, PE			
Fiscal Note: This is funded by a \$215,000 FEMA Grant for Phase II (Final Design, Permitting and Construction). To date, \$0 has been allocated to this project, from the Phase II grant.				
Attachments: Scope and Budget from Parametrix for professional services				
SUMMARY STATEMENT: The City of Orting (City) owns an existing outfall through the Puyallup River levee along the right bank. The existing outfall is no longer able to drain when flows in the Puyallup River are at approximately 9,500 cfs. Replacement of the outfall is needed to prevent on-going mobilization of temporary pumping equipment or construction of a permanent stormwater pump station. The City has been awarded grant funding by the State of Washington through the Hazard Mitigation Grant Program (HMGP), Project DR-4188. Grant funding is for Phase II of the project, which includes final design, permitting and construction.				
RECOMMENDED ACTION: MOTION: To Approve The Attached Scope And Budget For Professional Services As Described In The Attached Puyallup River Outfall Scope Of Work For Final Design And Permitting In The Amount Of \$76,164.88.				

SCOPE OF WORK

City of Orting Village Green Outfall Final Design and Permitting HMGP 4188-2-R

The City of Orting (City) owns an existing outfall through the Puyallup River levee along the right bank. The existing outfall is no longer able to drain when flows in the Puyallup River are at approximately 9,500 cubic feet per second (cfs). Replacement of the outfall is needed to prevent on-going mobilization of temporary pumping equipment or construction of a permanent stormwater pump station. The City has been awarded grant funding by the Federal Emergency Management Agency (FEMA) through the State of Washington through the Hazard Mitigation Grant Program (HMGP), Project DR-418-2-R for two phases (Project). Grant funding for Phase 1 was for preliminary engineering and federal environmental permitting. Phase 1 has been completed.

Grant funding for Phase II is for final design and final permitting and preparation of bid-ready plans and specifications. The grant funding notification and final design and permitting requirements are included in the FEMA notification letter dated September 29, 2020 (FEMA Notification Letter). This scope of work is for design services associated with Phase II of the grant based on the FEMA Notification Letter. The design will be based on two 42-inch-diameter outfall pipes with backflow prevention devices, two inlet structures, and two manholes installed in the existing levee to house the backflow prevention devices.

Surveying was completed during the Phase 1 design. However, some additional field survey may be needed. Additional field survey will be completed upon an approved scope amendment.

Hazardous material testing, if needed, will be completed upon an approved scope amendment.

Bidding and construction services will be provided under a separate scope of work.

TASK 1 – PROJECT MANAGEMENT

Approach

Prepare a Project Management Plan (PMP) for use by the Project team in accordance with Parametrix standards.

Prepare monthly progress reports to accompany monthly invoices to provide Project updates to the City and to identify issues needing resolution.

Perform internal quality control/quality assurance (QC/QA) of the following deliverables:

- Draft and Final Site Assessment Technical Memorandum.
- Draft and Final Potential Climate Change Assessment Technical Memorandum.
- Draft and Final Critical Areas Report with Conceptual Planting Plan.
- Draft and Final Planting Plan (to be included as a sheet with final design).

SCOPE OF WORK (continued)

- Draft and Final SEPA checklist for City approval.
- Draft and Final Hydraulic Project Approval (HPA) Permit Application.
- Draft and Final Shoreline Substantial Development Permits for City and Pierce County (County).
- Approximate 60% completion level submittal, including plans, special provisions outline, and opinion of probable construction cost.
- Approximate 90% completion level submittal, including plans, specifications, opinion of probable construction cost, and Preliminary Draft Post-Construction Stormwater Management (PCSM) Plan.
- Final submittal, including plans, specifications, opinion of probable construction cost, and Final Draft PCSM) Plan.
- Up to 12 Project meetings with the City.
- Up to 12 internal Parametrix team coordination meetings.
- Prepare up to four quarterly progress reports on a form provided by the Washington State Emergency Management Division for the Hazard Mitigation Assistance Program.

Project milestones are summarized as follows. Dates are subject to change based on timeliness of information requested from sources outside of Parametrix:

• Notice to proceed:	December 1, 2020
• Prepare PMP:	December 15, 2020
• Submit Final SEPA checklist to City (or County):	January 15, 2021
• Draft Site Assessment Technical Memorandum:	February 1, 2021
• City review:	February 1 – 15, 2021
• SEPA determination issued by City (or County):	March 15, 2021
• Submit HPA to Washington Department of Fish and Wildlife (WDFW)	March 16, 2021
• Final Site Assessment Technical Memorandum:	March 15, 2021
• Submit Shorelines Permit Applications to City and County:	January 15, 2021
• Draft Potential Climate Change Assessment Technical Memorandum:	February 1, 2021
• City review:	February 1 – 15, 2021
• Final Potential Climate Change Assessment Technical Memorandum:	March 15, 2021
• WDFW HPA approval:	April 5, 2021
• City and County Shoreline Permits approvals:	May 15, 2021
• U.S. Army Corps of Engineers (Corps) and Washington State Department of Ecology (Ecology) Issuance of Nationwide Permit (NWP) (Application already submitted)	September 1, 2021
• Approximate 60% completion level submittal:	July 1, 2021
• City review:	July 1 – 15, 2021
• Approximate 90% completion level submittal:	September 15, 2021
• City review:	September 15 – 30, 2021
• Final submittal:	November 1, 2021

Assumptions

Services will begin December 1, 2020, and be completed on November 11, 2021; the completion date for the HMGP Project with the 1-year extension.

Quality control documents will be retained by Parametrix.

Meetings will be via Microsoft Teams, Zoom, GoToMeeting, WebEx, or other internet based on-line meeting tool.

Deliverables

- Monthly progress reports with monthly invoice.

TASK 3 – SITE ASSESSMENT

Approach

Parametrix will conduct an environmental site assessment for the Project and/or Project corridor. The purpose of the environmental site assessment is to evaluate the Project area for the presence or likely presence of hazardous materials or other contamination that may be impacted by Project activities. The site assessment will take the form of a Hazardous Materials Corridor Study (HMCS) and will be conducted to generally follow ASTM guidelines for a Phase I Environmental Site Assessment (ESA) (i.e., ASTM 1527-13). Tasks to be completed include:

- A search and review of readily available federal and state environmental databases will be conducted to identify sites that could potentially impact the Project and/or be impacted by Project activities. The minimum search radius recommended by ASTM 1527-13 for Phase I ESAs will be utilized.
- A review of supplemental files from Ecology will be conducted for sites identified near the Project and considered to be high risk for impacting Project construction. As appropriate, Parametrix will use Ecology file information to delineate contaminated areas within or near the Project area and identify if that information is sufficient to develop construction plans and specifications without additional sampling.
- Parametrix will conduct historical research to identify past uses of the Project area and adjacent properties, using at least two of the following resources:
 - Sanborn Fire Insurance Maps.
 - Aerial Photographs.
 - Reverse City Directories.
 - Historic property ownership/occupancy records or building permits.
- A site reconnaissance will be conducted to identify potential sources of contamination that could impact construction and/or result in impacting or acquiring contaminated property. In addition, Parametrix will conduct interviews with knowledgeable personnel to assess the past and current uses of the Project area and potential environmental concerns. Interviews may be with site owners, operators, occupants, or governmental agencies as deemed necessary and available.

Assumptions

For budget estimating purposes, it is assumed that there will be no soil or water sampling or testing. However, the need for sampling will be determined after data is obtained and reviewed.

Deliverables

- Draft Site Assessment Technical Memorandum.
- Final Site Assessment Technical Memorandum.

TASK 4 – FINAL DESIGN

Approach

Prepare a technical memorandum summarizing potential functional changes to the outfall associated with potential climate change. Potential functional impacts will review changes in floodplain elevation, changes in sea level, and changes in precipitation. Although the inlet structure for the outfall has been designed based on maintaining a specific water elevation in the wetland and is constrained by the elevation of Golf Course Road, precipitation changes may impact flow rates from areas tributary to the wetland, which could increase the flow rate through the pipe and/or the headwater elevation. The following will be reviewed for potential climate change. The review will be summarized in a Potential Climate Change Assessment Technical Memorandum.

- Puyallup River floodplain elevation: Puyallup River Basin Flood Risk Management General Investigation; United States Army Corps of Engineers and Pierce County; March 2016.
- Sea level change:
 - > <https://coast.noaa.gov/floodexposure/#-10575352,4439107,5z>
- Precipitation trend changes as a metric for potential change in outfall flow rate will be based on the following websites:
 - > <https://www.ncdc.noaa.gov/temp-and-precip/us-trends/prcp/win>
 - > <https://www.climate.gov/maps-data/datasets>

Prepare final calculations for outfall pipes. The calculations will be included in the Climate Change Assessment Technical Memorandum.

Identify the anticipated maximum water surface elevation and flow rate that could be encountered during the in-water work window of July 15 – August 31. The highest monthly mean flow rate for July or August for U.S. Geological Survey (USGS) Gage 12093500 for the Puyallup River near Orting will be input into the HEC-RAS model for plan “*.p30” identified during the Phase 1 design. The water surface elevation at the Project site, near River Station (RS) 19.676, will be interpolated based on the elevations at RS 16.659 and RS 19.930 for the identified flow rate.

Prepare temporary erosion/sediment control (TESC) plans and details. There will be up to one TESC plan sheet and up to one TESC detail sheet. TESC best management practices (BMPs) will be based on the permitting requirements identified in the FEMA Notification Letter.

Prepare site restoration plans and details. There will be up to one site restoration plan sheet and up to one site restoration detail sheet.

Prepare bid-ready plans and specifications for the final design in accordance with the HMGP Phase II authorization letter dated September 29, 2020.

SCOPE OF WORK (continued)

The special provisions will require that the contractor identify temporary staging, storage, and stockpile areas and include in the contractor-prepared Stormwater Pollution Prevention Plan (SWPPP). If the Project area and temporary staging, storage and stockpile areas are 1 acre or greater, then the contractor will be required to obtain coverage under the Construction General Stormwater Permit.

Submit plans and opinion of probable construction cost to the City for review at following approximate completion levels: 60%, 90%, and Final.

Submit an outline for the special provisions at the approximate 60% completion level.

Submit a full set of specifications at the approximate 90% submittal and at the final submittal.

Submit the Preliminary Draft PCSM Plan at the approximate 90% completion level and the Final Draft PCSM Plan at the final submittal.

Assumptions

The PCSM Plan will be finalized under a separate scope of work in the future after construction is completed.

Future pumping of stormwater from the wetland, if required based on changes in precipitation, will be addressed in the future. Portable pumping equipment would likely be used if required for future pumping.

The Project will disturb less than 1 acre. Coverage under the Construction Stormwater General Permit is not required. A TESC Plan Narrative or SWPPP will not be required.

TESC BMPs will be required for on-land work above and landward of the Ordinary High Water (OHWM) and for work below the OHWM.

The plan set will include up to nine sheets, including:

- Cover.
- Abbreviations, symbols, and legend.
- Survey.
- Combined plan and profile.
- Outfall details.
- TESC plan.
- TESC detail.
- Site restoration plan.
- Site restoration detail.

Deliverables

The approximate 60% completion level submittal will include a PDF of half-size plans (11-inch by 17-inch), the special provisions outline in Microsoft Word, and a PDF of the opinion of probable construction cost.

SCOPE OF WORK (continued)

The approximate 90% completion level submittal will include a PDF of the half-size plans, the specifications in Microsoft Word, a PDF of the opinion of probable construction cost and the preliminary draft PCSM Plan in Microsoft Word.

The final submittal will include:

- One PDF, one original full-size plot and one original half-size plot of signed and sealed final plans.
- One PDF and one original signed and sealed set of final specifications.
- One PDF of the final opinion of probable construction cost.
- Final draft PCSM Plan in Microsoft Word.
- Draft Potential Climate Change Assessment Technical Memorandum.
- Final Potential Climate Change Assessment Technical Memorandum.

TASK 5 – PERMITTING

Approach

Complete remaining permitting tasks with the Corps and Ecology for a NWP for work below the OHWM of the Puyallup River, an HPA from WDFW, critical areas approval from the City and County, shoreline permits from the City and County and SEPA approval from the City or County.

Task 5.1 – Corps and Ecology Permitting for Nationwide Permit (NWP)

A Joint Aquatic Resource Permit Application (JARPA) was submitted on April 21, 2020. The JARPA included a Biological Assessment (BA) for threatened and endangered species (TES) regulated by US Fish and Wildlife Service (USFWS); consultation for TES regulated by National Marine Fisheries Service (NMFS) is being handled by the Corps via a programmatic consultation. Parametrix will continue coordination with the Corps and Ecology to obtain a NWP for impacts below the OHWM of the Puyallup River.

Assumptions

This scope assumes up to 8 hours of phone/web meetings with up to two Parametrix staff.

It is anticipated that a Nationwide Permit 7 (for outfall structures) will be used by the Corps for impacts below the OHWM. This will likely require an Individual 401 Water Quality Certification to be issued by Ecology.

Coordination with the Corps and Ecology will require review of design plans and may require potential design changes and implementation of various in-water work BMPs.

Deliverables

- Revised JARPA and associated documents as required by Corps and Ecology.

Task 5.2 – Hydraulic Project Approval (HPA)

Parametrix will complete an HPA application to provide to WDFW via its APPS web application service.

Assumptions

- One 2-hour site visit with a WDFW Habitat Biologist for up to two Parametrix staff (one engineer and one biologist).
- WDFW will not require any mitigation for in-water work.
- The HPA application cannot be submitted until a SEPA determination for the Project is received.

Deliverables

- WDFW HPA Permit Application.

Task 5.3 – Critical Areas Report Approval

Parametrix has created a draft joint Critical Areas Report (CAR) including a conceptual planting restoration plan which will be submitted to the City and to the County for review and approval.

Assumptions

Neither the City nor the County will require compensatory mitigation for impacts to wetlands or the Puyallup River. Impacts are limited to wetland and stream buffers.

Deliverables

- Finalized joint CAR for City and County including planting restoration plan.

Task 5.4 – Pierce County Shoreline Permit

Parametrix will submit a shoreline application to the County for Project activities within the County's shoreline jurisdiction along the Puyallup River.

Assumptions

Based upon review of Pierce County code, the Project would qualify as a Shoreline Substantial Development Permit (SSDP).

No mitigation would be required as part of the permit; planting restoration should suffice to cover no net loss of ecological function within the shoreline.

No public hearing would be required as part of the SSDP process.

The permit will require a pre-application meeting with Pierce County Planning and Land Services (PALS).

Deliverables

Complete SSDP application which includes:

- JARPA (Task 5.1).
- SEPA decisions (Task 5.6).
- Critical areas report/mitigation plan (Task 5.3).

- Site plan.
- Decision criteria memorandum.

Task 5.5 - City of Orting Shoreline Permit

Parametrix will submit a shoreline application to the City for Project activities within the City's shoreline jurisdiction along the Puyallup River.

Assumptions

Based upon review of City code, the Project would qualify as a SSDP. It is possible that the Project could qualify as an exemption under City shoreline code. This will be discussed with the City's planning consultant upon Notice to Proceed.

No mitigation would be required as part of the permit; wetland buffer restoration should suffice to cover no net loss of ecological function within the shoreline.

No public hearing would be required as part of the SSDP process.

The permit may require a pre-application meeting with the City's planning consultant.

Deliverables

Complete SSDP application which includes:

- JARPA (Task 5.1).
- SEPA decision (Task 5.6).
- Critical areas report/mitigation plan (Task 5.3).
- Site plan.
- Decision criteria memorandum.

Task 5.6 – SEPA Checklist

Parametrix will complete and submit a SEPA checklist for City review. Please note that because a majority of the Project occurs in Pierce County, the City and the County may decide to grant SEPA lead agency status to the County.

Assumptions

The City will be the SEPA lead agency.

The City will issue a Determination of Non-Significance (DNS) or Mitigated DNS.

Deliverables

- Draft and Final SEPA checklist.

Client: City of Orting
 Project: Village Green Outfall Final Design and Permitting
 Project No: 216-1711-020 (5004)

	Kathleen M. Taylor	Darren Sandeno	Rick A. Wadsworth	Michael L. Hall	Jeffrey L. Coop	April D. Whittaker	John L. Wright	Amanda B. Lucas	Michael S. Phelps	John C. Hungerford	Chad L. Tinsley	Adam W. Merrill	Lenaya M. Grabowski
	Designer IV	Sr Planner	Sr Engineer	Sr Scientist/Biologist	Sr Engineer	Sr Project Control Specialist	Sr Engineer	Publications Supervisor	P&C Division Manager	Water Solutions Div Mgr	Sr GIS Analyst	Scientist/Biologist IV	Engineer I
Rates:	\$145.00	\$175.00	\$155.00	\$160.00	\$170.00	\$120.00	\$170.00	\$115.00	\$180.00	\$170.00	\$128.12	\$135.00	\$100.00

Task	SubTask	Description	Labor Dollars													
5004		VG Outfall Replacement	\$76,164.88	106	40	12	66	38	10	18	18	32	13	24	108	76
	01	Project Management	\$7,900.00	4		0		4	6	16	2	13				4
	03	Site Assessment	\$2,320.00			12					4					
	04	Final Design	\$22,620.00	56				30	4	2	12					72
	05	Permitting	\$43,324.88	14	40		66	4			30		24	108		
Labor Totals:			\$76,164.88	106	40	12	66	38	10	18	18	32	13	24	108	76
Totals:			\$76,164.88	\$15,370.00	\$7,000.00	\$1,860.00	\$10,560.00	\$5,460.00	\$1,200.00	\$3,060.00	\$2,070.00	\$5,760.00	\$2,210.00	\$3,074.88	\$14,580.00	\$7,600.00

Project Total \$76,164.88



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Dates
Subject: 2021 Property Taxes-Resolution No. 2020-37 – A Resolution of the City of Orting, Requesting the Highest Lawful Levy	AB20-83	N/A	10.21.20 11.18.20	10.28.20 11.24.20
	Department:	Finance		
	Date Submitted:	October 15, 2020		
Cost of Item:	N/A			
Amount Budgeted:	N/A			
Unexpended Balance:	N/A			
Bars #:	N/A			
Timeline:	No later than November 30, 2020			
Submitted By:	Scott Larson			
Fiscal Note: See Summary Statement				
Attachments: Property Tax Resolution No. 2020-37, Other Documents from County				
SUMMARY STATEMENT:				
<p>This resolution will raise our property tax cap by 1% over 2020 which would be a dollar value increase of \$13,309.86. The 2020 levy was \$1,330,986 and the expected 2021 levy is \$1,344,296.</p> <ul style="list-style-type: none"> The estimated impact to households based on the “average” home valuation in Orting of \$324,182 will be approximately \$1 per month. 				
RECOMMENDED ACTION: MOTION: <i>To Adopt Resolution No. 2020-37, A Resolution Of The City Of Orting, Washington, Requesting The Highest Lawful Levy.</i>				

**CITY OF ORTING
WASHINGTON
RESOLUTION NO. 2020-37**

**A RESOLUTION OF THE CITY OF ORTING, WASHINGTON,
REQUESTING THE HIGHEST LAWFUL LEVY**

WHEREAS, the City Council of the City of Orting, Washington (hereinafter, the “District”) has met and considered its budget for the calendar year 2021; and

WHEREAS, the District’s actual levy amount from the previous year was \$1,335,803.36; and

WHEREAS, the population of this District is less than 10,000; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING, WASHINGTON, DOES RESOLVE AS FOLLOWS:

Section 1. Declaration of Highest Lawful Levy. Be it resolved by the governing body of the taxing District that an increase in the regular property tax levy is hereby authorized for the levy to be collected in the 2021 tax year.

The dollar amount of the increase over the actual levy amount from the previous year shall be \$8,492.79 which is a percentage increase of 0.635782 percent from the previous year. This increase is exclusive of additional revenue resulting from new construction, improvements to property, newly constructed wind turbines, any increase in value of state assessed property, any annexation that have occurred and refunds made.

Section 2. Effective Date. This Resolution shall be effective immediately upon passage, and shall be implemented for the 2021 tax year, as stated above.

ADOPTED BY THE CITY COUNCIL AT A SPECAIL MEETING THEREOF ON THE 24TH DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte Archer, City Attorney
Inslee Best, PLLC

**CITY OF ORTING
WASHINGTON
RESOLUTION NO. 2020-37**

**A RESOLUTION OF THE CITY OF ORTING, WASHINGTON,
REQUESTING THE HIGHEST LAWFUL LEVY**

WHEREAS, the City Council of the City of Orting, Washington (hereinafter, the “District”) has met and considered its budget for the calendar year 2021; and

WHEREAS, the District’s actual levy amount from the previous year was \$1,335,803.36; and

WHEREAS, the population of this District is less than 10,000; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING, WASHINGTON, DOES RESOLVE AS FOLLOWS:

Section 1. Declaration of Highest Lawful Levy. Be it resolved by the governing body of the taxing District that an increase in the regular property tax levy is hereby authorized for the levy to be collected in the 2021 tax year.

The dollar amount of the increase over the actual levy amount from the previous year shall be \$0.00 which is a percentage increase of 0.00000 percent from the previous year. This increase is exclusive of additional revenue resulting from new construction, improvements to property, newly constructed wind turbines, any increase in value of state assessed property, any annexation that have occurred and refunds made.

Section 2. Effective Date. This Resolution shall be effective immediately upon passage, and shall be implemented for the 2021 tax year, as stated above.

ADOPTED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE 24TH, DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte Archer, City Attorney
Inslee Best, PLLC



2401 South 35th Street, Room 142
Tacoma, Washington 98409-7498
(253) 798-6111 • FAX (253) 798-3142
ATLAS (253) 798-3333
www.piercecountywa.org/atr

MEMORANDUM

DATE: September 22, 2020
TO: Pierce County Taxing Districts
FROM: Mike Lonergan, Assessor-Treasurer
RE: **Preliminary Certification of Assessed Values/Levy Limit Factor**

Enclosed is the Preliminary Certification of Assessed Values for your taxing district. These values include last year's State Assessed Property Values.

For budget preparation assistance to applicable districts, Levy limit factor worksheets, court ordered refund information, and sample ordinance/resolutions are included. *The amount of the prior year's additional revenue from increase in state assessed property listed on the preliminary values memo may be added to the levy limit calculation for estimating budget purposes and preparing Levy Certifications.*

Submit original ad valorem Budget / Levy Certifications & an approved Ordinance or Resolution no later than November 30th:

Pierce County Council
Attention: Clerk, Rm. 1046
County City Building
930 Tacoma Ave. S
Tacoma, WA 98402

And a copy to:
Pierce County Assessor-Treasurer
Attention: Levy Dept.
2401 S. 35th St. Rm. 142
Tacoma, WA 98409

email: kim.fleshman@piercecountywa.gov

DUE TO THE GOVERNOR'S STAY HOME STAY HEALTHY ORDER PLEASE EMAIL 2ND COPIES IN PDF FOR THE ASSESSOR-TREASURER TO KIM FLESHMAN

(Failure to submit a budget request & the district's Resolution/Ordinance may adversely affect next year's Levy collection)

Preliminary Values Are Subject to Change.

Districts will receive **Final** values in late December.

Amended Levy Certifications may be submitted to the Pierce County Council & Pierce County Assessor-Treasurer after final values have been calculated.

The district's Ordinance/Resolution **must** identify these three components.

- The **dollar amount of the previous year's levy**. The actual levy received, including refunds.
- The **dollar amount of increase** reflects the difference between the previous year's actual levy and the 1% growth of the highest lawful levy, or a lesser amount if banking levy capacity.
- The **percent of increase** equals the change over the prior year's actual levy plus the dollar amount of increase equal to the district's highest lawful levy for this year, or a lesser amount if banking levy capacity.

The sample Ordinance/Resolution enclosed provides the amounts for districts wishing to request their highest lawful levy.



Pierce County

Mike Lonergan, Assessor-Treasurer

2401 South 35th Street
Tacoma, WA 98409-7498
(253) 798-6111 FAX (253) 798-3142
ATLAS (253) 798-3333
www.piercecountywa.org/atr

September 22, 2020

OFFICIAL NOTIFICATION TO: ORTING

RE: 2020 PRELIMINARY ASSESSED VALUES

FOR REGULAR LEVY

Total Taxable Regular Value	960,612,225
Highest lawful regular levy amount since 1985	1,330,986.29
Last year's actual levy amount (including refunds)	1,335,803.36
Additional revenue from current year's NC&I	3,189.34
Additional revenue from annexations (RCW 84.55)	0.00
Additional revenue from administrative refunds (RCW 84.69)	429.56

No additional revenue from administrative refunds will be allowed if you are limited by your statutory rate limit.

Prior Year's Additional revenue from **increase** in state-assessed **property** 0.00

FOR EXCESS LEVY

Taxable Value	943,877,472
Timber Assessed Value	-
Total Taxable Excess Value	943,877,472

2020 New Construction and Improvement Value 2,073,300

*If you need assistance or have any questions regarding this information, please contact Kim Fleshman
253.798.7114 kim.fleshman@piercecountywa.gov*



Pierce County

Mike Lonergan, Assessor-Treasurer

2401 South 35th Street
Tacoma, WA 98409-7498
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PRELIMINARY HIGHEST LAWFUL LEVY LIMIT 2020 FOR 2021

**ORTING
< 10,000**

REGULAR TAX LEVY LIMIT:

2019

A. <u>Highest regular tax which could have been lawfully levied beginning with the 1985 levy</u> [refund levy not included] times limit factor (as defined in RCW 84.55.005).	1,330,986.29 1.01 1,344,296.15
B. Current year's assessed value of new construction, improvements and wind turbines in original districts before annexation occurred times last year's levy rate (if an error occurred or an error correction was made in the previous year, use the rate that would have been levied had no error occurred).	2,073,300 1.538293780583 3,189.34
C. Current year's state assessed property value in original district if annexed less last year's state assessed property value. The remainder to be multiplied by last year's regular levy rate (or the rate that should have been levied).	8,766,970 8,766,970 0.00 1.538293780583 0.00
D. REGULAR PROPERTY TAX LIMIT (A + B + C)	1,347,485.50

ADDITIONAL LEVY LIMIT DUE TO ANNEXATIONS:

E. To find rate to be used in F, take the levy limit as shown in Line D above and divide it by the current assessed value of the district, excluding the annexed area.	1,347,485.50 960,612,225 1.402736156101
F. Annexed area's current assessed value including new construction and improvements times rate found in E above.	0.00 1.402736156101 0.00
G. NEW LEVY LIMIT FOR ANNEXATION (D + F)	1,347,485.50

LEVY FOR REFUNDS:

H. RCW 84.55.070 provides that the levy limit will not apply to the levy for taxes refunded or to be refunded pursuant to Chapters 84.68 or 84.69 RCW. (D or G + refund if any)	1,347,485.50 429.56 1,347,915.06
I. TOTAL ALLOWABLE LEVY AS CONTROLLED BY THE LEVY LIMIT (D,G,or H)	1,347,915.06
J. Amount of levy under statutory rate limitation.	960,612,225 1.628495338917 1,564,352.53
K. LESSER OF I OR J	1,347,915.06

**EXAMPLE OF ORDINANCE/RESOLUTION
REQUESTING HIGHEST LAWFUL LEVY**

**Ordinance/Resolution No. _____
RCW 84.55.120**

WHEREAS, the _____ of ORTING has met and considered
(Governing body of the taxing district) (Name of the taxing district)
its budget for the calendar year 2021; and,

WHEREAS, the districts actual levy amount from the previous year was \$ 1,335,803.36 and,
(Previous Year's Levy Amount)

WHEREAS, the population of this district is more than or less than 10,000; and now, therefore,
(Check One)

BE IT RESOLVED by the governing body of the taxing district that an increase in the regular property tax levy is hereby authorized for the levy to be collected in the 2021 tax year.
(Year of Collection)

The dollar amount of the increase over the actual levy amount from the previous year shall be \$ 8,492.79 which is a percentage increase of 0.635782% from the previous year. This increase is exclusive of
(Percentage Increase)
additional revenue resulting from new construction, improvements to property, newly constructed wind turbines, any increase in the value of state assessed property, any annexations that have occurred and refunds made.

Adopted this _____ day of _____, _____.

SAMPLE

If additional signatures are necessary, please attach additional page.

This form or its equivalent must be submitted to your county assessor prior to their calculation of the property tax levies. A certified budget/levy request, separate from this form is to be filed with the County Legislative Authority no later than November 30th. As required by RCW 84.52.020, that filing certifies the total amount to be levied by the regular property tax levy. The Department of Revenue provides the "Levy Certification" form (REV 64 0100) for this purpose. The form can be found at: <http://dor.wa.gov/docs/forms/PropTx/Forms/LevyCertf.doc>.

For tax assistance, visit <http://dor.wa.gov/content/taxes/property/default.aspx> or call (360) 570-5900. To inquire about the availability of this document in an alternate format for the visually impaired, please call (360) 705-6715. Teletype (TTY) users may call 1-800-451-7985.



Levy Certification

Submit this document to the county legislative authority on or before November 30 of the year preceding the year in which the levy amounts are to be collected and forward a copy to the assessor.

In accordance with RCW 84.52.020, I, _____,
(Name)

_____, for _____, do hereby certify to
(Title) (District Name)

the _____ County legislative authority that the _____
(Name of County) (Commissioners, Council, Board, etc.)

of said district requests that the following levy amounts be collected in _____ as provided in the district's
(Year of Collection)

budget, which was adopted following a public hearing held on _____:
(Date of Public Hearing)

Regular Levy: _____
(State the total dollar amount to be levied)

Excess Levy: _____
(State the total dollar amount to be levied)

Refund Levy: _____
(State the total dollar amount to be levied)

Signature: _____

Date: _____

To ask about the availability of this publication in an alternate format for the visually impaired, please call (360) 705-6715. Teletype (TTY) users, please call (360) 705-6718. For tax assistance, call (360) 534-1400.



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Regular Meeting Dates
Subject: Ordinance 2020-1069, Relating to Mayoral Salary	AB20-91	Mayor's Office	11.18.20	11.24.20
	Department:	Executive		
	Date Submitted:	11/11/2020		
Cost of Item:		<u>\$30,000</u>		
Amount Budgeted:		<u>\$30,000</u>		
Unexpended Balance:		<u>N/A</u>		
Bars #:		001-513-10-10-01		
Timeline:		N/A		
Submitted By:		Mayor Penner		
Fiscal Note: This amount is included in the 2021 Budget				
Attachments: Ordinance 2020-1069				
<p>SUMMARY STATEMENT: "The Mayor is requesting that council address & update the Mayoral compensation. The Mayor performs the following duties:</p> <ul style="list-style-type: none"> • Acts as the CEO of City operations; • Supervises an executive staff consisting of the City Administrator, Clerk, Finance Director, Police Chief, and Public Works Director and Liaises with the City Court; • Represents the City at the Pierce County Regional Council & the Puget Sound Regional Council; • Develops a staff vision; • Prepares with staff for meetings; • Participates in HR processes from hiring to termination; • Participates in AWC boards and commissions; • Advocates for the City to our legislature; • Builds relationships with peer communities; • Delivers a draft budget to the Council; • Acts as the Public Information Officer for the City; • Provides Emergency Management leadership; • Directs staff in carrying out the vision of the Council. <p>Mayoral salaries vary substantially across the State for cities of Orting's size from \$0 per year to over \$100,000 per year. The Mayor believes that \$30,000 reflects fair compensation based on the amount of effort he believes is reflective of the duties expected of this office and within the practical allowance of our budget. The council has not reviewed the Mayoral compensation since 2003.</p>				
<p>RECOMMENDED ACTION: MOTION: To Adopt Ordinance 2020-1069, An Ordinance Of The City Of Orting, Washington, Relating To Mayoral Salary; Amending Orting Municipal Code Section 1-6-3; Authorizing An Annual Salary Of \$30,000.</p>				

CITY OF ORTING
WASHINGTON
ORDINANCE NO. 2020-1069

AN ORDINANCE OF THE CITY OF ORTING,
WASHINGTON, RELATING TO MAYORAL SALARY;
AMENDING ORTING MUNICIPAL CODE SECTION 1-6-3;
PROVIDING FOR SEVERABILITY; AND ESTABLISHING
AN EFFECTIVE DATE

WHEREAS, the City of Orting is a non-charter optional municipal code city as provided in Title 35A RCW, incorporated under the laws of the state of Washington; and

WHEREAS, pursuant to RCW 35A.12.070, the City Council has the authority define the salary for the office of Mayor; and

WHEREAS, since 2003 the City Council has set the Mayor's salary at \$1,000 per month, codified at Orting Municipal Code Section 1-6-3; and

WHEREAS, upon review of the rate set more than fifteen years ago, the City Council wishes to increase the Mayor's salary commiserate with the current scope of work for the position;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING, WASHINGTON, DOES ORDAIN AS FOLLOWS:

Section 1. OMC Section 1-6-3, Amended. Orting Municipal Code Section 1-6-3 is hereby amended as follows:

1-6-3: SALARIES:

A. Mayor: Commencing January 1, ~~2021~~²⁰²³, the mayor of the city of Orting shall receive a monthly salary of ~~two one thousand and five hundred~~ two one thousand and five hundred dollars (~~\$2,500~~^{\$4,000.00}) per month during his or her term of office. Should the mayor be unable to attend to his or her duties for a continuous thirty (30) day period, then the monthly salary shall be suspended until such time as the mayor again resumes his or her duties.

Section 2. Codification. The City Council authorizes the City Clerk to correct any non-substantive errors herein, codify the above, and publish the amended code.

Section 3. Effective Date. This Ordinance shall be published in the official newspaper of the City and shall take effect and be in full force five (5) days after the date of publication.

**ADOPTED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE
24TH, DAY OF NOVEMBER, 2020.**

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte A. Archer, City Attorney
Inslee, Best, Doezie & Ryder, P.S.

Filed with the City Clerk: 11.10.20
Ordinance No 2020-1069
Passed by the City Council: 11.24.20
Date of Publication: 11.26.20
Effective Date: 12.01.20



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Date
Subject: Council Committee selection for the year 2021	AB20-95	N/A	11.18.20	11.24.20
	Department:	Administration/Clerk		
	Date Submitted:			
Cost of Item:	_ \$			
Amount Budgeted:	_ \$			
Unexpended Balance:	_ \$			
Bars #:				
Timeline:				
Submitted By:	Council/City Clerk			
Fiscal Note:				
Attachments: Current Council Assignments – Committee Scopes				
SUMMARY STATEMENT:				
Council Rule 3.9 (E) Deputy Mayor -- Duties: The current Council rule states the following:				
An appointment committee consisting of the Deputy Mayor, one Councilmember and the Mayor shall recommend assignments for the Council Committee Chair and Vice-Chair positions, in accordance with the following procedure:				
<ul style="list-style-type: none"> a) The appointment committee shall provide recommendations for Council Committee assignments to the full Council for its approval no later than the first regular meeting in January. b) Each Council member shall be assigned to at least one (1) Council Committee, with the exception of the Deputy Mayor who shall chair the study session. c) Chairperson selection shall be based on seniority, balance of experience, knowledge and interest prior to assignment. d) The appointment committee shall give weighted consideration for those working on long range project. 				
The proposed change would be to have recommendations of the appointment committee change from no later than the first meeting in January -to no later than the first meeting in February.				
There would be a discussion item on the agenda to pick the Council Committee member who will join the Mayor and the Deputy Mayor. Then the Committee would make their recommendations to the full council no later than the first meeting in February.				
RECOMMENDED ACTION: Motion: To approve the proposed amendment to section 3.9 (E) of Council rules as presented.				

PROPOSED CHANGE IN RED Council Rule 3.9 (E) Deputy Mayor -- Duties:

An appointment committee consisting of the Deputy Mayor, one Councilmember and the Mayor shall recommend assignments for the Council Committee Chair and Vice-Chair positions, in accordance with the following procedure:

- a) The appointment committee shall provide recommendations for Council Committee assignments to the full Council for its approval no later than **the first meeting in February.**
- b) Each Council member shall be assigned to at least one (1) Council Committee, with the exception of the Deputy Mayor who shall chair the study session.
- c) Chairperson selection shall be based on seniority, balance of experience, knowledge and interest prior to assignment.

The appointment committee shall give weighted consideration for those working on long range project.

2021 Recommended Council Committee Assignments

Public Works: _____ Chair, & _____ Vice Chair- **First Wednesday of the month at 2:30 – (Virtual)**

Goal: Ongoing issues, develop briefing for Council meeting #1 and details for Study Session

Attendance: 2-3 council, PW staff, admin.

- Utilities, Technology, Streets/Transportation, Emergency Bridge.
* Facilities related to Public Works.

Responsibility of Chairs- Identify/prepare/provide items to City Clerk for Council Study Sessions.

Public Safety: _____, Chair & Vice Chair, _____) - **First _____ of each month at _____ (Virtual)**

Goal: Ongoing issues, develop briefing for Council meeting #1 and details for Study Session

Attendance: 2-3 council, PS staff, admin

- Public Safety, Emergency Preparedness.
*Facilities related to Public Safety

Responsibility of Chairs- Identify/prepare/provide items to City Clerk for Council Study Sessions.

Community and Governmental Affairs: Nicola McDonald, Chair, & Michelle Gehring, Vice- Chair- **First _____ of each month at _____ .**

Goal: Ongoing issues, develop briefing for Council meeting #1 and details for Study Session

Attendance: 2-3 council, Parks staff, admin

- Economic Development, Grants, Sponsorship, Lodging Tax, Cemetery, Parks Advisory Board.
*Facilities related to Administration.

Responsibility of Chairs- Identify/prepare/provide items to City Clerk for Council Study Sessions.

Study Session: Deputy Mayor _____, Chair, & Councilmember _____ Backup- **Third Wednesday of each month at 6:00pm- (Virtual)**

Goal: Introduction & first pass at ordinances and resolutions. Deep dive into committee matters. Legal review and staff discussion.

Attendance: Full Council, as necessary (admin, legal, and others)

- General, Finance, Leg Priorities, Government relations.

Responsibility of Chairs- Identify/prepare/provide items to City Clerk for Regular Meeting/Consent Agenda.

Regular Council Meeting #1 & 2- **1st and last Wednesday of each month at 7:00pm .**

Goal: Business of the council (appointments, public hearings, public input, presentations, proclamations, etc.), assignment of topics to committees. Passing/debating consent agenda from study session.

2021 Council Standing Committees

Scopes of Authorities

(Please note some descriptions are absent)

1. COMMUNITY AND GOVERNMENT AFFAIRS COMMITTEE:

The CGA Committee, considers matters related to **Council training, procedures and communication** and makes **recommendations designed to improve and expedite the business and procedure of Council, and its committees**, proposes to Council any **amendments to the rules** deemed necessary regarding the organization of the Council, **including parliamentary procedure**, it may consider **any matter of a general nature**.

The CGA also considers the following:

A. Social issues

B. Economic development

C. Grants- Reviews grant applications and makes recommendations to Council.

D. Sponsorship- Review's applications and makes recommendations to Council

E. Parks- In conjunction with City Staff, considers matters related to Parks, Parks Board and Orting Recreation programs.

F. Cemetery - In conjunction with City Staff, review the policies, procedures as well as financial health of the cemetery.

G. Lodging -Lodging tax is discussed on a quarterly basis with a community business owner.

*** Facility Issues directly related to Administrative staff**

2. PUBLIC SAFETY COMMITTEE:

Public Safety Committee, in conjunction with City Staff, may consider issues related to the **public health, safety and welfare of the citizens** of Orting including but not limited to, **law enforcement, fire safety, court, animal control, and emergency services**.

The Public Safety Committee also considers issues relating to the following:

A. Emergency Preparedness- In conjunction with City Staff, considers matters related to Emergency Management, and will continuously analyze all risks which expose the city to potential disruption and oversee the development of emergency preparedness and response and evacuation plans.

***Facility Issues related to Public Safety**

3. **PUBLIC WORKS COMMITTEE:**

The Public Works Committee, in conjunction with City Staff, considers matters related to **water, sewer, solid waste, recycling, utility franchises, and storm water management**. The Committee **tracks capital projects and makes recommendations to the Council for capital improvements**. They also address matters relating to the following:

- A. **Transportation matters**
- B. **Capital improvement programs**
- C. **Transit**
- D. **Streets, street lighting**
- E. **Signalization**
- F. **Pedestrian safety.**
- G. **Annual chip seal program making recommendations to Council for street and sidewalk improvements.**
- H. **Technology**
- I. **Emergency Evacuation Bridge**

***Facility Issues Related to Public Works**

4. **STUDY SESSION**

Finance -Considers matters related to the financial issues of the City including the budget, general fiscal and financial health, rates and fees, and the state financial audit. The Treasurer compiles periodic budget and financial reports and shares them with the Council.

Goal: Introduction & first pass at ordinances and resolutions. Deep dive into committee matters. Legal review and staff discussion. Attendance: Full Council, as necessary (admin, legal, and others)



**City Of Orting
Council Agenda Summary Sheet**

Subject: Council Rule Change -Election of Deputy Mayor	Agenda Item#	Committee	Study Session	Meeting
	AB20-75	CGA		
		9.1.20 10.08.20 11.10.20	9.16.20 10.21.20 11.18.20	9.30.20 11.24.20
	Department:			
	Council/ CGA			
	Date Submitted:			
9.1.20				

Cost of Item: \$

Amount Budgeted: \$

Unexpended Balance: \$

Bars #:

Timeline:

Submitted By: CGA Committee

Fiscal Note:

Attachments: Proposed Rule changes to DM Process

SUMMARY STATEMENT: The CGA Committee met on September 1st, 2020, and on October 8th, 2020, and November 10th, 2020, and they discussed a proposal to change the process for the appointment of the Deputy Mayor. They presented the proposed change at study sessions on September 16th, October 21st, 2020, and November 18th, 2020.

The proposed changes to the Deputy Mayor process are attached. These changes are based on the whole council’s input at the study session on November 18th as well as recommendations from the CGA Committee.

The proposed process to elect the Deputy Mayor affects section 8.5 of the Council rules which outlines the process and section 3.9 which speaks to the Deputy Mayor’s duties and time frames.

RECOMMENDED ACTION: MOTION: *To adopt the rule changes to section 8.5 and 3.9 as presented.*

DM Selection

8.5 Selecting Deputy Mayor

At the first meeting in January, the Council shall elect a Deputy Mayor (DM) for a term of one year, beginning February 1st, and ending January 31st. The election process shall be as follows:

1. The Deputy Mayor shall serve as the Chair for the nomination process for the position of DM, unless they are a nominee in the process, at which time it will be turned over to the Mayor as Chair. The Chair will repeat each nomination until all nominations have been made. When it appears that no one else wishes to make any further nominations, the Chair will ask again for further nominations and if there are none, the Chair will declare the nominations closed. A motion to close the nominations is not necessary.
2. No one Councilmember may nominate more than one person for a given office until every member wishing to nominate a candidate has an opportunity to do so. Second nominations will then be accepted.
3. Nominations may be made by another Councilmember, or by self.
4. Nominations may include brief supporting comments by the Councilmember.
5. A Councilmember may withdraw their nomination from consideration.
6. Nominations do not require a second.
7. After nominations have been closed (see #2 above for second nominations), each nominee will have an opportunity to speak, either at their seat or at the podium. If the nominee chooses to speak, it may not be for longer than three minutes, with a fifteen second wrap-up period. Then voting for DM will precede:
 - a. Voting will be according to alphabetic order, A-Z of nominations made. Any second vote will be by reverse order, Z-A; continuing to reverse as necessary for subsequent votes. This is done to be as fair as possible to all nominees.
 - b. If there is only one nominee for the position, the Chair will open the floor for a motion and appointment.
 - c. If there are two nominees, the following scenario will be followed

Scenario #1: 2 Nominees, 7 standing Councilmembers

1. Clerk does a roll call for Councilmembers on their preferred candidates
2. Nominee A receives 3 votes

3. Nominee B receives 4 votes
4. Deputy Mayor is chosen (Nominee/Candidate B) by majority consensus, no further motion of appointment necessary.

d. If there are three or more nominees, the following scenarios will be followed:

Scenario #1: 3 or more Nominees, 7 standing Councilmembers

1. Clerk does a roll call for Council-members on their preferred candidates
2. Nominee A gets 3 votes
3. Nominee B gets 2 votes
4. Nominee C gets 2 votes
5. Nominee A is chosen as Candidate A. Chair sets a second ballot for Nominees B & C to determine second candidate.
6. Clerk does a roll call for Councilmembers on their preferred candidate
7. Nominee B gets 3 votes
8. Nominee C gets 4 votes
9. Nominee C is chosen as Candidate B.
10. Clerk does a roll call for Councilmembers on the two final candidates
11. Candidate A gets 2 votes
12. Candidate B gets 5 votes
13. Deputy Mayor is chosen (Candidate B) by majority consensus, no further motion of appointment necessary.

Scenario #2: 3 or more Nominees, 7 standing Councilmembers

1. Clerk does a roll call for Councilmembers on their preferred candidates
2. Nominee A gets 3 votes
3. Nominee B gets 3 votes
4. Nominee C gets 1 vote
5. Chair need not set a second ballot as there is a top-two
6. Clerk does a roll call for Councilmembers on their preferred candidate from A & B
7. Candidate A gets 5 votes
8. Candidate B gets 2 votes
9. Deputy Mayor is chosen (Candidate A) by majority consensus, no further motion of appointment necessary.

Scenario #3: 3 or more Nominees, 7 standing Councilmembers

1. Clerk does a roll call for Councilmembers on their preferred candidates
2. Nominee A gets 4 votes
3. Nominee B gets 2 votes
4. Nominee C gets 1 vote
5. Deputy Mayor is chosen (Nominee/Candidate A) by majority consensus, no further motion of appointment necessary.

8. The goals of this procedure are, above all: public transparency, consensus, respect, and fairness.

3.9 Deputy Mayor -- Duties: see 8.5

- (A) Term of the Deputy Mayor shall be one year. (February 1st, through January 31st).
- (B) Annually, at the first meeting of January, the outgoing Deputy Mayor shall serve as the Chair for the nomination process for the position of DM, unless they are a nominee in the process, at which time it will be turned over to the Mayor to chair.



**City Of Orting
Council Agenda Summary Sheet**

Subject: Council Rule Change 4.1 Council Comment time	Agenda Item#	Committee	Study Session	Meeting
	AB20-75A	CGA		
		9.1.20 10.08.20 11.10.20	9.16.20 10.21.20 11.18.20	9.30.20 11.24.20
	Department:			
	Council/ CGA			
	Date Submitted:		9.1.20	
Cost of Item:		_ \$		
Amount Budgeted:		_ \$		
Unexpended Balance:		_ \$		
Bars #:				
Timeline:				
Submitted By:		CGA Committee		
Fiscal Note:				
Attachments: Proposed Rule change Council Comment time added				
<p>SUMMARY STATEMENT: The CGA Committee met on September 1st, 2020, and on October 8th, 2020, and November 10th, 2020, and they discussed a proposal to add a Council Comment time at the end of each regular meeting agenda.</p> <p>They presented the proposed change at study sessions on September 16th, and on October 21st, 2020, and November 18th.</p> <p>The proposed changes would be added as item 11 under 4.1 Order of Business.</p>				
<p>RECOMMENDED ACTION: MOTION: <i>To amend Section 4.1 Order of Business adding Council comment time to the end of each Regular Council meeting agenda as presented.</i></p>				

4. Order of Business and Agenda

4.1 Order of Business

11 . Council Comments. At the end of each Council meeting, every Councilmember will be allowed up to 3 minutes to be used at their discretion for the following:

a. Comments, reports, or questions on the activities, meetings, or issues arising from their service as a designated City representative. Councilmembers should exercise discretion in raising complex or detailed issues which are more appropriate for presentation at Committees or Study Sessions.



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Regular Meeting Dates
Subject: Fireworks Code Amendment	AB20-85	CGA 10.8.20	10.21.20	10.28.20
		11.10.20	11.18.20	11.24.20
	Department:	CGA Committee		
	Date Submitted:	10.15.20		
Cost of Item:	_ \$			
Amount Budgeted:	_ \$			
Unexpended Balance:	_ \$			
Bars #:				
Timeline:				
Submitted By:	CGA			
Fiscal Note:				
Attachments:	Ordinance No 2020-1068			
SUMMARY STATEMENT:				
<p>Fireworks have been a topic of discussion off and on for years. The City of Orting submitted an advisory vote on the ballot in 2019 for a fireworks ban, and citizens expressed their desire to keep fireworks. The City Council’s current position is to follow the advisory vote. There are still citizens who do not agree with that decision and feel that fireworks pose a danger to property and cause stress to livestock and pets. Currently citizens are at times, in violation of the hours of discharge for fireworks and begin their activities days in advance of the 4th.</p> <p>On October 8th, 2020 and CGA Committee met and discussed fireworks. The proposed Ordinance does not seek an all-out ban which is what had been discussed originally, but that the hours of discharge be modified. CGA Committee proposed those changes at the October 21st study session. The proposal is to change the hours of legal fireworks to be discharged to 10:00am on July 4th to 11:59pm on July 4th <i>only</i>.</p> <p>Along with that change they would like to see the City strongly enforce the proposed hours of allowable discharge. This was sent back to CGA for another review for their meeting on November 10th, 2020. The proposed ordinance is recommended by the CGA Committee.</p>				
RECOMMENDED ACTION: MOTION: To Adopt Ordinance No 2020-1068 An Ordinance Of The City Of Orting, Washington, Pertaining To The Discharge Of Fireworks; Amending Orting Municipal Code 5-7-1 To Limit Discharge Hours.				

CITY OF ORTING
WASHINGTON

ORDINANCE NO. 2020-1068

AN ORDINANCE OF THE CITY OF ORTING,
WASHINGTON, PERTAINING TO THE DISCHARGE OF
FIREWORKS; AMENDING ORTING MUNICIPAL CODE 5-
7-1 TO LIMIT DISCHARGE HOURS; PROVIDING FOR
SEVERABILITY; AND ESTABLISHING AN EFFECTIVE
DATE

WHEREAS, the City of Orting at Orting Municipal Code 5-7-1 adopts by reference Revised Code of Washington Chapter 70.77, pertaining to the regulation of consumer fireworks; and

WHEREAS, the City currently sets the allowable times for the discharge of fireworks in a manner that is more restrictive than the allowable periods under RCW 70.77.395; and

WHEREAS, pursuant to OMC 5-7-1, fireworks may currently be discharged within the city limits only from one minute after twelve o'clock (12:01) A.M. to eleven fifty nine o'clock (11:59) P.M. on July 4 of each year, and from six o'clock (6:00) P.M. on December 31 to one o'clock (1:00) A.M. on January 1 of the subsequent year; and

WHEREAS, public displays of fireworks are subject to different regulations than other fireworks, including strict inspection and permitting regulations set forth in Chapter 70.77 RCW; and

WHEREAS, the City Council recognizes that fireworks are a traditional way of celebrating national independence on the Fourth of July, but the City Council also recognizes risks and consequences of the discharge of fireworks including adverse impacts to public health, safety and welfare; and

WHEREAS, pursuant to RCW 70.77.250(4), cities may enact ordinances that are more restrictive than state law, provided the effective date of such an ordinance is no sooner than one year from the date of adoption;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORTING AS FOLLOWS:

Section 1. OMC 5-7-1, Amended. OMC 5-7-1 is hereby amended to read as follows:

Revised Code Of Washington 70.77 is adopted in its entirety, including any subsequent amendments thereto. Notwithstanding the above, fireworks may be discharged within the city limits only from ~~ten one minute after twelve~~ o'clock (~~10:00~~12:01) A.M. to eleven fifty nine o'clock

(11:59) P.M. on July 4 of each year, and from six o'clock (6:00) P.M. on December 31 to one o'clock (1:00) A.M. on January 1 of the subsequent year.

Section 2. Severability. If any section, sentence, clause or phrase of this Ordinance shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase.

Section 3. Corrections. The City Clerk and the codifiers of this Ordinance are authorized to make necessary clerical corrections to this resolution including, but not limited to, the correction of scrivener's errors, references, numbering, section/subsection numbers and any references thereto.

Section 4. Effective date. This Ordinance shall be published in the official newspaper of the City and shall take effect and be in full force one (1) year from its adoption date.

ADOPTED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE 24TH, DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte A. Archer
Inslee, Best, Doezie & Ryder, P.S.
City Attorney

Filed with the City Clerk: 11.10.20
Passed by the City Council:
Ordinance No. 2020-1068
Date of Publication:
Effective Date:



**City Of Orting
Council Agenda Summary Sheet**

	Agenda Bill #	Recommending Committee	Study Session Dates	Meeting Dates
Subject: CARES Non-Profit Grants, Additional Application	AB20-99	ADHOC	9.16.20 11.18.20	9.30.20 10.28.20 11.24.21
	Department:	Administration		
	Date Submitted:	November 19, 2020		
Cost of Item:	<u>\$3,500</u>			
Amount Budgeted:	<u>\$375,000</u>			
Unexpended Balance:	<u>N/A</u>			
Bars #:	<u>N/A</u>			
Timeline:	ASAP			
Submitted By:	Scott Larson			
Fiscal Note: N/A				
Attachments: Resolution No. 2020-41				
<p>SUMMARY STATEMENT:</p> <p>Staff received an additional application for both the non-profit grant. Due to the additional CARES funds we have staff recommend that council increase the non-profit grant allocation and approve the additional that was submitted. Staff review of the submitted applications finds that the additional grant serves valid municipal purpose and that the described services that will be provided by these organizations for the requested funding is instrumental in ensuring that the organizations meet those purposes and are equipped to respond to the COVID-19 pandemic and related economic crisis.</p> <p>Passage of the proposed Resolutions by the City Council will authorize the City's grant awards to the organizations identified in the Exhibit. The Mayor will then be authorized to enter into contracts with the organizations to memorialize the grant funding in a form acceptable to the City Attorney.</p> <p>The payment of these funds will come from the City's general fund.</p>				
<p>RECOMMENDED ACTION: Motion: To Adopt Resolution No 2020-41, A Resolution Of The City Of Orting, Washington, Declaring A Public Purpose And Authorizing A City Grant Of Funds To Non-Profit Organizations For Covid-19 Relief.</p>				

**CITY OF ORTING
WASHINGTON
RESOLUTION NO. 2020-41**

**A RESOLUTION OF THE CITY OF ORTING,
WASHINGTON, DECLARING A PUBLIC PURPOSE AND
AUTHORIZING PARTNERSHIPS WITH QUALIFIED NON-
PROFIT ORGANIZATIONS FOR COVID-19 RELIEF.**

WHEREAS, on August 26, 2020, the City of Orting City Council adopted Resolution 2020-24, establishing the Orting CARES Act non-profit grant program to provide grant funding to non-profit organizations which the City Council determines bring a significant value to the residents of Orting in response to the COVID-19 pandemic, thereby serving a valid municipal purpose; and

WHEREAS, on September 1, 2020 the Washington State Commerce Department announced that Orting would receive an additional \$125,700, bringing our total allocation under the program to \$377,100; and

WHEREAS, on September 30, 2020 the City Authorized Resolution No. 202-31, authorizing the expenditure of funds for non-profit grants, and since that date the City received an additional non-profit grant application; and

WHEREAS, the City has been allocated funding from the Coronavirus Aid, Relief, and Economic Security Act (“CARES Act”), and that funding may be used for this type of grant relief to provide relief to Orting’s residents from the public health, safety and economic crises resulting from the COVID-19 pandemic; and

WHEREAS, in accordance with the program, the City Council has evaluated applications for grant funding from various non-profit organizations registered with the State of Washington, and determined that they meet the criteria for the program; and

WHEREAS, the City Council finds that partnering with these non-profit organizations to perform the public services identified herein and serve the valid municipal purpose of promoting the health, safety and welfare of the City’s residents who are struggling due to the COVID-19 pandemic and the economic impact thereof;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ORTING,
WASHINGTON, DOES RESOLVE AS FOLLOWS:**

Section 1. Amendment. In light of the additional funds allocated to the City, the City Council desires to amend Resolution No. 2020-31 at “Section 1. Pertaining to the Authorization of Funding” as follows:

<u>Amount Granted</u>	<u>Municipal Purpose for Funding</u>
\$10,000	To non-profit organizations to provide youth and social services to residents of Orting to facilitate compliance with COVID-19 related public health measures
\$13,500	
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\$35,000	To non-profit organizations to provide aid to low-income residents of Orting for housing and utility relief in response to COVID-19 public health emergency
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\$20,000	To non-profit organizations to provide mental health aid to residents of Orting in response to COVID-19 public health emergency

Section 2. Declaration of Public Purpose. The City Council declares that partnerships with the non-profit organizations identified in Exhibit A serves the valid municipal purposes described herein, and that the described services that will be provided by these organizations for the requested funding is instrumental in ensuring that the organizations meet those purposes and is equipped to respond to the COVID-19 pandemic and related economic crisis.

Section 3. Authorization of Funding. The City Council authorizes the City’s grant award to the organizations identified in Exhibit A, pursuant to the aforementioned program, in the amounts shown in Exhibit A. The Mayor is authorized to enter into contracts with the organizations to memorialize the grant funding authorized herein, in a form acceptable to the City Attorney. The City Council authorizes payment of this grant from the City’s general fund, and requests the Mayor or designee seek reimbursement from the CARES Act funding allocated to the City.

Section 4. Effective Date. This Resolution shall take effect and be in full force immediately upon its passage.

Section 5. Corrections Authorized. The City Clerk is authorized to make necessary corrections to this Resolution, including but not limited to correction of clerical errors.

PASSED BY THE CITY COUNCIL AT A SPECIAL MEETING THEREOF ON THE 24th DAY OF NOVEMBER, 2020.

CITY OF ORTING

Joshua Penner, Mayor

ATTEST/AUTHENTICATED:

Jane Montgomery, City Clerk, CMC

Approved as to form:

Charlotte A. Archer
Inslee Best
City Attorney

Exhibit A: Non-Profit CARES Grant Allocations

Organization	Public Services to be Performed in Response to COVID-19	Amount Granted
Recovery Café	Providing mental health, substance abuse, and food services for individuals and families in Orting impacted by the COVID-19 public health pandemic and economic crisis	\$20,000
Haven	Providing youth services for individuals and families in Orting due to the COVID-19 public health pandemic and economic crisis	\$10,000
St. Vincent de Paul	Providing housing and food services for individuals and families in Orting impacted by financial hardship, job loss and/or homelessness due to the COVID-19 public health pandemic and economic crisis	\$20,000
Orting Food Bank	Providing housing, utilities and food services for individuals and families in Orting impacted by financial hardship, job loss and/or homelessness due to the COVID-19 public health pandemic and economic crisis	\$15,000
Orting Basketball Booster Club	Providing youth services for individuals and families in Orting due to the COVID-19 public health pandemic and economic crisis	\$3,500